



AGENDA PLANNING COMMISSION MEETING

March 19, 2026 - 6:00 PM
City Hall Council Chambers

Members of the public can participate in person at Lakeville City Hall. The Planning Commission meeting can be viewed via web stream at Lakevillemn.gov/LiveTV or live on Spectrum cable channel 180. The Chair will allow for public comments and questions at the appropriate time.

1. Call to order and flag pledge
2. Roll Call
3. Approval of Minutes
 - a. March 5, 2026 Planning Commission minutes
4. Announcements
5. Public Hearing
 - a. **To be tabled to the April 16, 2026 Planning Commission meeting -Comprehensive land use amendment, zoning map amendment, preliminary plat, conditional use permit and vacation for Progressive, LLC**
 - b. Preliminary plat and conditional use permit for Lakeville 35 Logistics Center South Addition
6. Staff Notices
 - a. The City Council meeting at which the above items may be considered will be held on April 6, 2026.
 - b. The next Planning Commission meeting is scheduled for April 2, 2026.
 - c. Planning Manager's memo
7. Adjourn

CITY OF LAKEVILLE
PLANNING COMMISSION MEETING MINUTES
March 5, 2026

Chair Zimmer called the meeting to order at 6:00 p.m. in the Council Chambers at City Hall. The Pledge of Allegiance to the flag was given.

Members Present: Chair Christine Zimmer, Vice Chair Scott Einck, Pat Kaluza, John Swaney, Jason Swenson, Amanda Tinsley, Mark Traffas

Members Absent: None

Staff Present: Kris Jenson, Planning Manager; Tina Goodroad, Community Development Director, Heather Botten, Senior Planner; Jon Nelson, Assistant City Engineer, Dawn Erickson, Community Development Recorder

3. Approval of the Meeting Minutes

The February 5, 2026 Planning Commission meeting minutes were approved as presented.

4. Announcements

Planning Manager Kris Jenson stated there were no announcements.

5a. Prime 35 Lakeville

Chair Zimmer opened the public hearing to consider the application of Crosby Development Partners, LLC for a preliminary plat for an industrial development to be known as Prime 35 Industrial.

Jordan Silver, Crosby Development Partners, introduced the project.

Senior Planner Heather Botten presented the staff report. The Prime 35 Industrial plat proposes eight lots and four outlots. The site is proposed for industrial development that will consist of warehouse, distribution, and manufacturing uses, with the final build out adding over one million square feet of industrial space. Two of the outlots are proposed to be deeded to the city to protect the wetlands while the others would be retained by the developer.

The property is zoned I-1, Light Industrial and is located south of 215th Street (CSAH 70) and west of Jacquard Avenue. The two parent parcels total 145 acres in area and the property is currently used for agricultural purposes. There is one natural gas pipeline that dissects the property from west to east and the property is located in floodplain areas associated with the West Branch South Creek corridor.

Community Development Department staff recommend approval of the preliminary plat.

Chair Zimmer opened the hearing to the public for comment.

There was no public comment.

Motion was made by Kaluza, seconded by Einck to close the public hearing at 6:13 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Chair Zimmer asked for comments from the Planning Commission.

- Commissioner Kaluza asked for clarification of the timeline for the project. Mr. Silver stated they plan to start the site work immediately and would like to have one or two buildings within a year, and hopefully complete within three to four years. Development of the site will be market driven.
- Commissioner Traffas asked about a small area that is not platted along the northern side and what will happen with that. Ms. Botten stated it is a private owner, and the owner of that property was approached and was not interested in selling at this time.
- Commissioner Swenson stated that the recommendation of approval of a preliminary plat to City Council is for the plat only and doesn't include a specific use for any lot in the plat. Ms. Botten noted that the eight lots must be final platted as into lots and blocks before any development can occur on those lots. Depending upon the use proposed for a site, future development plans may or may not be reviewed by the Planning Commission and City Council.
- Commissioner Swenson asked about access for the parcel that is not part of this plat, as well as its relationship to outlots B and D. Ms. Botten stated outlots B and D potentially could be developed, and Outlot D would have access to 217th Street, and Outlot B would have some kind of shared access agreement through Lot Three. Assistant City Engineer Jon Nelson stated there is existing access from 215th Street at the northwest portion of the site, and that would be permitted again with the development.
- Chair Zimmer expressed support for the development of industrial uses on to expand the tax base.

Motion was made by Kaluza, seconded by Swaney to recommend to City Council approval of the Prime 35 preliminary plat, subject to the following stipulations:

1. All grading, drainage, wetland, and erosion control issues and plans shall be subject to review and approval of the City Engineer, including implementation of the recommendations listed in the February 23, 2026 engineering report.
2. The final plat shall be in substantial conformance with the preliminary plans on file with the Community Development Department except as may be modified by the conditions herein.
3. An agreement for any shared driveway access points shall be established in conjunction with the recording of the final plat, subject to review and approval of the Zoning Administrator.
4. As currently proposed, Lot 2, Block 4 will require a CUP in accordance with Section 11-16-5.G prior to final plat approval.

5. Outlots A and C shall be deeded to the City for stormwater management purposes with the final plat.
6. Park dedication requirements shall be satisfied at the time of final plat approval based on the fee schedule then in effect.
7. The preliminary plat shall be valid for one year from the date of City Council approval unless extended as provided for by the Subdivision Ordinance and Zoning Ordinance.
8. Landscaping shall be installed in accordance with the approved landscape plan, subject to review and approval of the City Forester.
9. The Developer shall provide a security in an amount determined by the City Forester with the final plat to guarantee installation of the landscaping and prior to a final landscape inspection by the City Forester, an as-built landscape plan must be submitted to the city.
10. Any signs installed upon the property shall comply with Chapter 23 of the Zoning Ordinance and shall require a sign permit approved by the Zoning Administrator prior to placement.
11. Applicant shall enter into a Development Contract and related agreements with the City subject to review by the City Attorney and approval of the City council prior to approval of a final plat.

Ayes: Traffas, Kaluza, Zimmer, Einck, Swaney, Swenson, Tinsley

Nays: 0

5b. Dodd Commons

Chair Zimmer opened the public hearing to consider the application of the City of Lakeville for a preliminary plat, conditional use permit for a building in excess of 35 feet in height in the C-3, General Commercial District, and the vacation of existing public roadway, drainage, and utility easements.

Assistant City Administrator Allyn Kuennen introduced the project and presented a background and overview of the proposed project. Mr. Kuennen introduced Fire Chief Mike Meyer and District Chief Brian Jacobson.

Ms. Jenson presented the staff report. The Dodd Commons plat includes the construction of a new fire station to replace and combine Fire Station 2 and Fire Station 4. The proposed site is 23.36 acres and is located north of 179th Street (CSAH 9), south of Dodd Boulevard, and east of Granby Lane. The property is zoned C-3, General Commercial District and P/OS, Public and Open Space. Lot 1, Block 1 is for the fire station, Outlot A is for the stormwater pond, Outlot B is the water tower site and the remainder of the site is Outlot C which will be available for future development.

Community Development Department staff recommend approval of the Dodd Commons preliminary plat, conditional use permit, and vacation of public roadway, drainage, and utility easements.

Chair Zimmer opened the hearing to the public for comment.

Kathleen Fitzpatrick, 17810 Graphite Lane, asked about fire truck access to 179th Street, as traffic on 179th Street is dangerous and problematic.

Motion was made by Einck, seconded by Swaney to close the public hearing at 6:43 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Mr. Nelson stated that the City is working with Dakota County at the intersection of Granby Lane and 179th Street on what the vehicle pre-emption should look like with this fire station being constructed. The specifics of the system have not yet been determined, but City staff are looking at other examples, such as in Eagan, where they have a similar situation and layout by a county road. Regarding the intersection of Cedar Avenue and Glacier Way, Mr. Nelson stated they are discussing alternatives for getting onto Cedar Avenue with Dakota County, who has jurisdiction over the road.

Mr. Kuennen stated the Opticon system is the technical term for the system that the fire station will be using. He explained how the system will connect activity at the fire station to trigger the signal at 179th Street and Cedar Avenue to change to all red lights to provide a gap in traffic for the engines to turn onto 179th Street. Mr. Nelson added that within the next few months the proposed system should begin to take shape.

Chair Zimmer asked for comments from the Planning Commission.

- Commissioner Traffas asked if the traffic system is not in place because it is currently at the preliminary plat stage. Ms. Jenson stated the traffic system to allow the fire trucks onto the roads doesn't need to be in place until the fire station is fully built.
- Commissioner Swaney asked if the architect for the Lakeville fire station is the same architect the fire stations in Burnsville and Apple Valley used. Mr. Kuennen stated C & H is the same architect. Commissioner Swaney asked how this fire station compares to those. Fire Chief Mike Meyer stated Lakeville's fire station is similar to Burnsville, however there are other pieces brought in from other stations that were toured.
- Commissioner Swenson stated he appreciated seeing where the generator boxes are located for cases of natural disasters. He also stated his appreciation for the truck turning abilities and the overall safety culture. He asked for clarification of what the training towers would be used for. Chief Meyer stated the training towers will be used for fire hose movement and water discharge, and that there will be no burning in the building. Commissioner Swenson stated he appreciated the concern expressed regarding the traffic in this area. He stated the Planning Commission is not able to act on these concerns, the county needs to be involved, however the concerns have been heard by city staff.

- Commissioner Kaluza expressed support for the city staff and the work put into this project planning for the future.

Motion was made by Tinsley, seconded by Swenson to recommend to City Council approval of the Dodd Commons preliminary plat, conditional use permit, and vacation of public roadway, drainage, and utility easements and the findings of fact, subject to the following stipulation:

1. Implementation of the recommendations listed in the February 23, 2026 engineering report.

Ayes: Kaluza, Zimmer, Einck, Swaney, Swenson, Tinsley, Traffas,

Nays: 0

There being no further business, the meeting was adjourned at 6:58 p.m.

Respectfully submitted,

Dawn Erickson, Community Development Recorder

DRAFT



**PUBLIC HEARING NOTICE
CITY OF LAKEVILLE**

THIS ITEM WILL BE TABLED TO AND THE PUBLIC HEARING HELD AT THE APRIL 16, 2026 MEETING.

REQUEST:

1. Comprehensive land use amendment to re-guide property from Low Density Residential and Medium Density Residential to Low/Medium Density Residential.
2. Zoning map amendment to rezone property from RS-3, Single Family Residential District and RM-1, Medium Density Residential District to RST-2, Single- and Two-Family Residential District.
3. Preliminary plat of 10 detached townhome lots and 40 twinhome lots
4. Conditional use permit for a Planned Shoreland Development within the Shoreland Overlay District of Lake Marion
5. Vacation of public right of way.

APPLICANT: Progressive, LLC

LOCATION AND LEGAL DESCRIPTION: The development area is located north of 201st Street, west of Ipava Avenue, and south of Kenwood Trail (CSAH 50). The legal description of the development parcels are on file and available for review at the Community Development Department at City Hall.

WHEN: Thursday, March 19, 2026, at 6:00 p.m. or as soon thereafter as the parties may be heard.

WHERE: Planning Commission meeting at the City Hall Council Chambers, 20195 Holyoke Avenue, Lakeville, Minnesota.

QUESTIONS: Call Planning Manager Kris Jenson by phone at 952-985-4424 or e-mail at kjenson@lakevillemn.gov.

DATED this 3rd day of March 2026.

CITY OF LAKEVILLE

Tina Goodroad
Community Development Director



Memorandum

To: Planning Commission
From: Heather Botten, Senior Planner
Date: March 10, 2026
Subject: Packet Material for the March 19, 2026 Planning Commission Meeting
Agenda Item: Lakeville 35 Logistics Center South - Preliminary plat and CUP
Application Action Deadline: April 24, 2026 (60-day deadline)

BACKGROUND

Representatives of Likewise Partners have submitted applications for a preliminary plat and conditional use permit for a one lot, one outlot subdivision to be known as Lakeville 35 Logistics Center South Addition. The site is 15.36 acres in area and located south of Juniper Way (CSAH 70) and north of 215th Street.

The applicant is proposing the second phase of Lakeville 35 Logistics Center, a multi-tenant industrial office/warehouse project with an approximate 171,000 square foot building. The property is zoned O-P, Office Park District. Warehouse use requires a conditional use permit within the O-P, Office Park District.

The preliminary plat plans have been reviewed by Community Development, Engineering, Environmental Resources, Forestry, and Parks and Recreation Department.

EXHIBITS:

- A. Location Map
- B. Zoning Map
- C. Narrative
- D. Preliminary Pat
- E. Existing Conditions
- F. Site Plan

- G. Grading and Drainage Plan
- H. Landscape Plan
- I. Photometric Plan
- J. Exterior Elevation Plans (2 Pages)
- K. Dakota County Plat Commission letter dated March 12, 2026

PLANNING ANALYSIS

PRELIMINARY PLAT

Existing Conditions. The property is undeveloped land, historically been used for agricultural crop production. There is a wetland on the southeasterly part of the property.

Surrounding Land Uses. The site is surrounded by the following existing or planned land uses:

| Direction | Existing Use | Land Use Plan | Zoning |
|-----------|--|----------------------------|----------------------------------|
| North | Juniper Way (CSAH 70) and Industrial Building | Office Park | OP, Office Park District |
| South | Agricultural Property, future industrial development | Warehouse/Light Industrial | I-1, Light Industrial |
| East | City Owned Property | Restricted Development | P/OS, Public Open Space District |
| West | Industrial Use | Office Park | OP, Office Park District |

Lots/Blocks. One lot on one block is proposed with the preliminary plat along with one outlet to be deeded to the city. Proposed Lot 1 is 13.66 acres in area with over 1,300 ft of lot width exceeding the minimum lot area (30,000 square feet) and lot width (100 feet) requirements of the OP District.

Streets. Juniper Way (CSAH 70) abuts the proposed preliminary plat to the north. Juniper Way is a four-lane divided roadway within a 150-foot wide (75-foot north and south half) right-of-way. All required right-of-way had been previously dedicated for Juniper Way. Access to and from the property will be from 215th Street, currently a full access point onto CSAH 70.

215th Street is currently an unpaved road that runs along the southern portion of the plat that will provide two access points to the development. This road is planned for reconstruction, consistent with the City’s urban collector roadway design standards. The project is explained in more detail in the Engineering Memo dated March 10, 2026.

The Dakota County Plat Commission recommended approval of the preliminary plat at the March 11, 2026 meeting subject to the requirements in the approval letter dated March 12, 2026.

Tree Preservation. As an industrial district, the tree removal threshold is 70%. The Tree Preservation Plan identifies 2,104 inches of significant trees. The plans propose to remove 202 diameter inches which is below the threshold. A total of 1,902 diameter inches of significant trees are identified to be preserved.

All trees identified for preservation shall be protected with appropriate tree protection fencing and measures installed prior to, and maintained throughout, construction. Any preserved trees that are damaged or removed during construction will require replacement in accordance with the Tree Preservation Ordinance.

Wetlands. One wetland was identified on the site. No impacts are proposed to the wetland. A grading permit will not be issued until the wetland delineation has been reviewed and approved during the growing season.

Grading, Drainage, Erosion Control, Utilities. Grading, drainage, erosion control, and utility plans have been submitted with the preliminary plat and are discussed in more detail in the attached March 10, 2026 engineering report. The Engineering Division recommends approval of Lakeville 35 Logistics Center South Addition preliminary plat and development plans subject to the comments outlined in the engineering report.

Park Dedication, Trails and Sidewalks. The City's Comprehensive Parks, Trails, and Open Space Plan does not identify any future park land needs in the area of the plat. Park dedication will be satisfied with a cash fee in effect at the time of final plat approval.

The development of Lakeville 35 Logistics South Addition includes the construction of a 10-foot-wide bituminous trail, constructed on the south side of CSAH 70, adjacent to the plat frontage. The Developer will be responsible for 100% of the grading and restoration for the bituminous trail to the length of the plat. The Developer shall receive a credit to the final plat cash fees for the City's 3/8th share (excluding grading and restoration) of the trail construction costs.

CUP/SITE PLAN ANALYSIS

Development of a warehouse in the O-P District requires a conditional use permit per Section 11-75-7.H of the Zoning Ordinance.

The site development and construction plans propose one building, approximately 171,000 square feet to include both office and warehouse type uses. The building is being constructed on speculation, the site plan estimates 10% office/90% warehouse occupancy, consistent with similar industrial office/warehouse buildings.

Building Setbacks. The O-P, Office-Park District requires the following setback requirements:

| | Front Yard (215 th St) | W. Side Yard | Rear Yard (CSAH 70) |
|----------|--------------------------------------|--------------|------------------------|
| Minimum | 50 feet | 10 feet | 30 feet |
| Proposed | 52 feet | 50+ feet | 50+ feet |

Building Height/Exterior Materials. The proposed building will be one-story and 39 feet in height in compliance with O-P District requirements. The building will be constructed with 96% or greater Grade A materials, consisting of smooth texture pre-cast concrete panels painted white and gray with blue accents. The loading docks will be located on the east side of the building. The exterior building materials and design comply with Zoning Ordinance requirements for the OP District. The proposed building is compatible with the area in which it is proposed and consistent in design to other warehouse/office buildings in the OR District, as allowed by the Zoning Ordinance.

Access/Parking/Drive Aisles. The property will have two access points via 215th Street on the south side of the site. The egress points have been approved by Engineering. The parking lot meets or exceeds the minimum setbacks from a property line.

A parking deferment may be required at the time of final plat if the number of spaces proposed to be constructed on site is less than required by the Zoning Ordinance. The site plan demonstrates two areas of proof of parking to accommodate the expansion of parking facilities to meet the minimum requirements if the parking demand exceeds the site supply.

Building size 170,978 SF

Minus 10% of floor area allowed by code..153,880 SF

Office area - est. 10% of floor area - 15,388 SF

3 spaces per 1,000 SF = **46 stalls**

Warehouse square feet - est. 90% = 138,492 SF

1 space per 1,000 SF = **138 stalls**

Required (assuming 10% office occupancy)....184 stalls

Provided.....182 stalls

Proof of Parking.....40 stalls

Circulation. All drive aisles and parking stalls comply with the required aisle width and parking stall dimensions for two-way 90-degree vehicle parking. The site has been designed to allow semi-truck and trailer and emergency vehicle circulation throughout the site. Employee and visitor vehicles would park on the on the west and north side of the building with semi-traffic and semi-trailer parking using the easterly egress and the loading dock area.

Outdoor Storage. Outside storage will be limited to semi-trailers as part of the function of the building occupancy that includes receiving, transferring, shipping of goods and materials. The trailer parking will be located at the rear of the building.

Landscaping/Screening. The O-P District requires a minimum of 30% landscaped area on the property. Subtracting right-of-way dedication, the lot size is 14.88 acres. The site layout as designed proposes 46.6% greenspace, exceeding minimum requirements.

The landscape plan proposes 59 shade and evergreen trees and a variety of shrubs and perennials. Zoning Ordinance 11-21-9.B requires industrial and commercial properties to include perimeter plantings, including along the right-of-way of the proposed preliminary plat. The landscape plan shall be revised to include landscaping along the south part of the building and the west parking lot and continuous row of plantings from CSAH 70 to 215th Street.

All of the landscaped areas within and adjacent to the parking lot, including landscaped islands, shall be irrigated in compliance with the Zoning Ordinance. A financial security will be required with the final plat to guarantee installation of the approved landscaping. The security amount will be determined by the developer's landscaping contractor prior to City Council consideration of the final plat.

Signage. The Zoning Ordinance for the OP District allows one freestanding sign to a maximum area of 100 square feet and 10 feet in height. The sign shall be located at least 15 feet from the property line abutting right-of-way and five feet from a side property line. All wall signs shall comply with Chapter 11-23 of the City Code. A sign permit shall be issued by the Community Development Department prior to the installation of any signs.

Site Lighting. The submitted lighting plan shows that the proposed lighting on site meets the Zoning Ordinance requirement of light levels not exceeding one foot candle at the property line along right-of-way. The light pole height may not exceed 35 feet and the fixture style shall be downcast to meet the ordinance requirements. Wall mounted lights shall be downcast fixtures only. The light fixtures shall meet Zoning Ordinance requirements and shall be reviewed by staff prior to issuance of an electrical permit.

Recycling and Trash Containers. If trash will be kept outdoors in an enclosure, the structure must meet the requirements of Section 11-18-11, including exterior materials, location, and screening. All outdoor trash enclosures must be screened with a structure that is a minimum of six feet in height or one foot taller than the containers and must be constructed of materials that match the architecture of the principal building.

Mechanical Equipment. All rooftop and ground mounted mechanical equipment shall comply with Section 11-21-13 of city code. Screening materials must be aesthetically harmonious and compatible with the building.

Snow Storage. Snow storage may not take place in required parking spaces. Snow removal is shown to be stored near the southeast side of the building, out of the required parking areas.

RECOMMENDATION

Community Development Department staff has determined that Lakeville 35 Logistics Center South Addition preliminary plat, preliminary site development plans, and conditional use permit comply with Subdivision and Zoning Ordinance requirements for the O-P district. Staff recommends approval of the preliminary plat and conditional use permit subject to the following stipulations:

1. The recommendations listed in the Engineering Division memorandum dated March 10, 2026.
2. The site and building shall be developed and constructed consistent with the preliminary plat and final plat and site development plans approved by the City Council.
3. Park dedication will be satisfied by a cash contribution paid at the time of final plat.
4. Prior to City Council consideration of the final plat, a stormwater maintenance agreement shall be signed by the property developer for the on-site private stormwater facilities.
5. The landscape plan shall be revised to include landscaping along the south part of the building and the west parking lot and continuous row of plantings from CSAH 70 to 215th Street. A landscaping financial security shall be submitted with the final plat.
6. All signs shall comply with Zoning Ordinance requirements for the OP District. A sign permit shall be issued by the Community Development Department prior to the installation of any signs.
7. Snow storage shall not take place in required parking spaces. If there is not adequate space to store snow on site, snow must be removed from the site.
8. A parking deferment may be required at the time of final plat if the number of spaces proposed to be constructed on site is less than required by the Zoning Ordinance

Approval of a conditional use permit requires adoption of findings of fact by the Planning Commission and City Council. Draft findings of fact are attached to this report.



Memorandum

To: Heather Botten, Senior Planner

From: Jonathan Nelson, Assistant City Engineer
McKenzie Cafferty, Environmental Resources Manager
Joe Masiarchin, Parks and Recreation Director

Copy: Zach Johnson, City Engineer
Julie Stahl, Finance Director
Dave Mathews, Building Official
Tina Goodroad, Community Development Director

Date: March 10, 2026

Subject: Lakeville 35 Logistics Center South

- Preliminary Plat
- Preliminary Grading and Erosion Control Plan
- Preliminary Utility Plan
- Preliminary Tree Preservation Plan

BACKGROUND

LPDC, LLC submitted a preliminary plat named Lakeville 35 Logistics Center South. The proposed development is located east of Interstate 35, north of and adjacent to 215th Street and south of and adjacent to Juniper Way (CSAH 70). The parent parcel consists of Outlot A, Lakeville 35 Logistics North Addition and is zoned OP, Office Park District.

The preliminary plat consists of one lot within one block and one outlot on 15.08 acres. The Developer is dedicating 0.48 acres for 215th Street right-of-way.

The outlot created with the preliminary plat shall have the following use:

Outlot A: Wetland management area; to be deeded to the City (1.22 acres)

The development will be completed by:

| | |
|--------------------|-----------|
| Developer: | LPDC, LLC |
| Engineer/Surveyor: | Sambatek |

SITE CONDITIONS

The Lakeville 35 Logistics Center South site contains undeveloped agricultural land. All existing remnants from the site, including field entrances and culverts, shall be removed with the final plat. The Developer must provide a security with the final plat to ensure the work is completed in accordance with applicable rules and regulations. There is an overhead transmission line on the south side of the platted area that is considered high voltage.

EASEMENTS

The Developer shall provide the city temporary construction easements necessary for the grading and construction of City Project No. 26-09 215th Street improvements prior to recording of the final plat.

STREET AND SUBDIVISION LAYOUT

Juniper Way (CSAH 70)

Lakeville 35 Logistics Center South is south of and adjacent to Juniper Way, a Dakota County highway classified as a principal arterial as identified in the City's Transportation Plan. Juniper Way is an existing four-lane divided rural highway. The 2022 Dakota County Plat Needs Map (rev. 10-27-22) identifies a half right-of-way need of 75 feet. The necessary right-of-way was previously dedicated with Lakeville 35 Logistics Center North final plat. The Dakota County Plat Commission recommended approval of the preliminary plat on March 11, 2026. The Developer is responsible for any requirements stipulated by Dakota County.

215th Street

Lakeville 35 Logistics Center South is located north of and adjacent to 215th Street, a City roadway classified as a minor collector. The necessary right-of-way was previously dedicated with Lakeville 35 Logistics Center North final plat.

215th Street is a two-lane undivided rural gravel roadway. 215th Street is planned for reconstruction consistent with City urban collector roadway design standards. The improvements are programmed in Lakeville's current adopted 5-year Capital Improvement Plan (2026-2030). The Developer shall enter into an assessment agreement with the City prior to issuance of an award for construction for the construction of City Project No. 26-09 215th Street Improvements and waive the right to appeal the assessment. Entering into the assessment agreement releases the Developer and owner from their obligation to construct the public improvements associated with CP 26-09.

CONSTRUCTION ACCESS

Construction traffic access and egress for grading, utility and street construction shall be determined with the final construction plans.

PARKS, TRAILS AND SIDEWALKS

Development of Lakeville 35 Logistics Center South includes construction of a public trail. A ten-foot-wide trail, with pedestrian curb ramps, will be constructed along the south side of Juniper Way (CSAH 70) for the entirety of the plat frontage. The Developer will be responsible for 100% of the grading and restoration for the bituminous trails. The Developer shall receive a credit to the final plat cash fees for the City's 3/8th share (excluding grading and restoration) of the trail construction costs.

The Park Dedication requirement has not been collected on the parent parcel. The Park Dedication requirement will be satisfied through a cash contribution to be paid with the final plat at the rate in effect at the time of final plat approval.

UTILITIES

SANITARY SEWER

Lakeville 35 Logistics Center South is located within subdistricts SC-10500 and SC-10510 of the South Creek sanitary sewer district. Wastewater will be conveyed through City sanitary sewer to the MCES interceptor sewer monitored by meter M649. Wastewater treatment is provided by the Empire Wastewater Treatment Plant.

Development of Lakeville 35 Logistics Center South includes construction of private sanitary sewer. Sanitary sewer service will extend within Lot 1 from an existing stub.

Sanitary sewer was constructed by the City in 2021 (City Project 20-05) in partnership with Dakota County. The Lateral Sanitary Sewer Charge has not been collected on the parent parcel and shall be paid with the final plat. The fee will be based on the rate in effect at the time of final plat approval. The Developer shall reimburse the City for its share of the sanitary sewer improvements associated with Lakeville 35 Logistics Center South with the final plat.

The Sanitary Sewer Availability Charge has not been collected on the parent parcel and shall be collected with the building permit based on NCES SAC unit determination.

WATERMAIN

Development of Lakeville 35 Logistics Center South includes construction of private watermain service. Watermain will extend within Lot 1 from a future stub to be constructed with City Project No. 26-09 215th Street Improvements.

Watermain was constructed by the City in 2021 (City Project 20-05) in partnership with Dakota County. The Lateral Watermain Charge has not been collected on the parent parcel and shall be paid with the final plat. The fee will be based on the rate in effect at the time of final plat approval. The Developer shall reimburse the City for its share of the watermain improvements associated with Lakeville 35 Logistics Center South with the final plat.

STORM SEWER

Development of Lakeville 35 Logistics Center South includes construction of privately owned and maintained storm sewer systems. Storm sewer will be constructed within Lot 1 to collect and convey stormwater runoff generated from within the site to a private stormwater management facility.

The Storm Sewer Charge has not been collected on the parent parcel and shall be paid with the final plat at the rate in effect at the time of final plat approval.

Draintile construction is required in areas of non-granular soils within Lakeville 35 Logistics Center South for the street subgrade and lots. Any additional draintile construction, including perimeter draintile required for building footings, deemed necessary during construction by the City shall be the Developer's responsibility to install and finance.

Final locations and sizes of all storm sewer facilities will be reviewed by City staff with the building permit application and final construction plans.

OVERHEAD LINES

Existing aboveground equipment (utility lines and poles) is located along the south plat boundary, adjacent to the parent parcel. The overhead lines must be undergrounded, in relation to the City's Public Ways and Property Ordinance, unless the line is shown as a high voltage line that cannot be undergrounded by the utility provider.

DRAINAGE AND GRADING

Lakeville 35 Logistics Center South is located within subdistricts SC-004 and SC-005 of the South Creek stormwater district.

Development of Lakeville 35 Logistics Center South includes construction of a privately-owned and maintained stormwater management system. A stormwater management basin will be located in Lot 1 and provide treatment and rate control of stormwater runoff generated from the site. The Developer shall enter into a Stormwater Maintenance Agreement with the City for the private stormwater management systems. Prior to final plat approval, a final stormwater management design consistent with the City's stormwater management ordinance must be submitted and approved by City staff.

The MS4 Administration Fee has not been collected on the parent parcel and must be paid with the final plat.

The Developer must certify to the City that all lots with footings placed on fill have been monitored and constructed to meet or exceed FHA/HUD 79G specifications. Prior to issuance of building permits, the soils observation and testing report, and an as-built certified grading plan must be submitted and approved by City staff.

Lakeville 35 Logistics Center South Addition contains more than one acre of site disturbance, therefore a National Pollution Discharge Elimination System (NPDES) General Stormwater Permit for construction activity from the Minnesota Pollution Control Agency is required. A copy of the Notice of Stormwater Permit Coverage must be submitted to the City upon receipt from the MPCA.

EROSION CONTROL

The Developer is responsible for obtaining an MPCA Construction Permit for the site. No grading or tree removals can take place until authorized by the City. Changes made throughout construction must be documented in the SWPPP.

Redundant silt fence is required along all wetlands. Additional erosion control measures may be required during construction as deemed necessary by City staff. Any additional measures required shall be installed and maintained by the Developer.

A maintenance schedule for the establishment of vegetation in the stormwater management basin must be submitted to the City for review prior to the start of grading.

WETLANDS

A preliminary wetland delineation report was completed for the site but will not be reviewed until the growing season. One wetland was identified on the site. No impacts are proposed to the wetland. A grading permit will not be issued until the wetland delineation has been reviewed and approved during the growing season. If the wetland boundary is found to differ from the preliminary wetland delineation after review and approval the site will be modified prior to final plat to accommodate the approved wetland and wetland buffer.

TREE PRESERVATION

The Tree Preservation Plan submitted with the Lakeville Logistics 35 South preliminary plat identifies 2,104 inches of significant trees located within the project boundaries. As a Mixed Use, Commercial, Industrial, or Special District, the tree removal threshold is 70%, or 1,472 inches. Plans propose to remove 106 diameter inches on site, and 96 diameter inches off site, for a total proposed removal of 202 diameter inches which is below the threshold. A total of 1,902 diameter inches of significant trees are identified to be preserved.

All trees identified for preservation shall be protected with appropriate tree protection fencing and measures installed prior to, and maintained throughout, construction. Any

preserved trees that are damaged or removed during construction will require replacement in accordance with the Tree Preservation Ordinance.

FEMA FLOODPLAIN ANALYSIS

Lakeville 35 Logistics Center South Addition is shown on the Flood Insurance Rate Map (Map No. 27037C0191E; Eff. Date 12/2/2011) as Zone X by the Federal Emergency Management Agency (FEMA). Based on this designation by FEMA, the lots within Lakeville 35 Logistics Center South are not located within a Special Flood Hazard Area (SFHA), as determined by FEMA.

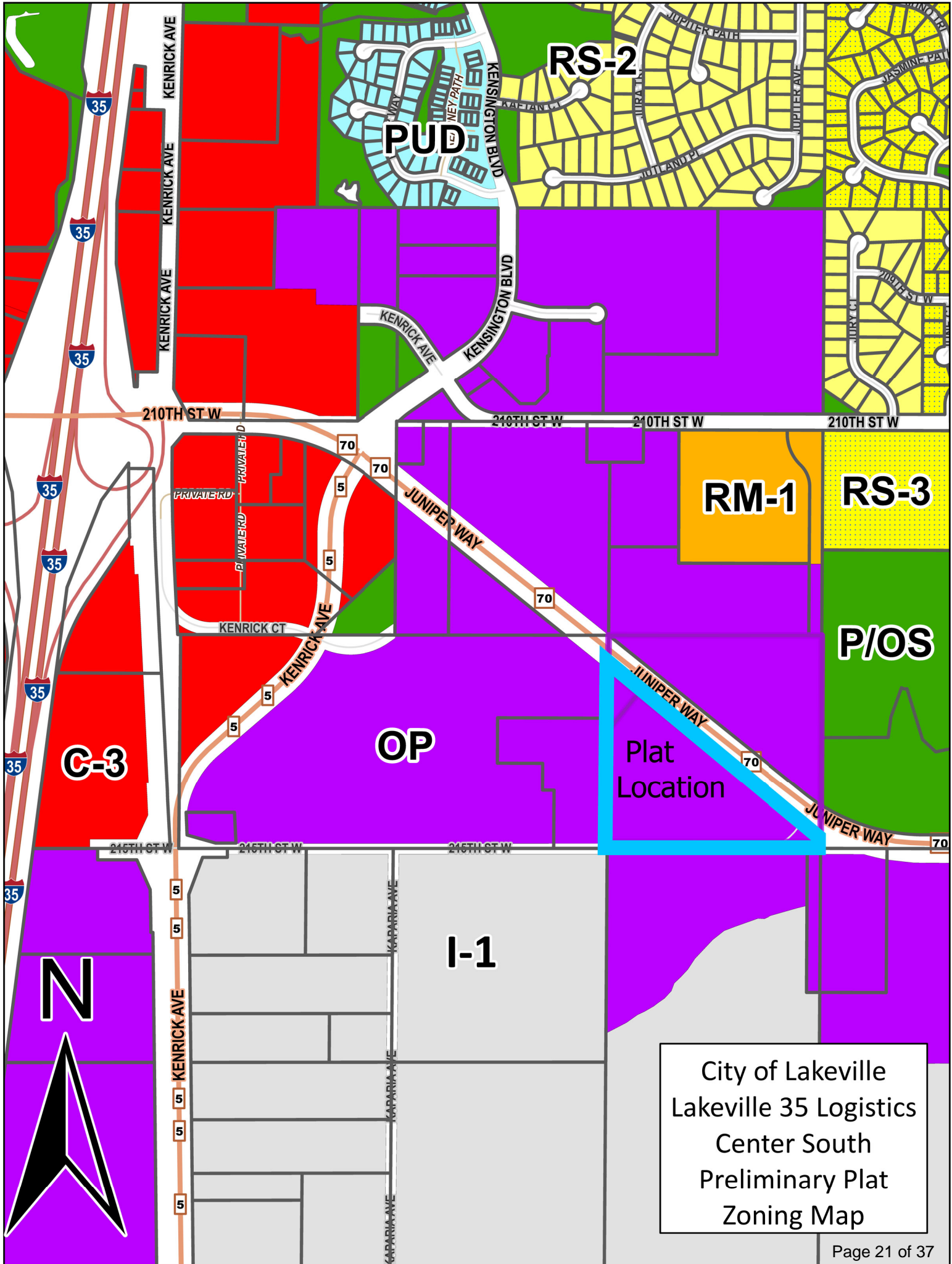
RECOMMENDATION

Engineering recommends approval of the preliminary plat, site plan, grading and erosion control plan, and utility plan for Lakeville 35 Logistics Center South Addition, subject to the requirements and stipulations within this report.



Plat
Location

City of Lakeville
Lakeville 35 Logistics
Center South
Preliminary Plat
Location Map



City of Lakeville
 Lakeville 35 Logistics
 Center South
 Preliminary Plat
 Zoning Map

January 5, 2026

Tina Goodroad
Community Development Director
City of Lakeville
20195 Holyoke Avenue
Lakeville, MN 55044

SUBJECT: Request for City Approvals
Lakeville 35 Logistics Center South
Lakeville, MN

Dear Ms. Goodroad,

On behalf of our client, Likewise Partners, we are respectfully submitting a Preliminary Plat and Conditional Use Permit application for the City of Lakeville's review and approval. The project proposes the development of a 170,978 sq. ft. office / industrial / warehouse building on a 15.36-acre lot.

PID #: 22-44466-00-010, 10655 215th Street West

Legal Description:

Outlot A, Lakeville 35 Logistics Center North Addition, according to the recorded plat, Dakota County, Minnesota.

Submittal Requirements:

The following information is being submitted for your review as part of our application:

1. Completed Preliminary Plat and Condition Use Permit applications.
2. Application Fees as follows:
 - a. Preliminary Plat - \$500 per addition, Engineer \$2250 (15 ac x \$150/acre) Escrow \$3,000. Total fee - \$5,750
 - b. Conditional Use Permit - \$500 plus \$1,000 escrow. Total fee - \$1,500
3. Certified Survey
4. Mailing Labels for property owners within 500 feet
5. Preliminary Development Plans that include Preliminary Plat, Site Plan, Grading Plan, Erosion Control Plan, Utility Plan, Landscape Plans, Tree Inventory and Preservation Plan
6. Narrative Describing Project
7. Architectural Site Plan, Floor Plan, Elevations, and Rendering.

Project Narrative:

Project overview

Likewise Partners is proposing the second phase of Lakeville 35 Logistics Center, a Multi-Tenant Office / Warehouse project, approximately 170,978 sq. ft. on 15.36 acres of undeveloped land located at 10655 215th Street West. The site is already zoned properly as OP – Office Park. It is our intention to start construction in the spring of 2026.

Building heights are described below and on the drawings. They include height and horizontal plane changes for visual interest at tenant entrances, same as the Phase 1 building.

Platting

The project was platted as an outlot with the first phase of the project. The Preliminary Plat proposed to plat the outlot into a single 15.36-acre developable lot. Right of way dedications for County Road 70 and 215th Street West were complete with the previous plat. Public drainage and utility easements will be established.

Site Context

The property is within a large section of land zoned Office Park, aptly zoned due to the convenient proximity to the I-35 highway intersection. The site is generally bounded by County Road 70 along the angled northeast property line, with 215th Street to the south and the Dunham Brothers recycling to the west.

Impervious Coverage / Greenspace Areas

The project will comply with the minimum 30% pervious greenspace coverage and 70% maximum impervious.

Wetlands

A wetland is present on the site. A Wetland Delineation Report for the subject property was completed by Kimley Horn, dated December 2023. Likewise Partners is working to confirm the status of approval of the wetland delineation report. The proposed development proposes to avoid impact the wetland, and not wetland impact permitting or mitigation is proposed.

Landscaping

Landscaping across the site will consist of a variety of deciduous, coniferous, ornamental trees, and native prairie groundcover strategically designed to provide screening, minimize irrigation needs, minimizing the heat island effect with shading of bituminous pavements, and create a unified aesthetic across the development.

Site Setbacks

Our building and parking setbacks meet or exceed the minimum zoning requirements for the OP district.

Utilities

Utility stubs for sanitary sewer and watermain are available from County Road 70; refer to Civil utility drawings. A fire pump to boost pressure will be provided inside for the building's ESFR

sprinkler system. Stormwater runoff will be collected from roof drains and parking lot inlets and routed into a storm water basin in the southeast corner of the site, all in accordance with the local watershed district regulations. Electrical and natural gas utilities are readily available as well.

Vehicular Traffic and Parking Calculations

Two access entrances are proposed from 215th Street West. The primary site access will be the western access; the eastern access will primarily be used for the truck court. The city is working on public street and utility improvements to 215th Street West, we understand that these improvements are a part of the city's capital improvement plan for 2026.

Pedestrian Circulation

A sidewalk connection will be provided for an anticipated trail along 215th Street W. Accessible access routes will be provided at tenant entrances.

Architectural Design and Building Materials

The building will be constructed to match the Phase 1 building, using high quality, commercial grade, low-maintenance materials; and is designed in a contemporary style with variations in color, plane, height and window treatment which offer visual interest to the public way. Facade materials include Grade A architectural 'smooth-as-cast' precast concrete wall panels and energy efficient aluminum & glass windows to comply with OP District material requirements on all four sides of the building. The building includes multiple tenant office entrances accented with Grade C fiber-cement siding and architectural ornamental metal canopies, both which provide visual interest. Clerestory windows are used on all four elevations to suggest a 'two-story appearance' from the public way as required in the OP District. Refer to the 'Materials Legend' on the exterior elevation sheets for a full breakdown of finish materials and glazing percentages on each elevation.

The building will have a 32 foot clear height inside, resulting in a typical exterior building height of 39 feet measured from floor grade up to the top of parapet wall. Accent features at tenant entries bump up to 40 feet tall. Along the back dock wall, the parapet height is 38 feet above floor level; and the exposed wall extends 4 feet below floor level for truck berths. The parapet walls serve to screen rooftop HVAC equipment from ground-level view the same way as the Phase 1 building.

Pertaining to building codes and fire codes, the building will be constructed to Type II-B standards, unlimited area, non-combustible, and protected with an ESFR sprinkler system. We anticipate tenants with Occupancy Groups B, F and S; plus based on recent experience, there may be tenants with Group A-3 Occupancy for indoor sports. Warehouse storage tenants will have high-piled and/or racked storage of materials classified as Commodity Types I – IV. With those commodity contents, no smoke and heat vents are required, nor smoke draft curtains, when the building has an ESFR system. Fire access doors will be provided every 125 ft around the perimeter per MN Fire Code requirements.

Site Signage

One double-sided monument sign is requested, matching the design of our Phase 1 monument sign. Directional signage at each driveway entrance is requested to guide vehicles toward parking or loading zones. We will also add stop signs at driveway exits, but those are not shown on the plan. Placeholder wall-mounted tenant name signs are shown on the building; those locations will be finalized / determined later. Tenants will submit final sign drawings for approval when applying for signage permits.

Site Lighting

Site lighting fixtures will use energy efficient LED lamps in architectural fixture housings with sharp cutoff, down-cast light distribution features to contain lighting within our property. Tenant entrances will have LED down-lighting to provide proper exit illumination at the entry doors. Other exit doors will have small LED egress lights to meet code. Refer to our Site Plan for light pole locations and our Elevations for wall-mounted lights. A photometric plan will be developed and supplied to soon to demonstrate compliance with footcandle spills at property lines.

Trash & Recycling Storage

Tenants will place their trash and recycling material into fully enclosed weather-proof collection containers. Each tenant will contract for their own trash and recycling service, as is consistent with this building type, and our Phase 1 project.

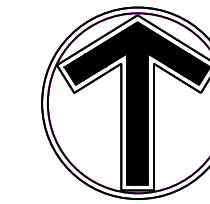
We appreciate the City's consideration of our application. Please contact me with any questions or concerns at 612-703-0735 or emiller@sambatek.com.

Sincerely,



Erik W. Miller, PE
Client Service Manager | Principal

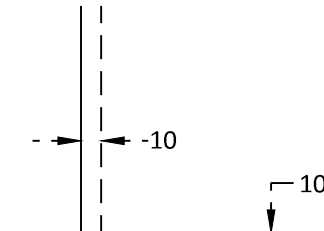
LAKEVILLE 35 LOGISTICS CENTER SOUTH ADDITION



NORTH
0 40 80
SCALE IN FEET

THE EAST LINE OF THE NORTHEAST QUARTER OF SEC. 36 - T 114 - R 21 IS ASSUMED TO HAVE A BEARING OF SOUTH 00 DEGREES 06 MINUTES 21 SECONDS WEST

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:
(NOT TO SCALE)



BEING 10 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND BEING 10 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING RIGHT-OF-WAY LINES, AS SHOWN ON THIS PLAT.

| LEGEND | | |
|--------------------------------|---------------------------------|-----------------------------------|
| ● FOUND MONUMENT | — BOUNDARY LINE | - - - EASEMENT LINE |
| ⊙ FOUND CAST IRON MONUMENT | - - - RIGHT-OF-WAY LINE | - - - SETBACK LINE |
| ⊙ FOUND RIGHT-OF-WAY MONUMENT | - - - UNDERLYING / ADJACENT LOT | - - - RESTRICTED ACCESS |
| ○ SET MONUMENT MARKED LS 53642 | - - - TIE LINE | - - - TREE LINE |
| ⊗ GATE VALVE / HYDRANT | (100.00) SECTION LINE | - - - CONCRETE CURB |
| ⊙ CLEAN OUT | — WATERMAIN | - - - BUILDING CANOPY |
| ⊙ SANITARY MANHOLE | — SANITARY SEWER | - - - BITUMINOUS SURFACE |
| ⊙ STORM MANHOLE | — STORM SEWER | - - - GRAVEL SURFACE |
| ⊙ STORM CATCH BASIN | — UNDERGROUND ELECTRIC | - - - DECIDUOUS TREE |
| ⊙ FLARED END SECTION | — UNDERGROUND GAS | - - - BUILDING LINE |
| ⊙ TRANSFORMER | — OVERHEAD ELECTRICAL WIRE | - - - CONIFEROUS TREE |
| ⊙ LIGHT | — CHAIN LINK FENCE | - - - SPOT ELEVATION CONTOUR |
| ⊙ GUY ANCHOR | — WOOD FENCE | - - - SOIL BORING |
| ⊙ UTILITY POLE | — WIRE FENCE | - - - REGULAR PARKING STALL COUNT |
| ⊙ GUARD POST | — WET LAND | - - - TRAFFIC MARKERS |
| ⊙ SIGN | — RETAINING WALL | |
| ⊙ GAS METER | — BLOCK RETAINING WALL | |
| ⊙ GAS MANHOLE | — STONE RETAINING WALL | |
| ⊙ ELECTRIC MANHOLE | — POND / WATER LINE | |
| ⊙ ELECTRIC METER | — FEMA FLOOD ZONE LINE | |
| ⊙ TELEPHONE PEDESTAL | | |
| ⊙ CABLE TV BOX | | |
| ⊙ COMMUNICATIONS MANHOLE | | |

PROPERTY DESCRIPTION

Outlot A, LAKEVILLE 35 LOGISTICS CENTER NORTH ADDITION

DEVELOPMENT SUMMARY

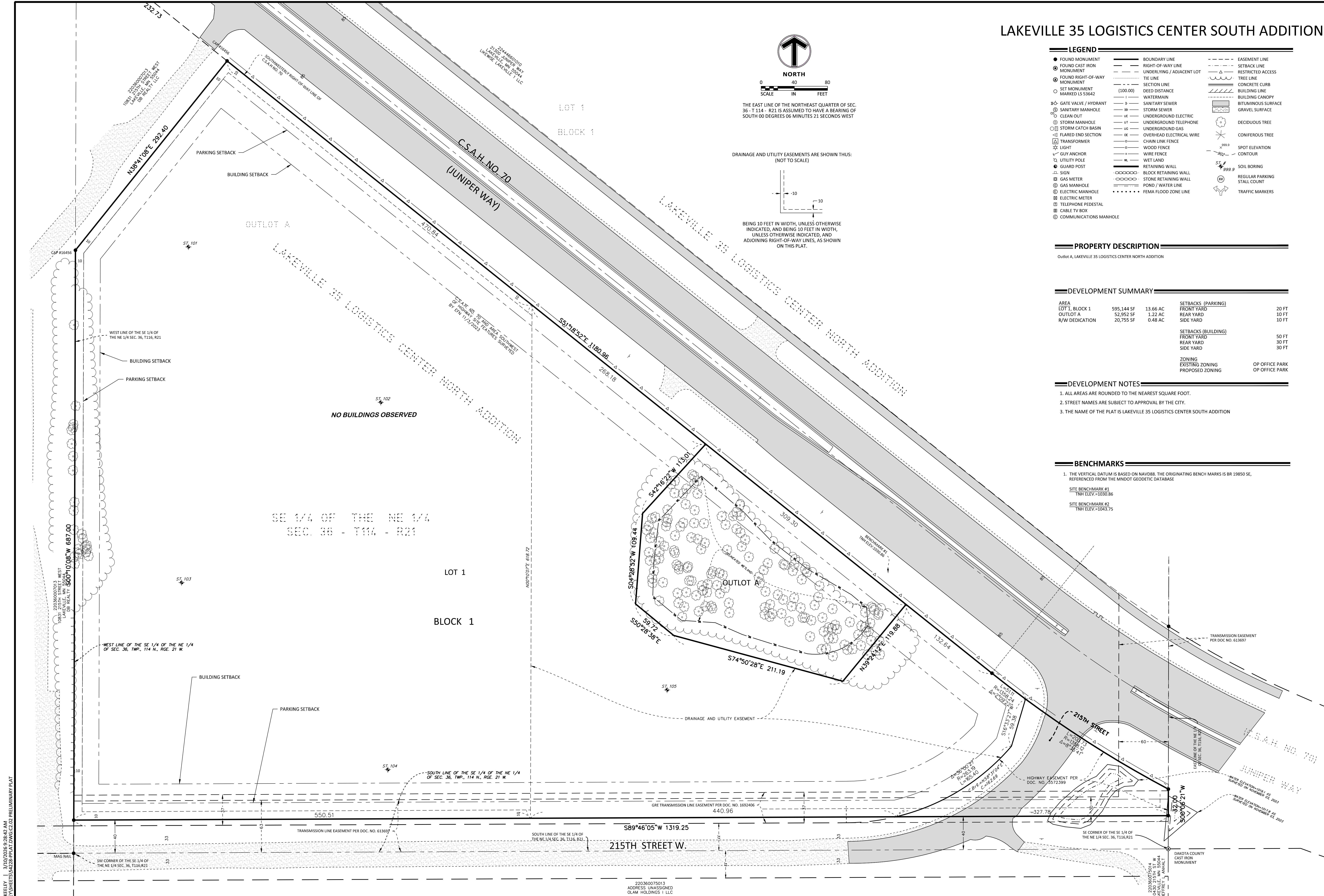
| AREA | AREA | ACRES | SETBACKS (BUILDING) | |
|----------------|------------|----------|---------------------|----------------|
| LOT 1 | 595,144 SF | 13.66 AC | FRONT YARD | 20 FT |
| OUTLOT A | 52,952 SF | 1.22 AC | REAR YARD | 10 FT |
| R/W DEDICATION | 20,755 SF | 0.48 AC | SIDE YARD | 10 FT |
| | | | FRONT YARD | 50 FT |
| | | | REAR YARD | 30 FT |
| | | | SIDE YARD | 30 FT |
| | | | ZONING | |
| | | | EXISTING ZONING | OP OFFICE PARK |
| | | | PROPOSED ZONING | OP OFFICE PARK |

DEVELOPMENT NOTES

1. ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
2. STREET NAMES ARE SUBJECT TO APPROVAL BY THE CITY.
3. THE NAME OF THE PLAT IS LAKEVILLE 35 LOGISTICS CENTER SOUTH ADDITION

BENCHMARKS

1. THE VERTICAL DATUM IS BASED ON NAVD88. THE ORIGINATING BENCH MARKS IS BR 19850 SE, REFERENCED FROM THE MNDOT GEODETIC DATABASE.
- SITE BENCHMARK #1
TNH ELEV.=1030.86
- SITE BENCHMARK #2
TNH ELEV.=1043.75



| NO | DATE | BY | CHKD | APPR | COMMENT |
|----|------------|-------|------|------|-------------------------------------|
| | 12/12/2025 | IF/SG | JDB | EWM | CLIENT REVIEW SET |
| | 01/05/2026 | IF/SG | JDB | EWM | CITY LAND USE APPLICATION SUBMITTAL |
| | 02/20/2026 | TPK | JDB | EWM | CITY LAND USE APPLICATION SUBMITTAL |

I hereby certify that this plan, survey, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Print Name: *Michael Mullerbach*
 License # 47470

NOT FOR CONSTRUCTION

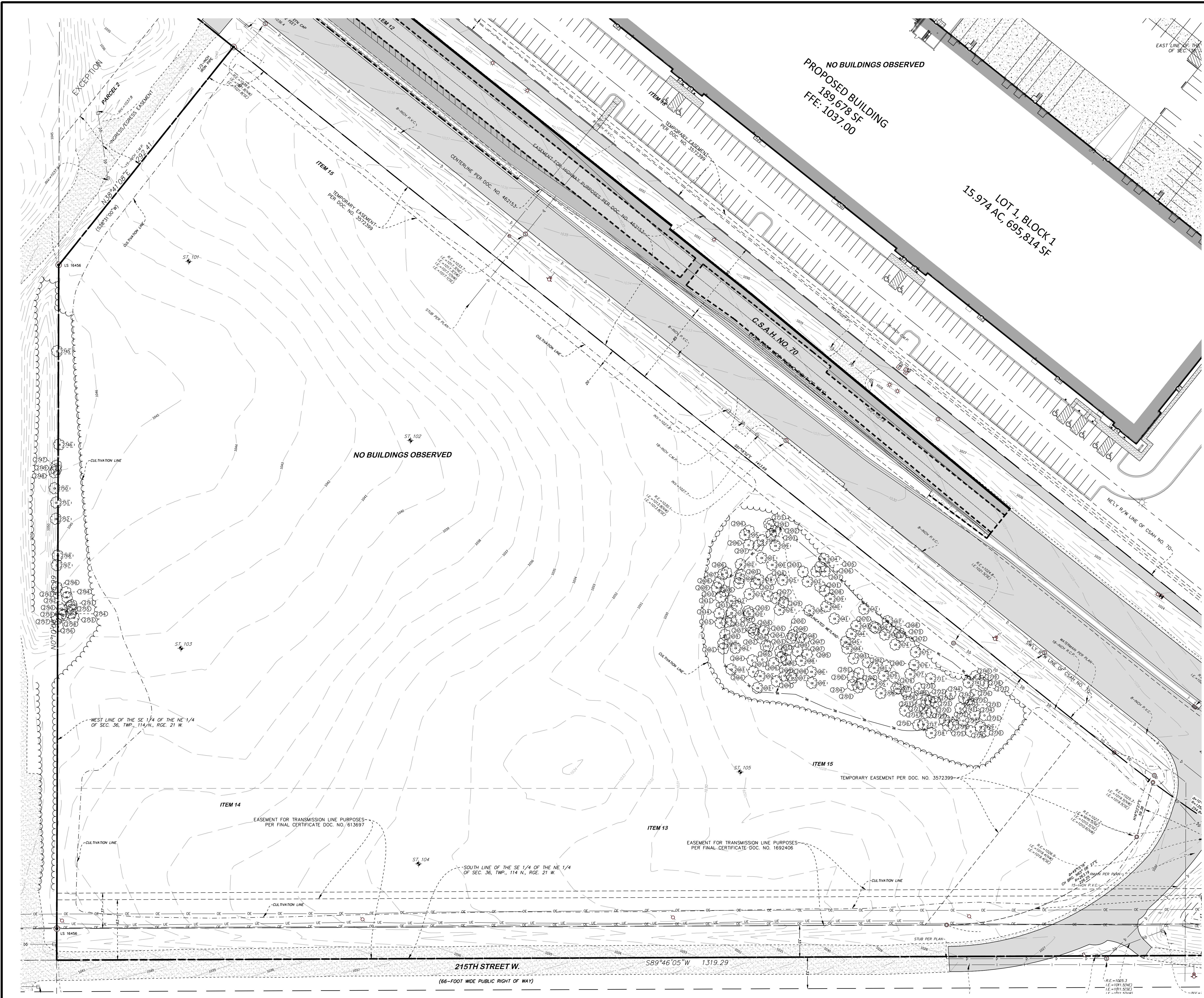
| | | | |
|------------------------|------------|-------------|-------|
| PRELIMINARY | 01/05/2026 | DRAWN BY | GAM |
| DESIGN REVIEW | 02/20/2026 | DESIGNED BY | GAM |
| PERMIT SUBMITTAL | | CHECKED BY | GAM |
| CONSTRUCTION DOCUMENTS | | PROJECT NO. | 54228 |

Engineering | Surveying | Planning | Environmental

PRELIMINARY PLAT
 LIKewise PARTNERS
 LAKEVILLE 35 LOGISTICS CENTER SOUTH
 PRELIMINARY SITE DEVELOPMENT PLANS
 LAKEVILLE, MN

SHEET
C2.02
 5 OF 20
 REV.

24.15 (LMS) TECH | THOMAS KEELY | 3/10/2026 9:38:42 AM
 PROJECT: 54228 - CONSTRUCTION DOCUMENTS - PLAN DWG: C2.02 - PRELIMINARY PLAT



| LEGEND | | |
|-----------------------|--------------------------|-----------------------|
| ● FOUND MONUMENT | — — WATERMAIN | --- EASEMENT LINE |
| ○ SET MONUMENT MARKED | — — SANITARY SEWER | --- SETBACK LINE |
| ⊗ ELECTRIC METER | — — FORCEMAIN (SAN.) | --- RESTRICTED ACCESS |
| ⊗ LIGHT | — — STORM SEWER | --- CONCRETE CURB |
| ⊗ AIR CONDITIONER | — — FLARED END SECTION | --- BUILDING LINE |
| ⊗ GUY ANCHOR | — — ELECTRIC TRANSFORMER | --- BUILDING CANOPY |
| ⊗ HANDICAP STALL | — — TELEPHONE PEDESTAL | ■ BITUMINOUS SURFACE |
| ⊗ UTILITY POLE | — — GAS METER | ■ CONCRETE SURFACE |
| ⊗ POST | — — OVERHEAD WIRE | ■ LANDSCAPE SURFACE |
| ⊗ SIGN | — — CHAIN LINK FENCE | |
| ⊗ DECIDUOUS TREE | — — IRON FENCE | |
| ⊗ CONIFEROUS TREE | — — WIRE FENCE | |
| | — — WOOD FENCE | |

DESCRIPTION
 OUTLOT A, LAKEVILLE 35 LOGISTICS CENTER NORTH ADDITION, DAKOTA COUNTY, MINNESOTA, ACCORDING TO THE RECORDED PLAT THEREOF.

PROPERTY SUMMARY

- SUBJECT PROPERTIES ADDRESS IS 10655 215TH STREET W., LAKEVILLE, MN 55044. ITS PROPERTY IDENTIFICATION NUMBER IS 22444660010.
- THE GROSS AREA OF THE SUBJECT PROPERTY IS 15.974 ACRES OR 668,850 SQUARE FEET.
- THE SUBJECT PROPERTY IS ZONED OP - OFFICE PARK.
- THERE ARE NO BUILDINGS OBSERVED.

BENCHMARKS

- THE VERTICAL DATUM IS BASED ON NAVD88. THE ORIGINATING BENCH MARK IS BR 19850 SE, REFERENCED FROM THE MNDOT GEODETIC DATABASE.
 BENCHMARK #1
 TNH ELEV.=1030.86
 BENCHMARK #2
 TNH ELEV.=1043.75

SURVEY NOTES

- THE BEARING SYSTEM IS BASED ON THE DAKOTA COUNTY COORDINATE SYSTEM, NAD83 (1986 ADJUST), WITH AN ASSUMED BEARING S 0°06'21" W FOR THE EAST LINE OF NE 1/4, SECTION 36, TOWNSHIP 114, RANGE 21. THE ORIGINATING MONUMENTS UTILIZED TO ESTABLISH THE HORIZONTAL POSITION OF THIS SURVEY WERE THE NORTHEAST CORNER AND THE SOUTHEAST CORNER OF SAID SECTION.
- UTILITY INFORMATION SHOWN HEREON IS A COMPILATION OF PROVIDED MAP INFORMATION AND THOSE VISIBLE UTILITIES AND MARKED UTILITIES WHICH WERE LOCATED DURING THE SURVEY FIELD WORK. UTILITY SUPPLIERS OFTEN DO NOT RESPOND TO LOCATE REQUESTS IN THE FIELD BUT MAY PROVIDE MAPS, PLANS AND DRAWINGS IN LIEU OF PHYSICAL LOCATION. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION AS INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE AVAILABLE INFORMATION. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, PURSUANT TO MS 216.D CONTACT GOPHER STATE ONE CALL AT (651-454-002) PRIOR TO ANY EXCAVATION.
- FIELD WORK WAS COMPLETED ON 5/15/2024.

24.LS.LMS.TECH | THOMAS KEELY | 7/20/2026 3:07:13 PM | PROJECT: 54228 - C&A - CIVIL SHEETS - C&A - EXISTING CONDITIONS

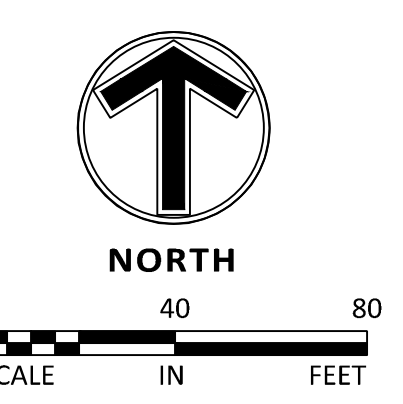
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|----|------------|-------|-----|------|-------------------------------------|
| | 12/12/2025 | IF/SG | JDB | EWM | CLIENT REVIEW SET |
| | 01/05/2026 | IF/SG | JDB | EWM | CITY LAND USE APPLICATION SUBMITTAL |
| | 02/20/2026 | TPK | JDB | EWM | CITY LAND USE APPLICATION SUBMITTAL |

NOT FOR CONSTRUCTION

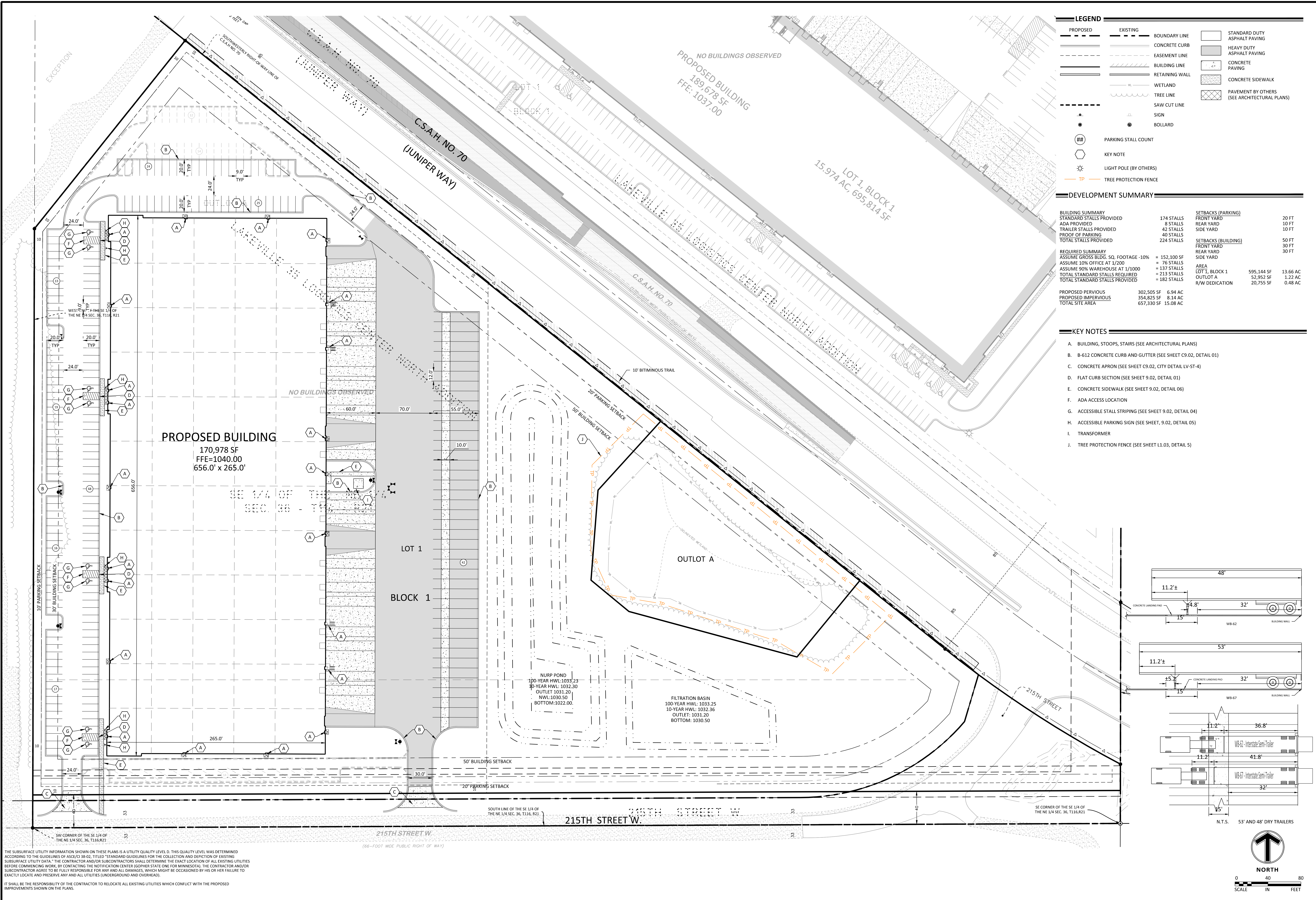
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| PRELIMINARY | 01/05/2026 | DRAWN BY | GAM |
| DESIGN REVIEW | 02/20/2026 | DESIGNED BY | |
| PERMIT SUBMITTAL | | CHECKED BY | GAM |
| CONSTRUCTION DOCUMENTS | | PROJECT NO. | 54228 |



EXISTING CONDITIONS
 LIKewise PARTNERS
 LAKEVILLE 35 LOGISTICS CENTER SOUTH
 PRELIMINARY SITE DEVELOPMENT PLANS
 LAKEVILLE, MN



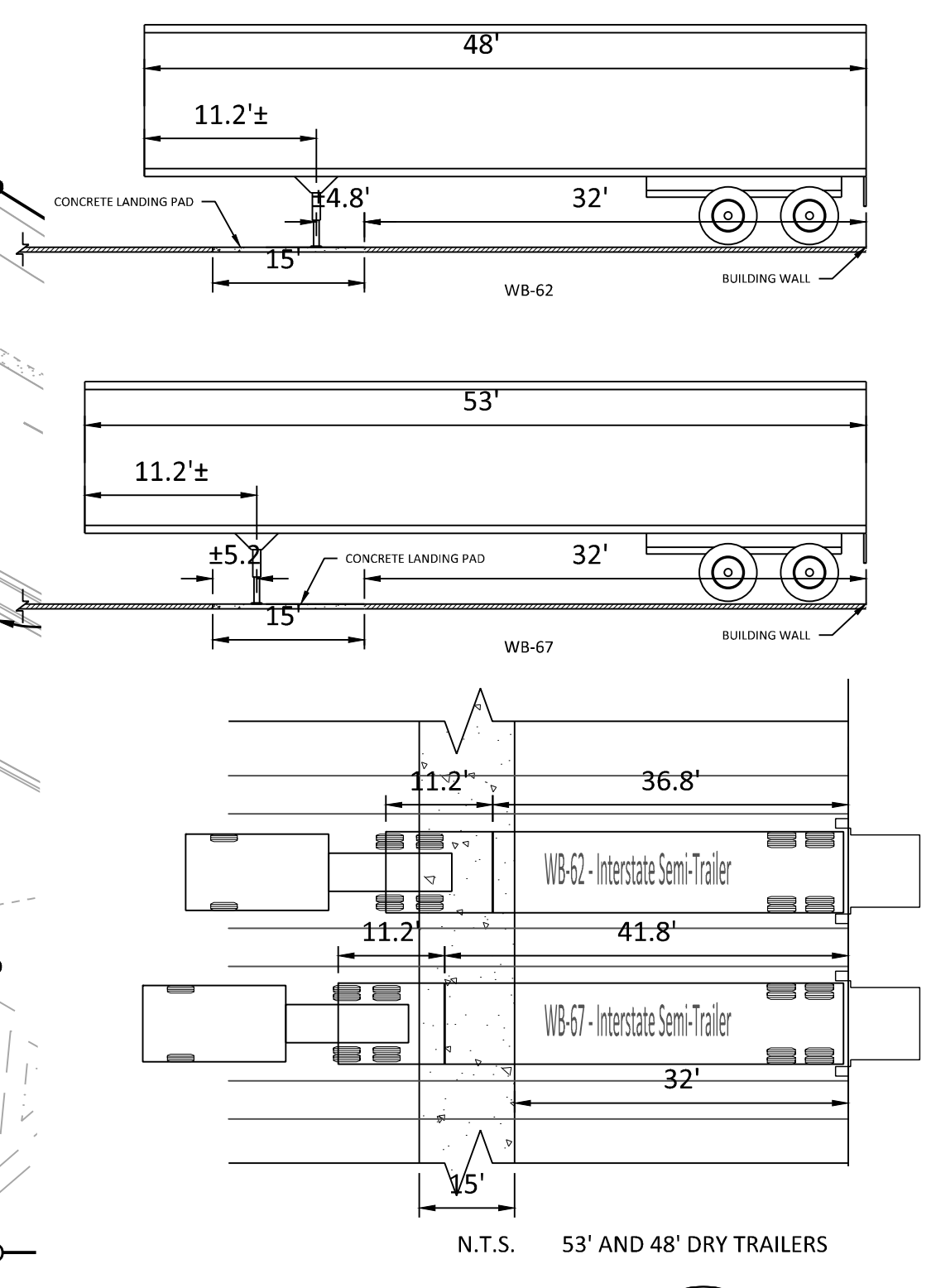
SHEET
C2.01
 4 OF 20
 REV.



| LEGEND | |
|--|---------------------------|
| PROPOSED | EXISTING |
| BOUNDARY LINE | CONCRETE CURB |
| EASEMENT LINE | BUILDING LINE |
| RETAINING WALL | WETLAND |
| TREE LINE | SAW CUT LINE |
| SIGN | BOLLARD |
| PARKING STALL COUNT | KEY NOTE |
| LIGHT POLE (BY OTHERS) | TREE PROTECTION FENCE |
| STANDARD DUTY ASPHALT PAVING | HEAVY DUTY ASPHALT PAVING |
| CONCRETE PAVING | CONCRETE SIDEWALK |
| PAVEMENT BY OTHERS (SEE ARCHITECTURAL PLANS) | |

| DEVELOPMENT SUMMARY | | | |
|-------------------------------------|--------------|---------------------|---------------------|
| BUILDING SUMMARY | | | |
| STANDARD STALLS PROVIDED | 174 STALLS | SETBACKS (PARKING) | 20 FT |
| ADA PROVIDED | 8 STALLS | FRONT YARD | 10 FT |
| TRAILER STALLS PROVIDED | 42 STALLS | REAR YARD | 10 FT |
| PROOF OF PARKING | 40 STALLS | SIDE YARD | 10 FT |
| TOTAL STALLS PROVIDED | 224 STALLS | SETBACKS (BUILDING) | 50 FT |
| REQUIRED SUMMARY | | | |
| ASSUME GROSS BLDG. SQ. FOOTAGE -10% | = 152,100 SF | FRONT YARD | 30 FT |
| ASSUME 10% OFFICE AT 1/200 | = 76 STALLS | REAR YARD | 30 FT |
| ASSUME 90% WAREHOUSE AT 1/1000 | = 137 STALLS | SIDE YARD | 30 FT |
| TOTAL STANDARD STALLS REQUIRED | = 213 STALLS | AREA | |
| TOTAL STANDARD STALLS PROVIDED | = 182 STALLS | LOT 1, BLOCK 1 | 595,144 SF 13.66 AC |
| | | OUTLOT A | 52,952 SF 1.22 AC |
| | | R/W DEDICATION | 20,755 SF 0.48 AC |
| PROPOSED PERVIOUS | | | |
| | 302,505 SF | 6.94 AC | |
| PROPOSED IMPERVIOUS | | | |
| | 354,825 SF | 8.14 AC | |
| TOTAL SITE AREA | | | |
| | 657,330 SF | 15.08 AC | |

- KEY NOTES**
- A. BUILDING, STOOPS, STAIRS (SEE ARCHITECTURAL PLANS)
 - B. B-612 CONCRETE CURB AND GUTTER (SEE SHEET C9.02, DETAIL 01)
 - C. CONCRETE APRON (SEE SHEET C9.02, CITY DETAIL LV-ST-4)
 - D. FLAT CURB SECTION (SEE SHEET 9.02, DETAIL 01)
 - E. CONCRETE SIDEWALK (SEE SHEET 9.02, DETAIL 06)
 - F. ADA ACCESS LOCATION
 - G. ACCESSIBLE STALL STRIPING (SEE SHEET 9.02, DETAIL 04)
 - H. ACCESSIBLE PARKING SIGN (SEE SHEET, 9.02, DETAIL 05)
 - I. TRANSFORMER
 - J. TREE PROTECTION FENCE (SEE SHEET L1.03, DETAIL 5)



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CES 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

| NO | DATE | BY | CKD | APPR | COMMENT |
|------------|-------|-----|-----|------|-------------------------------------|
| 12/12/2025 | IF/SG | JDB | EWM | | CLIENT REVIEW SET |
| 01/05/2026 | IF/SG | JDB | EWM | | CITY LAND USE APPLICATION SUBMITTAL |
| 02/20/2026 | TPK | JDB | EWM | | CITY LAND USE APPLICATION SUBMITTAL |

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: **THOMAS KEELY**

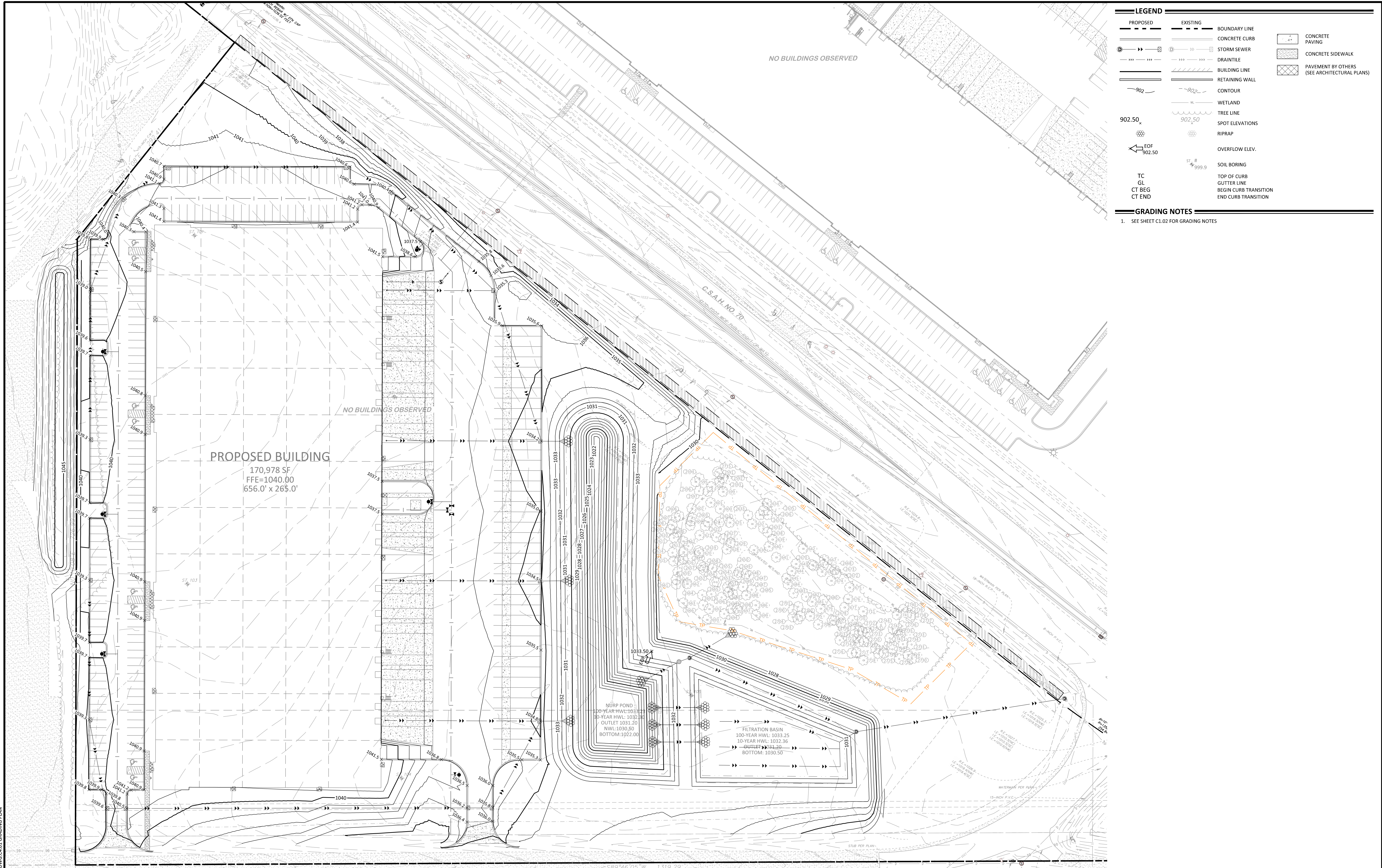
Date: 01/06/2026 License # 58645

| | | | |
|------------------------|------------|-------------|-------|
| PRELIMINARY | 01/05/2026 | DRAWN BY | IF |
| DESIGN REVIEW | 02/20/2026 | DESIGNED BY | |
| PERMIT SUBMITTAL | | CHECKED BY | |
| CONSTRUCTION DOCUMENTS | | PROJECT NO. | 54228 |



PRELIMINARY SITE PLAN
 LIKEWISE PARTNERS
 LAKEVILLE 35 LOGISTICS CENTER SOUTH
 PRELIMINARY SITE DEVELOPMENT PLANS
 LAKEVILLE, MN

SHEET C3.01
 6 OF 20
 REV.



| LEGEND | | | | |
|--------|--|-----------------------|--|---|
| | | BOUNDARY LINE | | CONCRETE PAVING |
| | | CONCRETE CURB | | CONCRETE SIDEWALK |
| | | STORM SEWER | | PAVEMENT BY OTHERS (SEE ARCHITECTURAL PLANS) |
| | | DRAIN TILE | | |
| | | BUILDING LINE | | |
| | | RETAINING WALL | | |
| | | CONTOUR | | |
| | | WETLAND | | |
| | | TREE LINE | | |
| | | SPOT ELEVATIONS | | |
| | | RIPRAP | | |
| | | OVERFLOW ELEV. | | |
| | | SOIL BORING | | |
| | | TOP OF CURB | | |
| | | GUTTER LINE | | |
| | | BEGIN CURB TRANSITION | | |
| | | END CURB TRANSITION | | |

GRADING NOTES
 1. SEE SHEET C1.02 FOR GRADING NOTES

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

| NO | DATE | BY | CHKD | APPR | COMMENT |
|----|------------|-------|------|------|-------------------------------------|
| | 12/12/2025 | IF/SG | JDB | EWM | CLIENT REVIEW SET |
| | 01/05/2026 | IF/SG | JDB | EWM | CITY LAND USE APPLICATION SUBMITTAL |
| | 02/20/2026 | TPK | JDB | EWM | CITY LAND USE APPLICATION SUBMITTAL |

Print Name: _____
 Date: 01/06/2026 License # 58645

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the laws of the State of Minnesota.

PRELIMINARY 01/05/2026
 DESIGN REVIEW 02/20/2026
 PERMIT SUBMITTAL
 CONSTRUCTION DOCUMENTS

DRAWN BY IF
 DESIGNED BY
 CHECKED BY
 PROJECT NO. 54228

Sambatek
 www.sambatek.com
 Engineering | Surveying | Planning | Environmental

GRADING PLAN
 LIKewise PARTNERS
 LAKEVILLE 35 LOGISTICS CENTER SOUTH
 PRELIMINARY SITE DEVELOPMENT PLANS
 LAKEVILLE, MN

SHEET C4.01
 7 OF 20
 REV.

24.LS (LMS) TECH. J. THOMAS KEELY, J. 7/27/2026 3:06:51 PM
 PROJECT: 54228 - C4.01 - LAKEVILLE 35 LOGISTICS CENTER SOUTH - GRADING PLAN

LANDSCAPE NOTES

*REFER TO SHEET L1.03 FOR LANDSCAPE NOTES & SPECIFICATIONS

LAKEVILLE LANDSCAPE CODE

OF DISTRICT LANDSCAPE REQUIREMENTS

MINIMUM LANDSCAPE AREA = 30% TOTAL SITE AREA

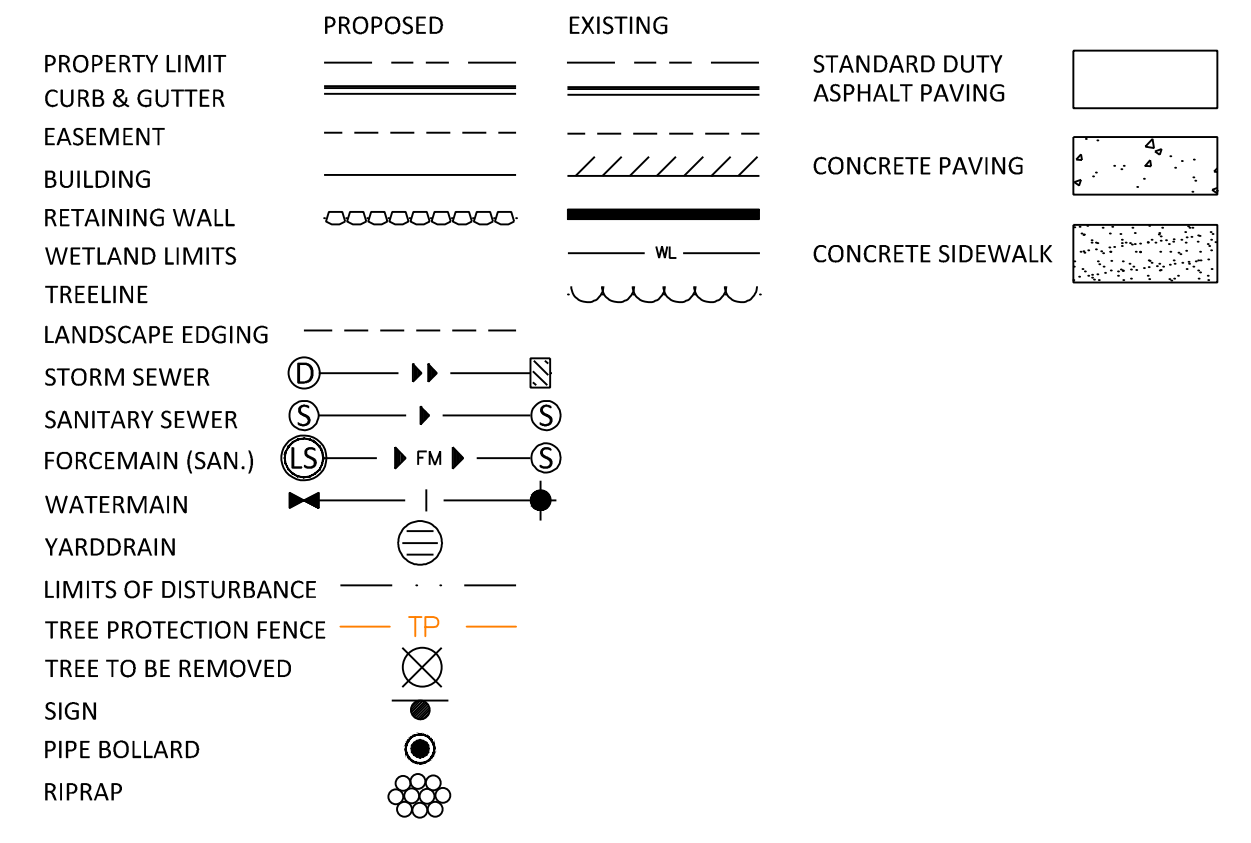
PERIMETER PLANTINGS - JUNIPER WAX (1070) & 215TH ST - ROW OF DECIDUOUS OVERSTORY TREES PLANTED 40' OC

SCREENING
LOADING AREAS - SHALL BE SCREENED FROM THE ABUTTING PUBLIC R.O.W. VIA SCREENING FENCE OR A GREENBELT PLANTING STRIP.
GREENBELT PLANTING STRIP - EVERGREEN TREES AND/OR DECIDUOUS TREES & SHRUBS, MINIMUM OF 20' WIDTH, PROVIDING CONTINUOUS VISUAL SCREENING 8' IN HEIGHT, PLANTED ALONG PROPERTY LINE. GRADE FOR DETERMINING HEIGHT SHALL BE BASED ON THE ELEVATION OF THE BUILDING PARKING LOT OR USE FOR WHICH SCREENING IS BEING PROVIDED.

EXISTING LANDSCAPE MATERIAL IN GOOD HEALTH AND CONDITION MAY BE USED TO SATISFY THE REQUIREMENT OF THIS SECTION IN WHOLE OR PART WHEN MEETING THE REQUIREMENTS OF THE GREENBELT PLANTING STRIP.

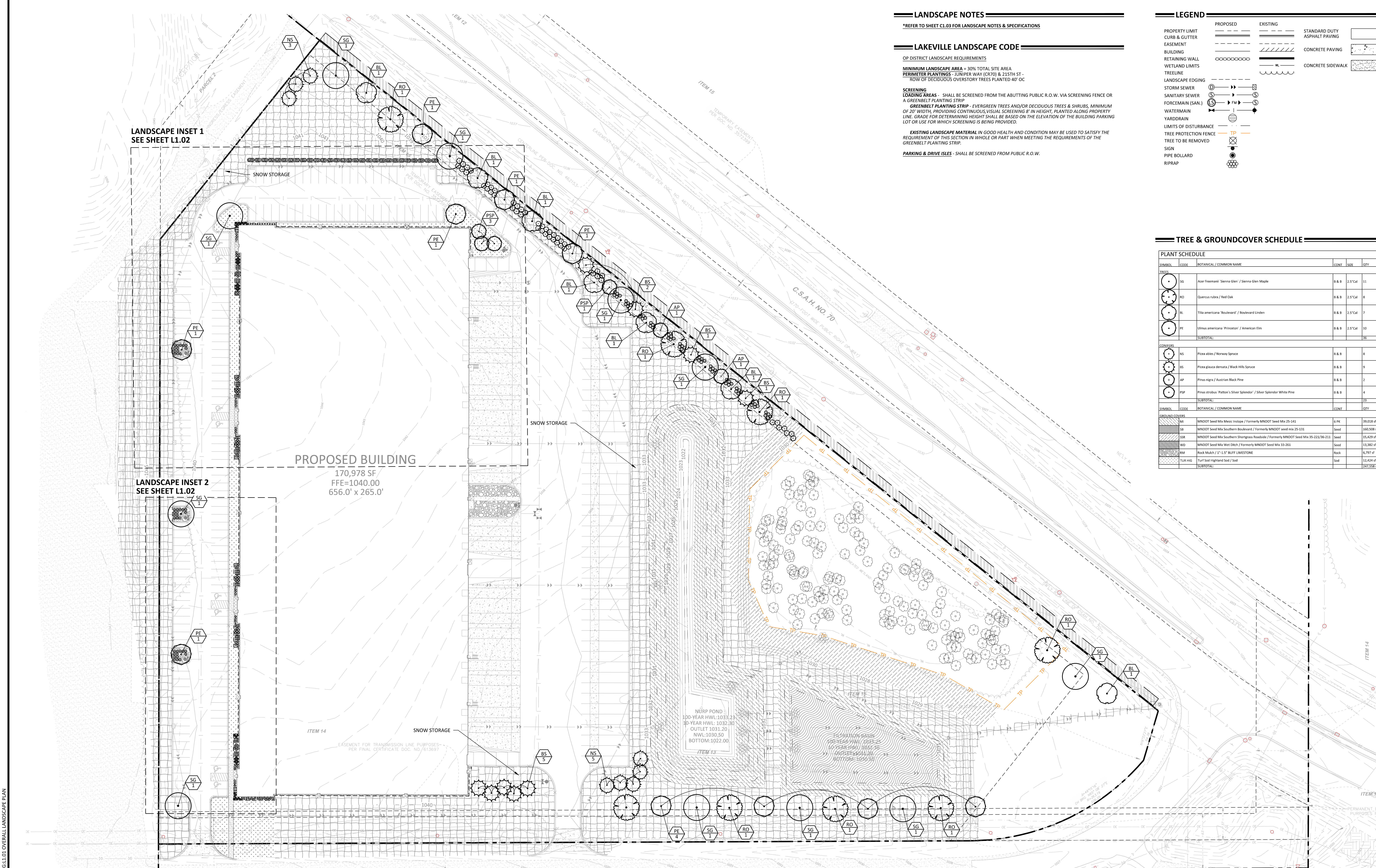
PARKING & DRIVE ISLES - SHALL BE SCREENED FROM PUBLIC R.O.W.

LEGEND



TREE & GROUND COVER SCHEDULE

| SCHEDULE | SYMBOL | CODE | BOTANICAL / COMMON NAME | COUNT | SIZE | QTY |
|--------------|----------|---------|--|-------|----------|------------|
| TREES | (Symbol) | SG | Acer Freemanii / Sierra Glen / Sierra Glen Maple | 8 | 8" B & B | 11 |
| | (Symbol) | RO | Quercus rubra / Red Oak | 8 | 8" B & B | 8 |
| | (Symbol) | BL | Tilia americana Boulevard / Boulevard Linden | 8 | 8" B & B | 17 |
| | (Symbol) | PE | Ulmus americana Princeton / American Elm | 8 | 8" B & B | 10 |
| SUBTOTAL: | | | | | | 36 |
| CONIFERS | (Symbol) | NS | Picea abies / Norway Spruce | 8 | 8" B & B | 8 |
| | (Symbol) | IS | Picea glauca densata / Black Hills Spruce | 8 | 8" B & B | 9 |
| | (Symbol) | AP | Pinus nigra / Austrian Black Pine | 8 | 8" B & B | 2 |
| | (Symbol) | PSP | Pinus strobus Patton's Silver Splendor / Silver Splendor White Pine | 8 | 8" B & B | 4 |
| SUBTOTAL: | | | | | | 23 |
| GROUND COVER | (Symbol) | MNDOT | MNDOT Seed Mix Mesic / Isople / Formerly MNDOT Seed Mix 25-141 | 6 | PK | 39,028 sf |
| | (Symbol) | SS | MNDOT Seed Mix Southern Boulevard / Formerly MNDOT seed mix 25-131 | | Seed | 160,508 sf |
| | (Symbol) | SSR | MNDOT Seed Mix Southern Shorgrass Roadside / Formerly MNDOT Seed Mix 35-221/26-211 | | Seed | 15,429 sf |
| | (Symbol) | WD | MNDOT Seed Mix Wet Ditch / Formerly MNDOT Seed Mix 33-261 | | Seed | 13,382 sf |
| | (Symbol) | RM | Rock Mulch / 1'-1.5" BUFF LIMESTONE | | Rock | 6,797 sf |
| | (Symbol) | TUR HIG | Turf Sod Highland Sod / Sod | | Sod | 12,424 sf |
| SUBTOTAL: | | | | | | 247,558 sf |



24.L1.01 (LMS TECH) - THOMAS KEELY - 11/27/2026 3:07:04 PM
 PROJECT: 24-228-CAD (LMS) SHEET: L1.01 - LANDSCAPE OVERALL LANDSCAPE PLAN

| NO | DATE | BY | CHKD | APPR | COMMENT |
|----|------------|-------|------|------|-------------------------------------|
| 1 | 12/12/2025 | IF/SG | JDB | EWM | CLIENT REVIEW SET |
| 2 | 01/05/2026 | IF/SG | JDB | EWM | CITY LAND USE APPLICATION SUBMITTAL |
| 3 | 02/20/2026 | TPK | JDB | EWM | CITY LAND USE APPLICATION SUBMITTAL |

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect in the laws of the State of Minnesota.

Print Name: **NOT FOR CONSTRUCTION**

Date: _____ License # 56877

PRELIMINARY 01/05/2026
DESIGN REVIEW 02/20/2026
PERMIT SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY SIG
DESIGNED BY SIG
CHECKED BY DCR
PROJECT NO. 54228



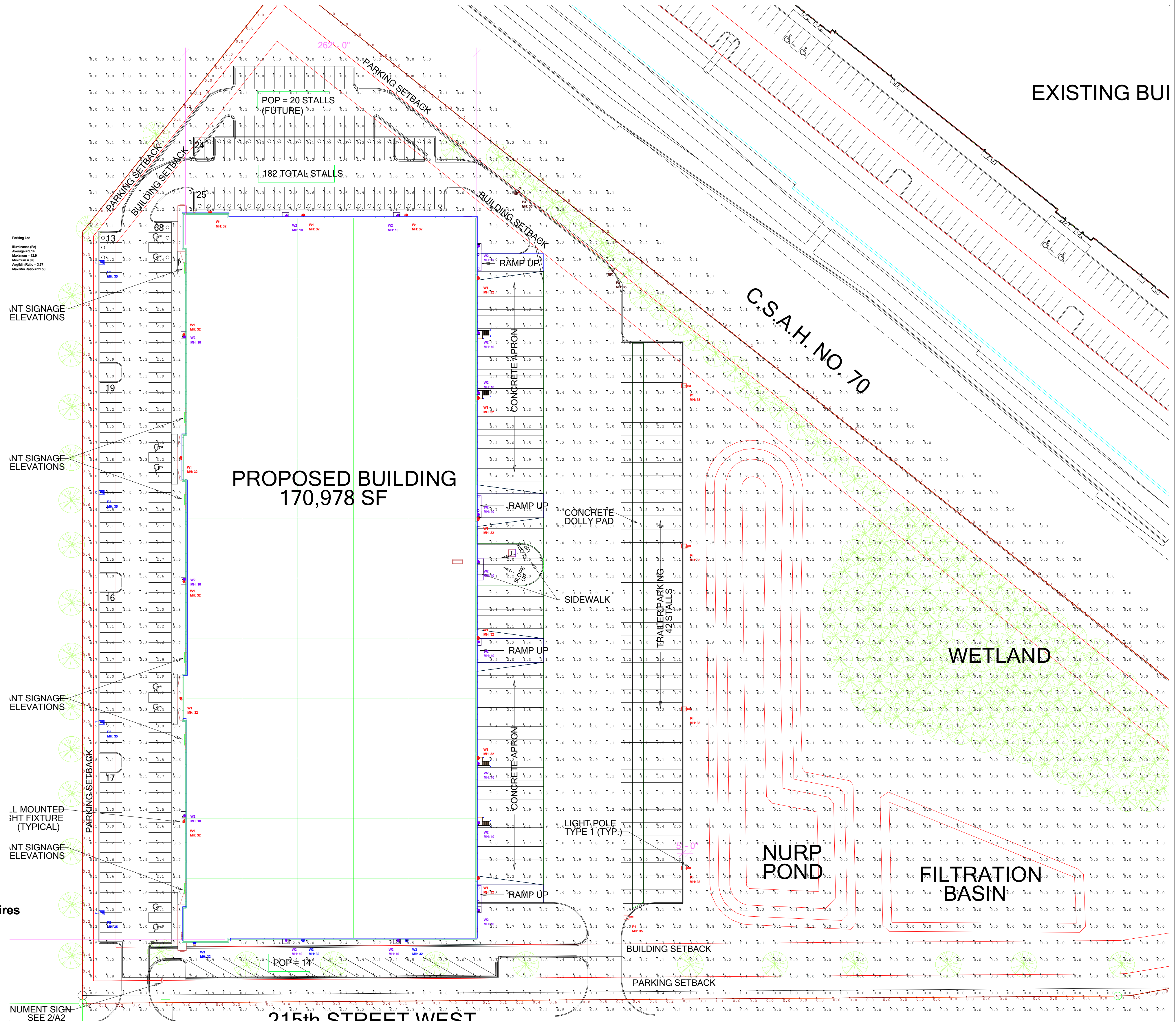
OVERALL LANDSCAPE PLAN

LIKewise PARTNERS
LAKEVILLE 35 LOGISTICS CENTER SOUTH
PRELIMINARY SITE DEVELOPMENT PLANS
LAKEVILLE, MN

SHEET
L1.01
18 OF 20
REV.----

| Luminaire Schedule | | | | | | | | |
|--------------------|-----|------|-----------------|------------|------------------|-------|--|------------------|
| Symbol | Qty | Type | Mounting Height | Lum. Watts | Luminaire Lumens | LLF | Description | [MANUFAC] |
| | 5 | P1 | 35 | 316 | 35075 | 0.900 | NV-2-T4-96L-1-40K | NLS Lighting |
| | 4 | P2 | 35 | 168 | 12707 | 0.900 | NV-2-T4-80L-7-40K8-HSS | NLS LIGHTING |
| | 2 | P3 | 35 | 106 | 12932 | 0.900 | NV-1-T2-32L-1-40K-UNV | NLS Lighting LLC |
| | 14 | W1 | 32 | 205 | 22951 | 0.900 | NV-W2-T4-64L-1-40K7 | NLS LIGHTING |
| | 16 | W2 | 10 | 19.0219 | 2744 | 0.900 | OWS-FC-116-LED-3ML-DIM10-120V-347V-3CCT-BZ | ELITE LIGHTING |
| | 3 | W3 | 32 | 205 | 23100 | 0.900 | NV-W2-T2-64L-1-40K7 | NLS LIGHTING |

| Calculation Summary | | | | | | |
|---------------------|-------|------|------|-----|---------|---------|
| Label | Units | Avg | Max | Min | Avg/Min | Max/Min |
| Overall Site | Fc | 0.87 | 12.9 | 0.0 | N.A. | N.A. |
| Property Line | Fc | 0.20 | 0.8 | 0.0 | N.A. | N.A. |
| Parking Lot | Fc | 2.14 | 12.9 | 0.6 | 3.57 | 21.50 |



DISCLAIMER: Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping or any other architectural elements unless noted.

Fixture nomenclature to be finalized by engineer and/or architect. This drawings is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

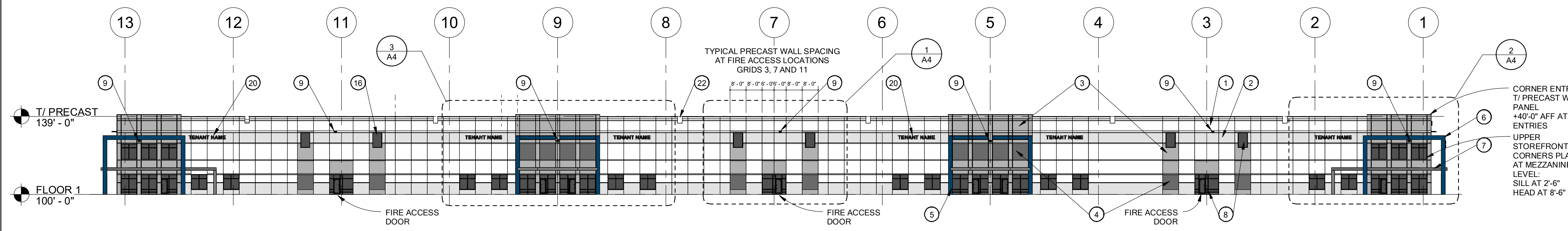


Designed By: K. Tomczak
 Checked By: Jack Laim
 Date: 2/24/2026
 Scale: 1" = 50'

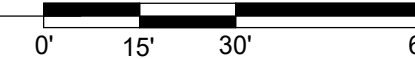
L35 LOGISTIC

I hereby certified that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota

Edward A. Farr
 Date _____ Reg. No. 16362
 Project Manager
 NSL
 COPYRIGHT 2026



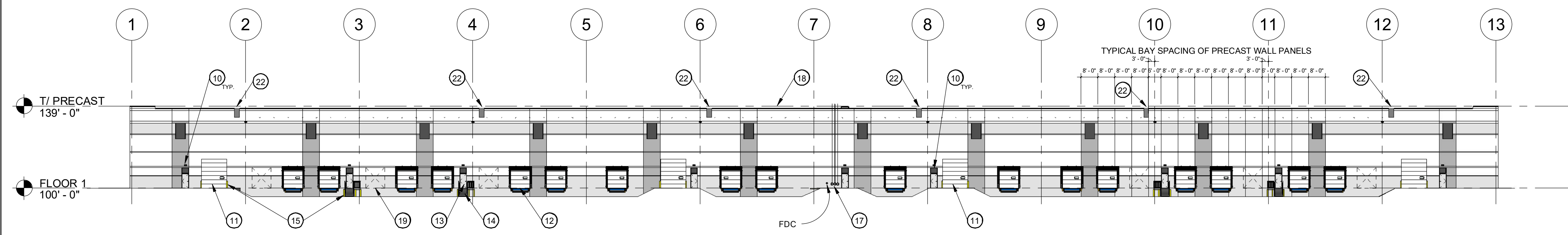
1 OVERALL EAST - FRONT ELEVATION
 A3 SCALE: 1" = 30'-0"



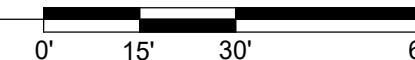
MATERIAL GRADE AREAS - EAST

| MATERIAL - EAST | SQ. FT. | % WALL AREA | % GRADE |
|------------------------|---------|-------------|---------|
| Grade A - Precast | 21,980 | 86% | 96% |
| Grade A - Glass | 2,697 | 10% | Grade A |
| Grade C - Orn. Mtl. | 317 | 1% | |
| Grade C - Fibre Cement | 384 | 2% | 4% |
| Grade C - Opaque Mtl. | 129 | 1% | Grade C |
| Totals | 25,507 | 100% | |

CORNER ENTRY T/ PRECAST WALL PANEL +40'-0" AFF AT ENTRIES
 UPPER STOREFRONTS AT CORNERS PLACED AT MEZZANINE LEVEL: SILL AT 2'-6" HEAD AT 8'-6"

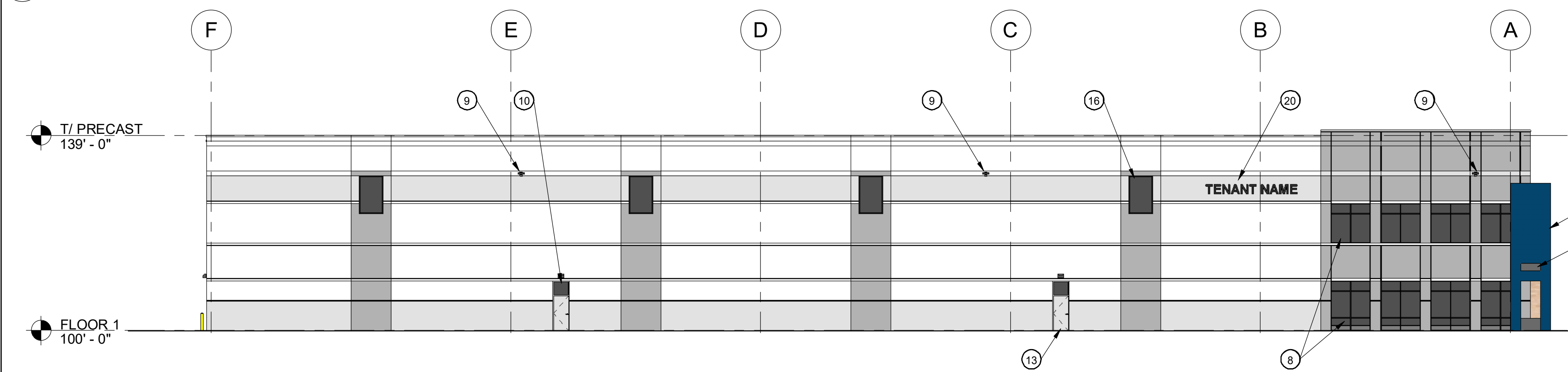


2 OVERALL WEST - DOCK ELEVATION
 A3 SCALE: 1" = 30'-0"



MATERIAL GRADE AREAS - WEST

| MATERIAL - WEST | SQ. FT. | % WALL AREA | % GRADE |
|------------------------|---------|-------------|---------|
| Grade A - Precast | 24,186 | 97% | 99% |
| Grade A - Glass | 518 | 2% | Grade A |
| Grade C - Orn. Mtl. | 0 | 0% | |
| Grade C - Fibre Cement | 0 | 0% | 1% |
| Grade C - Opaque Mtl. | 213 | 1% | Grade C |
| Totals | 24,917 | 100% | |



3 NORTH - JUNIPER WAY
 A3 SCALE: 1/16" = 1'-0"

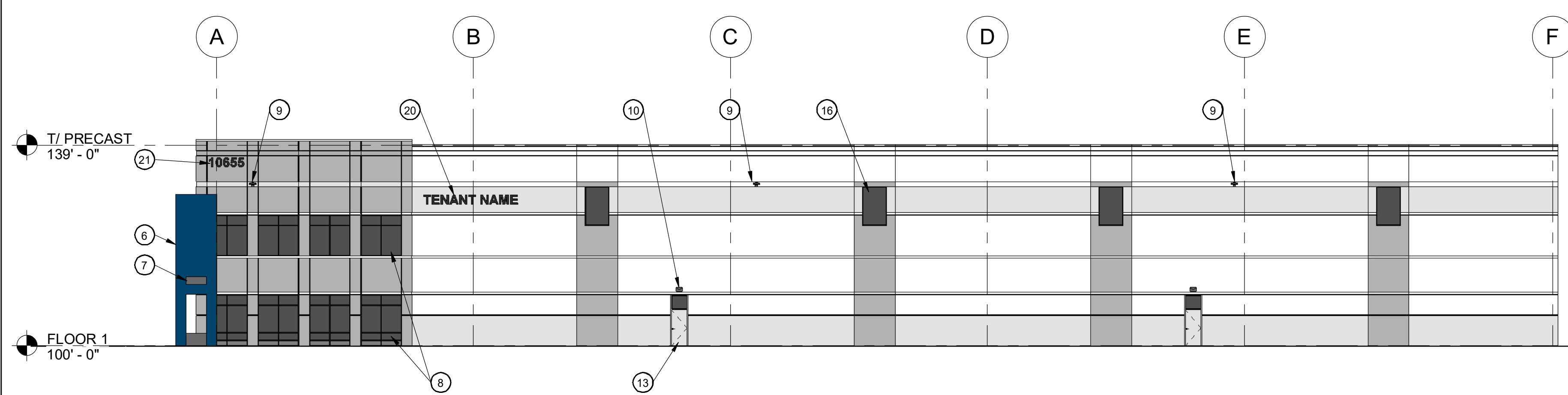


MATERIAL GRADE AREAS - NORTH

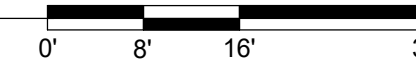
| MATERIAL - NORTH | SQ. FT. | % WALL AREA | % GRADE |
|------------------------|---------|-------------|---------|
| Grade A - Precast | 9,503 | 91% | 97% |
| Grade A - Glass | 707 | 6% | Grade A |
| Grade C - Orn. Mtl. | 6 | 0% | 3% |
| Grade C - Fibre Cement | 200 | 2% | Grade C |
| Grade C - Opaque Mtl. | 79 | 1% | |
| Totals | 10,495 | 100% | |

ELEVATION NOTES

- SMOOTH PAINTED PRECAST WALL PANEL - PAINT 1 - WHITE
- SMOOTH PAINTED PRECAST WALL PANEL - PAINT 2 - LIGHT GRAY
- SMOOTH PAINTED PRECAST WALL PANEL - PAINT 3 - MEDIUM GRAY
- SMOOTH PAINTED PRECAST WALL PANEL - PAINT 4 - DARK GRAY
- SMOOTH PAINTED PRECAST WALL PANEL - PAINT 5 - BLUE
- CEMENT FIBER WALL PANEL SYSTEM - BLUE
- CEMENT FIBER WALL PANEL SYSTEM - WOOD
- ALUMINUM AND GLASS STOREFRONT SYSTEM
- AREA LIGHT
- EXIT LIGHT (TYP.)
- OVERHEAD DRIVE-IN DOOR
- OVERHEAD DOCK DOOR WITH LEVELER AND DOCK SEAL
- HOLLOW METAL DOOR WITH TRANSOM WINDOW ABOVE
- METAL DOCK STAIR
- BOLLARD
- CLERESTORY WINDOW
- GAS METERS
- PREFINISHED METAL COPING
- KNOCK-OUT PANEL
- TENANT SIGNAGE
- ADDRESS NUMERALS
- OVERFLOW ROOF DRAIN SCUPPER



4 SOUTH - 215TH STREET
 A3 SCALE: 1/16" = 1'-0"



MATERIAL GRADE AREAS - SOUTH

| MATERIAL - SOUTH | SQ. FT. | % WALL AREA | % GRADE |
|------------------------|---------|-------------|---------|
| Grade A - Precast | 9,503 | 91% | 97% |
| Grade A - Glass | 707 | 6% | Grade A |
| Grade C - Orn. Mtl. | 6 | 0% | 3% |
| Grade C - Fibre Cement | 200 | 2% | Grade C |
| Grade C - Opaque Mtl. | 79 | 1% | |
| Totals | 10,495 | 100% | |

PRELIMINARY - NOT FOR CONSTRUCTION

Client
Likewise Partners

Project
 Lakeville 35 Logistics 2

Location
 10655 215th Street West
 Lakeville, Minnesota

Issued For
 CITY LAND USE SUBMITTAL

Sheet Title
 EXTERIOR ELEVATIONS

Project Number
 23.043

Sheet Number
 A3



Dakota County Surveyor's Office

Western Service Center • 14955 Galaxie Avenue • Apple Valley, MN 55124
952.891-7087 • Fax 952.891-7127 • www.co.dakota.mn.us

March 12, 2026

City of Lakeville
20195 Holyoke Ave.
Lakeville, MN 55044

Re: **LAKEVILLE 35 LOGISTICS CENTER SOUTH**

The Dakota County Plat Commission met on March 11, 2026, to consider the preliminary plat of the above referenced plat. The plat is adjacent to CSAH 70 (Juniper Way) and is therefore subject to the Dakota County Contiguous Plat Ordinance.

The site includes one lot for a commercial building site. The right-of-way guidelines along CSAH 70 as a 4-lane divided roadway are 75 feet of half right of way, which have been met. No access is shown to CSAH 70. Restricted access should be shown along all of CSAH 70. A quit claim deed for restricted access to Dakota County is required with the recording of the plat mylars. As noted, the intersection at CSAH 70/215th Street West will be changed to a restricted access location in the future.

The Plat Commission has approved the preliminary plat provided that the described conditions are met. The Ordinance requires submittal of a final plat for review by the Plat Commission before a recommendation is made to the County Board of Commissioners.

Traffic volumes on CSAH 70 are 13,300 ADT and are anticipated to be 16,800 ADT by the year 2040.

No work shall commence in the County right of way until a permit is obtained from the County Transportation Department and no permit will be issued until the plat has been filed with the County Recorder's Office. The Plat Commission does not review or approve the actual engineering design of proposed accesses or other improvements to be made in the right of way. Nothing herein is intended to restrict or limit Dakota County's rights with regards to Dakota County rights of way or property. The Plat Commission highly recommends early contact with the Transportation Department to discuss the permitting process which reviews the design and may require construction of highway improvements, including, but not limited to, turn lanes, drainage features, limitations on intersecting street widths, medians, etc. Please contact TJ Bentley regarding permitting questions at (952) 891-7115 or Todd Tollefson regarding Plat Commission or Plat Ordinance questions at (952) 891-7070.

Sincerely,

A handwritten signature in black ink that reads "Todd B. Tollefson".

Todd B. Tollefson
Secretary, Plat Commission

c:

**CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA**

**CONDITIONAL USE PERMIT
FINDINGS OF FACT AND RECOMMENDATION**

On March 19, 2026, the Lakeville Planning Commission met at its regularly scheduled meeting to consider a conditional use permit to allow a warehouse building in the O-P, Office Park District to be located on Lot 1, Block 1, Lakeville 35 Logistics Center South Addition. The Planning Commission conducted a public hearing on the proposed conditional use permit preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The property is located in Planning District No. 6 of the 2040 Comprehensive Land Use Plan, which guides the property for office park uses.
2. The property is currently zoned O-P, Office Park District.
3. The legal description at the time of final plat of the property will be:

**Lot 1, Block 1, Lakeville 35 Logistics Center South Addition, Dakota County,
Minnesota**

4. Section 11-4-3E of the City of Lakeville Zoning Ordinance provides that a conditional use permit may not be issued unless certain criteria are satisfied. The criteria and our findings regarding them are:
 - a. **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.**

Finding: The proposed warehouse building is consistent with the 2040 Comprehensive Land Use Plan and the District 6 recommendations of the Comprehensive Plan.

- b. **The proposed use is or will be compatible with present and future land uses of the area.**

Finding: The proposed warehouse building will be accessed exclusively from 215th Street. There are no nearby land uses that will be adversely impacted by the proposed warehouse building. Provided compliance with the conditional use permit, the proposed warehouse use will be compatible with existing and planned nearby land uses in the vicinity.

- c. **The proposed use conforms with all performance standards contained in the Zoning Ordinance.**

Finding: The exterior design of the industrial warehouse building conforms to all performance standards contained in the Zoning Ordinance and the City Code.

- d. **The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.**

Finding: The subject property lies within in the current MUSA. The property can be served with public sanitary sewer and water services. The use of the property as an industrial warehouse will have no impact on the City's service capacity.

- e. **Traffic generation by the proposed use is within capabilities of streets serving the property.**

Finding: Anticipated traffic generated by the industrial warehouse – office building is within the capabilities of all public streets serving the property. Dakota County Plat Commission has reviewed and approved the plat and planned land use.

- 5. The planning report dated March 10, 2026 prepared by Senior Planner Heather Botten is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the conditional use permit conditioned upon compliance with the planning report prepared by Senior Planner Heather Botten dated March 10, 2026.

DATED: March 19, 2026

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair



Memorandum

FYI

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: March 12, 2026
Subject: Future and Continued Planning Commission Agenda Items
Summary of City Council Actions on Planning Commission Items

The following is a list of possible agenda items to be considered at upcoming Planning Commission meetings:

- Globus Transport preliminary plat

The following items were approved by the City Council at the March 2, 2026 City Council meeting.

- Final plat of Kyla Crossing Second Addition