



AGENDA PLANNING COMMISSION MEETING

April 16, 2026 - 6:00 PM
City Hall Council Chambers

Members of the public can participate in person at Lakeville City Hall. The Planning Commission meeting can be viewed via web stream at [Lakevillemn.gov/LiveTV](https://lakevillemn.gov/LiveTV) or live on Spectrum cable channel 180. The Chair will allow for public comments and questions at the appropriate time.

1. Call to order and flag pledge
2. Roll Call
3. Approval of Minutes
 - a. March 19, 2026 Planning Commission minutes
4. Announcements
5. Public Hearing
 - a. Preliminary plat to be known as Haven at Lake Marion for Progressive, LLC. Comprehensive land use amendment, zoning map amendment, conditional use permit and vacation of public right of way for Progressive, LLC - **These items are tabled from the March 19, 2026 Planning Commission meeting.**
 - b. Preliminary plat and conditional use permit for Globus Business Park
6. Staff Notices
 - a. The City Council meeting at which the above items may be considered will be held on May 4, 2026.
 - b. The next Planning Commission meeting is scheduled for May 7, 2026.
 - c. Planning Manager's memo
7. Adjourn

CITY OF LAKEVILLE
PLANNING COMMISSION MEETING MINUTES
March 19, 2026

Chair Zimmer called the meeting to order at 6:00 p.m. in the Council Chambers at City Hall. The Pledge of Allegiance to the flag was given.

Members Present: Chair Christine Zimmer, Vice Chair Scott Einck, Pat Kaluza, John Swaney, Jason Swenson, Mark Traffas, Ex-Officio Kelli Coughlin

Members Absent: Amanda Tinsley

Staff Present: Kris Jenson, Planning Manager; Heather Botten, Senior Planner; Jon Nelson, Assistant City Engineer; Dawn Erickson, Community Development Recorder

3. Approval of the Meeting Minutes

The March 5, 2026 Planning Commission meeting minutes were approved as presented.

4. Announcements

Planning Manager Kris Jenson stated there are no public hearings scheduled for April 2, 2026, however a decision on whether to have a work session will be made early next week.

5a. Progressive, LLC

Chair Zimmer requested a motion be made to table this item to the April 16, 2026 Planning Commission meeting.

Motion was made by Kaluza, seconded by Swaney to table the Comprehensive land use amendment, zoning map amendment, preliminary plat, conditional use permit and vacation for Progressive, LLC to the April 16, 2026 Planning Commission meeting.

Ayes: Traffas, Kaluza, Zimmer, Einck, Swaney, Swenson

Nays: 0

5b. Lakeville 35 Logistics Center South Addition

Chair Zimmer opened the public hearing to consider the application of Likewise Partners for a preliminary plat and conditional use permit for a one lot, one outlot subdivision.

Tom Strohm, Likewise Partners, introduced the project.

Senior Planner Heather Botten presented the staff report. The applicant is proposing the second phase of Lakeville 35 Logistics Center, a multi-tenant industrial office/warehouse project with an approximately 171,000 square foot building. The property is zoned O-P, Office Park District,

which requires a conditional use permit for warehouse uses. The site is 15.36 acres in area and located south of Juniper Way (CSAH 70) and north of 215th Street. The site is undeveloped and has previously been used for agricultural crop production. There is a wetland on the southeasterly part of the property.

Community Development Department staff recommend approval of the Lakeville 35 Logistics Center South Addition preliminary plat and conditional use permit.

Chair Zimmer opened the hearing to the public for comment.

There was no public comment.

Motion was made by Swenson, seconded by Swaney to close the public hearing at 6:09 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Chair Zimmer asked for comments from the Planning Commission.

- Commissioner Kaluza inquired if the exterior doors will be numbered or labeled for emergency response. Mr. Strohm stated there will be address signage on the building and suite signage above each entrance.
- Commissioner Traffas asked if the primary purpose of this building is storage and distribution. Mr. Strohm stated that it is office warehouse.
- Chair Zimmer stated that the site is currently accessed by an unpaved road that requires upgrading and what is the timeframe for the completion of upgrades to 215th Street. Mr. Strohm stated they are working closely with staff to coordinate the timing with this project and the 215th Street upgrades. He anticipates site development to be a nine-to-ten-month construction period starting this summer. Assistant City Engineer Jon Nelson stated that a feasibility report to determine the timeframe of the 215th Street project has been ordered and the project is scheduled for construction this year, with an anticipated start date to be late summer. The 215th Street project includes the extension of a trunk sanitary sewer line from CSAH 70 to just west of Interstate 35.
- Commissioner Swenson stated the tree preservation plan indicates a number of protected trees located within a wetland. He added that wetlands can vary based on soil types and vegetation and what is classified as a wetland may not appear to be a wetland to the lay person. In this case the wetland is a flooded woodland.

Motion was made by Einck, seconded by Swenson to recommend to City Council approval of the Lakeville 35 Logistics Center South Addition preliminary plat and conditional use permit, and the findings of fact, subject to the following stipulation:

1. The recommendations listed in the Engineering Division memorandum dated March 10, 2026.
2. The site and building shall be developed and constructed consistent with the preliminary plat and final plat and site development plans approved by the City Council.

3. Park dedication will be satisfied by a cash contribution paid at the time of final plat.
4. Prior to City Council consideration of the final plat, a stormwater maintenance agreement shall be signed by the property developer for the on-site private stormwater facilities.
5. The landscape plan shall be revised to include landscaping along the south part of the building and the west parking lot and continuous row of plantings from CSAH 70 to 215th Street. A landscaping financial security shall be submitted with the final plat.
6. All signs shall comply with Zoning Ordinance requirements for the OP District. A sign permit shall be issued by the Community Development Department prior to the installation of any signs.
7. Snow storage shall not take place in required parking spaces. If there is not adequate space to store snow on site, snow must be removed from the site.
8. A parking deferment may be required at the time of final plat if the number of spaces proposed to be constructed on site is less than required by the Zoning Ordinance.

Ayes: Kaluza, Zimmer, Einck, Swaney, Swenson, Traffas

Nays: 0

There being no further business, the meeting was adjourned at 6:15 p.m.

Respectfully submitted,

Dawn Erickson, Community Development Recorder



3601 Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

MEMORANDUM

TO: Kris Jenson

FROM: D. Daniel Licht

DATE: 8 April 2026

RE: Lakeville – Haven at Lake Marion

TPC FILE: 135.01

BACKGROUND

Progressive, LLC is proposing development of 51 dwelling units on 21.3 acres of land located at the southwest corner of Kenwood Avenue (CSAH 50) and Ipava Avenue. The proposed development requires consideration of applications for a Comprehensive Plan amendment guiding the property for a single residential land use category; Zoning Map rezoning portions of the property to RST-2 District; a Conditional Use Permit for Planned Shoreland Development; Preliminary Plat; and Vacation of existing public right-of-way.

The developer hosted a neighborhood meeting on 10 December 2025 to provide the public an opportunity to receive information regarding the proposed development and ask questions. This meeting was held at the Water Treatment Plant. City staff was also present at the neighborhood meeting.

A public hearing to consider the applications was originally noticed for 19 March 2026. The public hearing was tabled at that meeting at the applicant’s request as they considered revisions to the preliminary plat. A new public hearing notice for the preliminary plat was published for the 16 April 2026 meeting, the remaining applications remain tabled from that meeting.

Exhibits:

- A. Site location map
- B. Existing and Proposed 2040 Land Use Plan
- C. Existing and Proposed Zoning Map
- D. Existing Conditions
- E. Preliminary Plat
- F. Removals plat
- G. Site plan (2 pages)
- H. Wetland plan
- I. Flood plain impact & mitigation plan
- J. Grading plan (2 pages)
- K. Sanitary sewer and watermain plan
- L. Storm sewer plan

- M. Landscape Plan
- N. Tree preservation plan (2 sheets)
- O. PUD density and open space
- P. Right of way vacation areas

ANALYSIS

Existing Conditions. The subject property is 21.3 acres in area and undeveloped. The existing conditions survey identifies that there are several encroachments upon the subject property from adjacent lots. City staff recommends that as a condition of preliminary plat approval, all encroachments of structures belonging to abutting property owners be removed from the subject property.

Comprehensive Plan. The Comprehensive Plan guides the subject property for Low Density Residential Land Use (0.1-3 du/ac.), Low-to-Medium Density Residential (4-5 du/ac.), and Medium Density Residential (4-7 du/ac.). The subject property, not including Outlot A shown on the preliminary plat, needs to be guided to a single residential land use category set forth by the 2040 Land Use Plan. Based upon the proposed density of the development as 3.77 dwelling units per acre, the subject property is recommended to be guided for Low-to-Medium Density Residential land uses.

City of Lakeville 2040 Land Use Plan - Residential Designations		
Land Use	Min/Max Density	Anticipated Uses
Low Density Residential	0.1 to 3.0 du/ac.	Single family dwellings.
Low to Medium Density	4.0 to 5.0 du/ac.	Single family, two family and detached townhouse dwellings.
Medium Density	4.0 to 7.0 du/ac.	Two family dwellings, detached townhouse and quad or row attached townhouse dwelling units.
Medium to High Density	5.0 to 9.0 du/ac.	Detached townhouse, quad, row or back-to-back attached townhouse dwelling units.
High Density	9.0 to 26.0 du/ac.	Back-to-back attached townhouse and multiple family dwelling units.
Manufactured Home Park	4.0 to 7.0 du/ac.	Manufactured home dwelling units.

Zoning. The subject property is zoned RS-3, Residential Single Family District, RST-2, Residential Single and Two Family District, and RM-1, Residential Medium Density District. Detached townhouse and two family dwellings as proposed on the preliminary plat are allowed within the RST-2 District and the RM-1 District. It is recommended that Zoning Map be amended to rezone Lots 1-16, Block 1 and Lots 1-35, Block 2 as RST-2 District. Outlot A as shown on the preliminary plat will remain zoned RS-3 District to allow for potential future platting of a lot for a single family dwelling.

Shoreland. The subject property is also within the Shoreland Overlay District of Lake Marion. This portion of Lake Marion is classified as a Recreational Lake as set forth in Section 11-102-9.C of the Zoning Ordinance. Section 11-102-13.A.1 of the Zoning Ordinance establishes minimum lot requirement for development within the Shoreland Overlay District:

- Single family lots: 20,000sf. riparian / 15,000sf. non-riparian
- Two family lots: 26,000sf. non-riparian

Section 11-102-21 of the Zoning Ordinance allows deviation from the minimum Shoreland Overlay District lot requirement by approval of a Conditional Use Permit for a planned shoreland development to allow for development of the detached townhouses and twin homes within Blocks 1 and 2, subject to the following provisions.

- Section 11-102-21.B of the Zoning Ordinance requires a minimum of 50 percent of the subject property be preserved as open space. Open space for the purpose of this section includes outlots established for stormwater basins, wetlands and wetland buffers, and landscaped yards within individual lots.
- Section 11-102-21.B.6 further requires that 70 percent of the Shoreland Impact Zone, defined as land located between the ordinary high water level of a public water and a line parallel to it at a setback of 50 percent of the structure setback, be protected as open space. The shoreland impact zone applies only to wetlands and wetland buffers within Outlot B, which is to be deeded to the City.
- Section 11-102-21.D of the Zoning Ordinance outlines the methodology for a density tier analysis to determine the maximum number of dwelling units that can be developed within Blocks 1 and 2. Sheet P1 of the submitted plans includes the tiered density calculation required by the Zoning Ordinance and indicates that the number of dwelling units within each tier and the overall number of dwelling units is within the density allowed.

Outlot A is 25,173 square feet in area. To be platted as a lot in the future, it must be verified that the net area of Outlot A exceeds 20,000 square feet in compliance with Section 11-17-21.B of the Zoning Ordinance.

Floodplain. Portions of the subject property are within the 100-year Floodplain, including all of Outlot A. Platting Outlot A as a buildable lot will require that the subdivider demonstrate that the requirements of Section 11-101-13.B of the Zoning Ordinance regarding development standards for floodplain areas complied with. The developer must also verify that the elevation of Italy Avenue complies with Section 11-101-13.E.1 of the Zoning Ordinance providing vehicular access to Outlot A at or above an elevation not more than two feet below the regulatory flood protection elevation for the property to be platted as a buildable lot.

Surrounding Uses. The subject property is surrounded by the existing and planned land uses shown in the table below. Development of the subject property with twin homes at the perimeter of the preliminary plat and potential development of Outlot A as a single family lot, presents no compatibility concerns with surrounding uses.

Direction	Land Use Plan	Zoning Map	Existing Use
North	--	--	Railroad ROW
East	Office Park	O-P District	Undeveloped
South	Parks	P/OS District	Antlers Park
West	LD Residential	RS-3 District	Single family homes

Lot Requirements. Section 11-57-13.B of the Zoning Ordinance requires a minimum of 5,000 square feet of lot area per dwelling unit. The preliminary plat has 8,669 square feet of lot area for the 51 dwelling units and two base lots which complies with the requirements of the RST-2 District.

Setbacks. The table below summarizes the setbacks required for the dwelling units within Blocks 1 and 2 of the proposed preliminary plat. The setbacks shown on the preliminary site plan (Sheets 5.01 and 5.02) for the detached townhomes and twin homes comply with the RST-2 setback requirements.

ROW	Between Buildings	Base Lot	Ipava Avenue
20ft. or 25ft. garage	14ft.	10ft.	50ft.

Right-of-Way/Streets. The subject property abuts railroad right-of-way and Kenwood Trail (CSAH 50) along its north line, Ipava Avenue along its east line, and 201st Street along its south line. The preliminary plat does not include dedication of additional right-of-way at the boundary of the plat for these streets.

Italy Avenue terminates in a dead end at the southwest corner of the subject property. The area proposed on the preliminary plat as Outlot A has frontage along the west side of Italy Avenue. The preliminary plat provides for dedication of right-of-way and construction of a cul-de-sac turnaround meeting the requirements of Section 10-4-3.S of the Subdivision Ordinance eliminating a non-conforming terminus of Italy Avenue. The length of Italy Avenue with the cul-de-sac turnaround complies with the 600 foot limit established by Section 10-4-3.S.3 of the Subdivision Ordinance.

The preliminary plat dedicates right-of-way for public streets to be constructed within the subdivision for access to the proposed detached townhouses and twin homes. The proposed right-of-way completes a public street connection between 201st Street and the east terminus of Itasca Lane at the northwest corner of the subject property. The proposed right-of-way is 60 feet wide as required for a local street by Section 10-4-3.P of the Subdivision Ordinance. The submitted plans include construction section designs for Itasca Lane as a 32 foot wide street.

Street A and Street B are cul-de-sac streets with a 60 foot wide right-of-way and 60 foot radius turnaround at the terminus end. Both cul-de-sac streets comply with the minimum depth requirement of 150 feet and limit of 600 feet. The cul-de-sac streets are to be 32 feet wide with a 46 foot radius paved turnaround end.

All right-of-way dedication and street construction plans are subject to review and approval of the City Engineer.

City staff has discussed the need to establish a parking plan for Italy Avenue and Itasca Lane north of 201st Street to limit overflow parking from Antlers Park entering into the residential neighborhood. This plan will be developed and implemented concurrent with final plat consideration.

Pedestrian Access. There are existing trails on the south side of Kenwood Trail (CSAH 50), west side of Ipava Avenue, and a portion of the south side of 201st Street surrounding the preliminary plat. The street section plans for the preliminary plat include a sidewalk on the west and south side of Itasca Lane as required by Section 10-4-3.H of the Subdivision Ordinance. There is also a sidewalk to be added on the north side of 201st Street from Itasca Lane to Ipava Avenue. Sidewalk plans are to be subject to review and approval of the City Engineer.

Tree Preservation. Section 11-21-11 of the Zoning Ordinance establishes requirements for tree preservation. The developer has prepared an inventory of existing trees within the subject site. The tree inventory and tree preservation plan for the proposed development. The City Forester has reviewed the tree preservation and determined it complies with the Zoning Ordinance.

Landscaping. Section 11-57-19.G of the Zoning Ordinance establishes landscape standards for detached townhome and twin home uses within the RST-2 District. A landscape plan has been submitted for the proposed preliminary plat and the City Forester is recommending providing additional tree planting west of Lots 6 and 7, Block 2 to screen from existing houses. The landscape plan must also be revised to provide residential buffer yard planting east of Lots 11-16, Block 1 as required by Section 11-21-9.E of the Zoning Ordinance.

Stormwater Management. The submitted plans include grading, drainage, and erosion control information. Wetlands within the subject property have been delineated and buffers as required by Section 11-16-13 of the Zoning Ordinance are shown on the submitted plans. All grading, drainage, stormwater management, erosion control, wetland, and floodplain issues are subject to review and approval of the City Engineer.

Utilities. The subject property is within the Municipal Urban Service Area (MUSA). Sewer and water utilities are available at the property and a plan for extension to serve the proposed dwelling units has been submitted. All utility plans are subject to review and approval of the City Engineer.

Outlots. The preliminary plat includes three outlots. Outlot A is riparian land adjacent to Lake Marion that may be suitable for platting as a single family lot. The developer will retain Outlot A to consider application for preliminary and final plat approval at a future date. Outlot B and Outlot C encompass wetlands, wetland buffers, and stormwater basins and are to be deeded to the City upon final plat approval for stormwater management purposes. The final plat is to designate the outlots to be deeded to the City as Outlot A and Outlot B with the developer retained land designated as Outlot C for long-term record keeping purposes.

Park Dedication. The proposed subdivision is subject to dedication for public parks required by Section 10-4-8 of the Subdivision Ordinance. The 2015 Parks, Trails, and Open Space Plan does not identify areas within the subject property to be acquired for public park purposes. As such, park dedication requirements will be satisfied as a cash fee in lieu of land as set forth by Section 10-4-8.J of the Subdivision Ordinance. The cash fee in lieu of land dedication will be determined at the time of final plat approval subject to the fee schedule in effect at that time. All park dedication requirements are subject to review of the Parks, Recreation, and Natural Resources Committee and approval of the City Council.

Vacation. There is platted right-of-way within the subject property for Italy Avenue and Nicollet Avenue for streets never constructed. Based on the right-of-way to be platted and construction of Itasca Lane within the preliminary plat, these existing public rights-of-way no longer serve a public purpose. City staff recommends that the rights-of-way be vacated concurrent with approval of a final plat for the subject property.

Effect of Approval. Approval of a preliminary plat is valid for one year from the date of City Council action as set forth by Section 10-2-2.D of the Subdivision Ordinance. The developer must submit a final plat application within one year from preliminary plat approval to be processed as outlined by Section 10-2-3 of the Subdivision Ordinance. The developer may request an extension of the preliminary plat approval prior to expiration of the one year period.

CONCLUSION

The proposed Haven at Lake Marion preliminary plat is consistent with the land use and housing policies of the 2040 Lakeville Comprehensive Plan. Findings of Fact are provided for consideration by the Planning Commission as to the applications for a Comprehensive Plan amendment and Zoning Map amendment.

Furthermore, with approval of the requested Comprehensive Plan amendment and Zoning Map amendment, the proposed preliminary plat complies with the requirements of the Zoning Ordinance and Subdivision Ordinance, including the criteria for approval of a Conditional Use Permit for a Planned Shoreland Development. Findings of Fact regarding the Conditional Use Permit application are also provided for review by the Planning Commission.

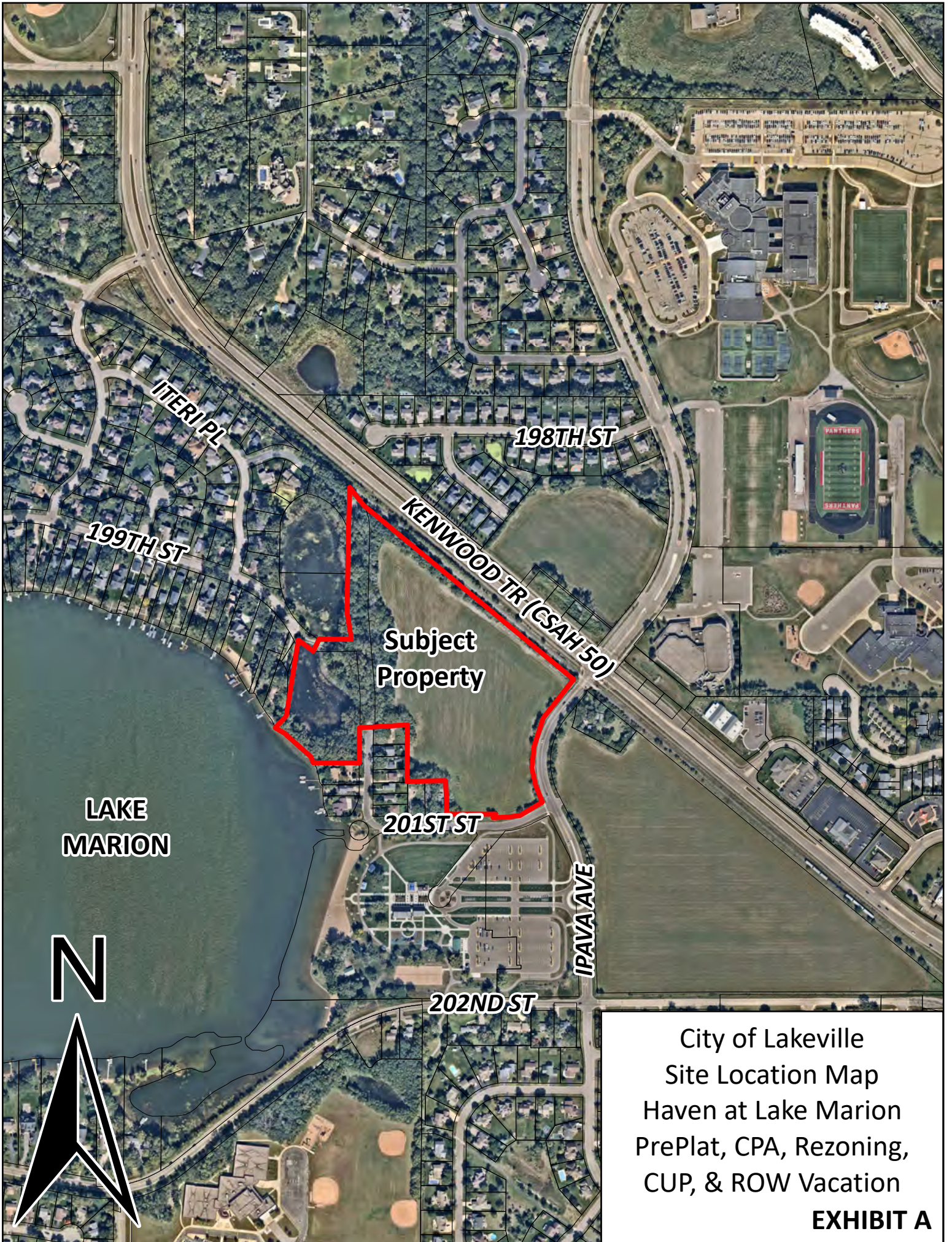
City staff and our office recommend approval of the preliminary plat and Conditional Use Permit subject to the following conditions:

1. The preliminary plat shall be valid for a period of one year from the date of City Council of City Council approval unless an extension is granted in accordance with Section 10-2-2.D of the Subdivision Ordinance.

2. Platting of Outlot A as a buildable lot shall be subject to compliance with Title 11, Chapter 101 of the Zoning Ordinance.
3. All right-of-way dedication and street and sidewalk construction plans shall be subject to review and approval of the City Engineer.
4. All tree preservation issues shall be subject to review and approval of the City Forester.
5. All landscape plans shall be subject to review and approval of the City Forester including, but not limited to, the following:
 - a. Provide additional tree planting west of Lots 6 and 7, Block 2 to screen from existing houses.
 - b. The landscape plan shall be revised to provide residential buffer yard planting east of Lots 11-16, Block 1 as required by Section 11-21-9.E of the Zoning Ordinance.
6. All grading, drainage, stormwater management, erosion control, wetland, and floodplain issues shall be subject to review and approval of the City Engineer.
7. Outlot B and Outlot C (as shown on the preliminary plat) shall be deeded to the City for stormwater management purposes.
8. The final plat shall designate the outlots to be deeded to the City as Outlot A and Outlot B with the developer retained land designated as Outlot C.
9. All utility plans shall be subject to review and approval of the City Engineer.
10. The City Council shall consider a resolution approving vacation of existing public right-of-way and drainage and utility easements within the preliminary plat at the time of final plat application.
11. Park dedication requirements shall be satisfied as a cash fee in lieu of land dedication, subject to review of the Parks, Recreation, and Natural Resources Committee and approval of the City Council.
12. All existing encroachments of structures belonging to abutting property owners shall be removed from the subject property.

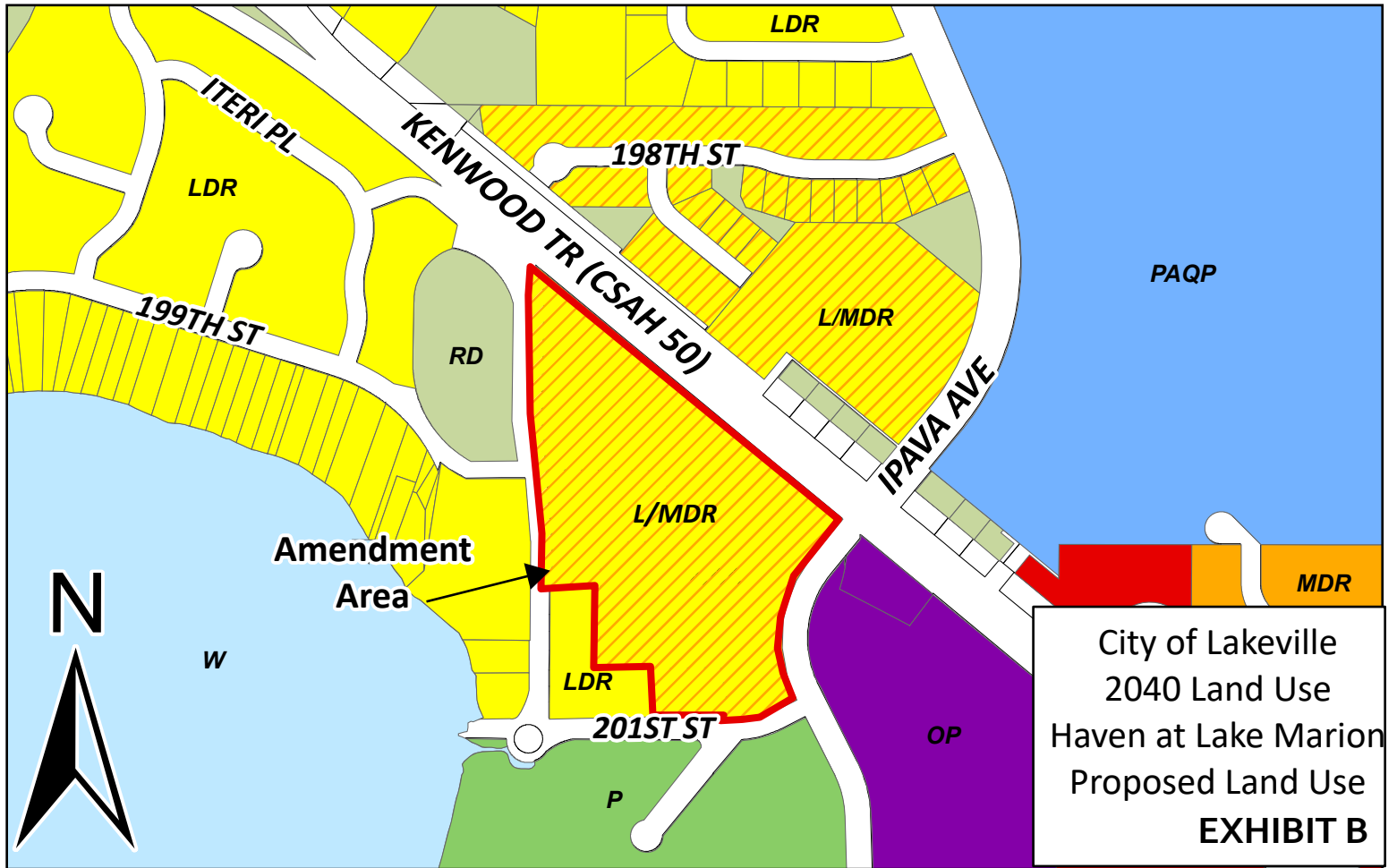
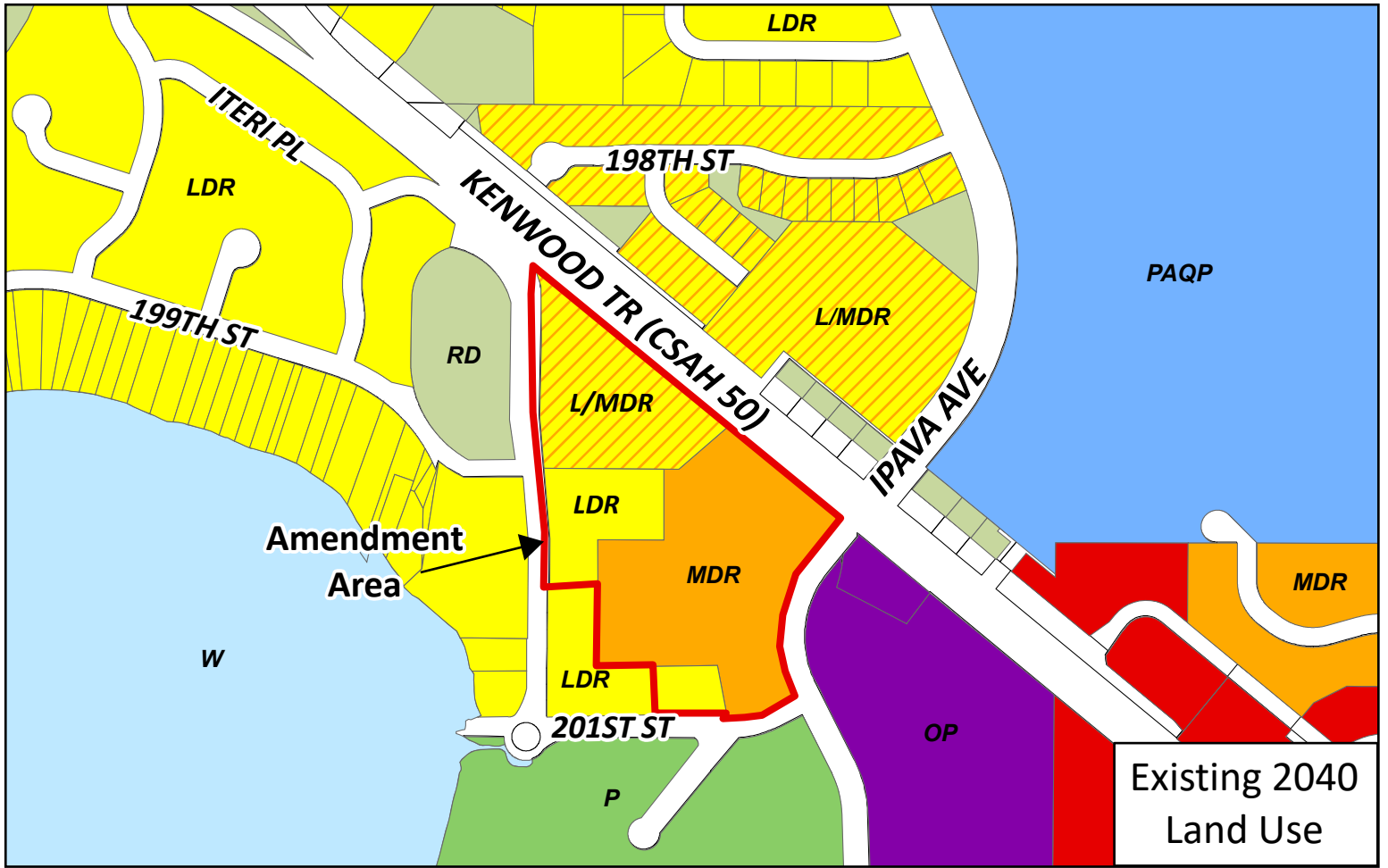
Findings of fact for the Comprehensive Land Use and Zoning Map amendments as well as the conditional use permit are attached for your consideration.

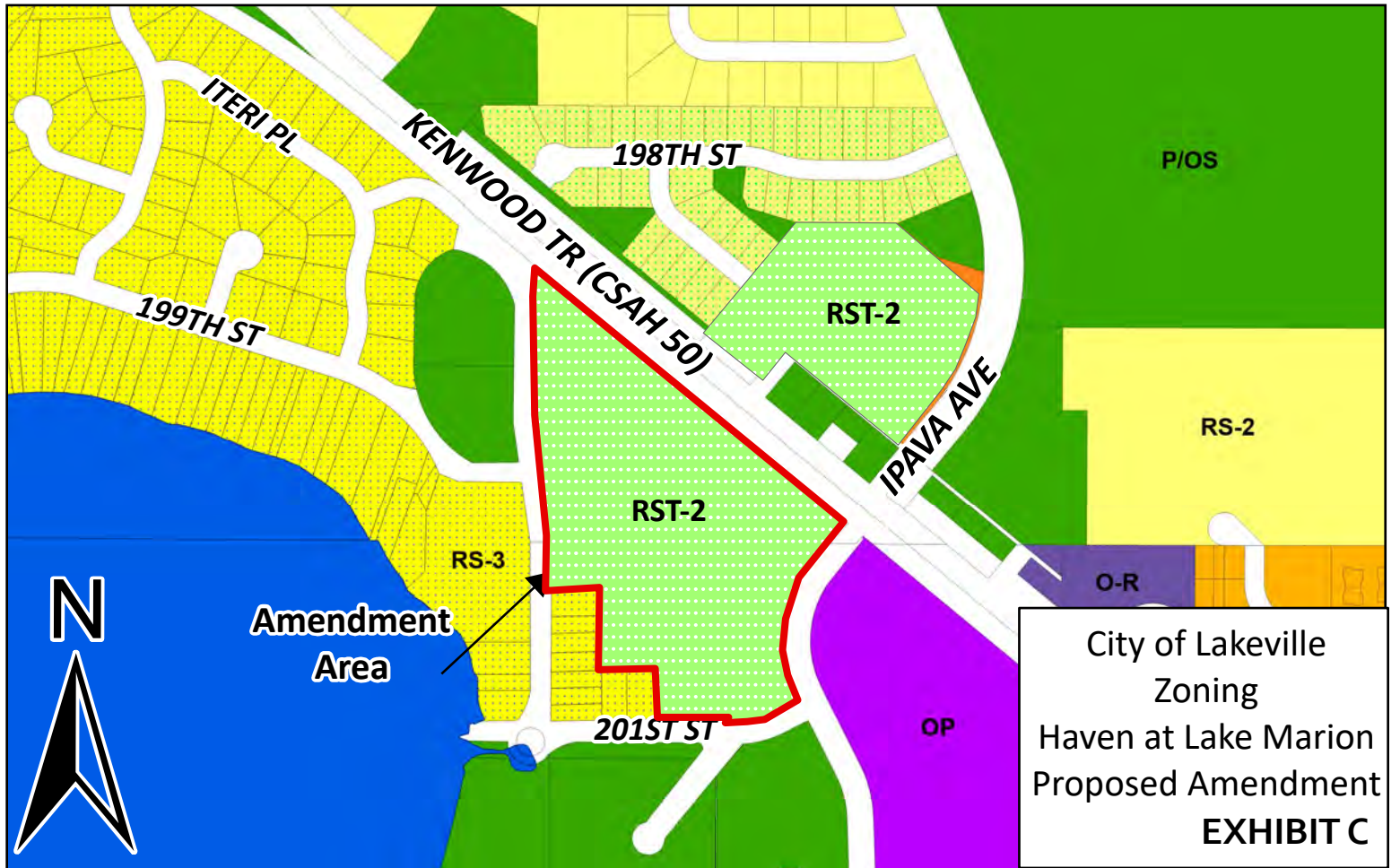
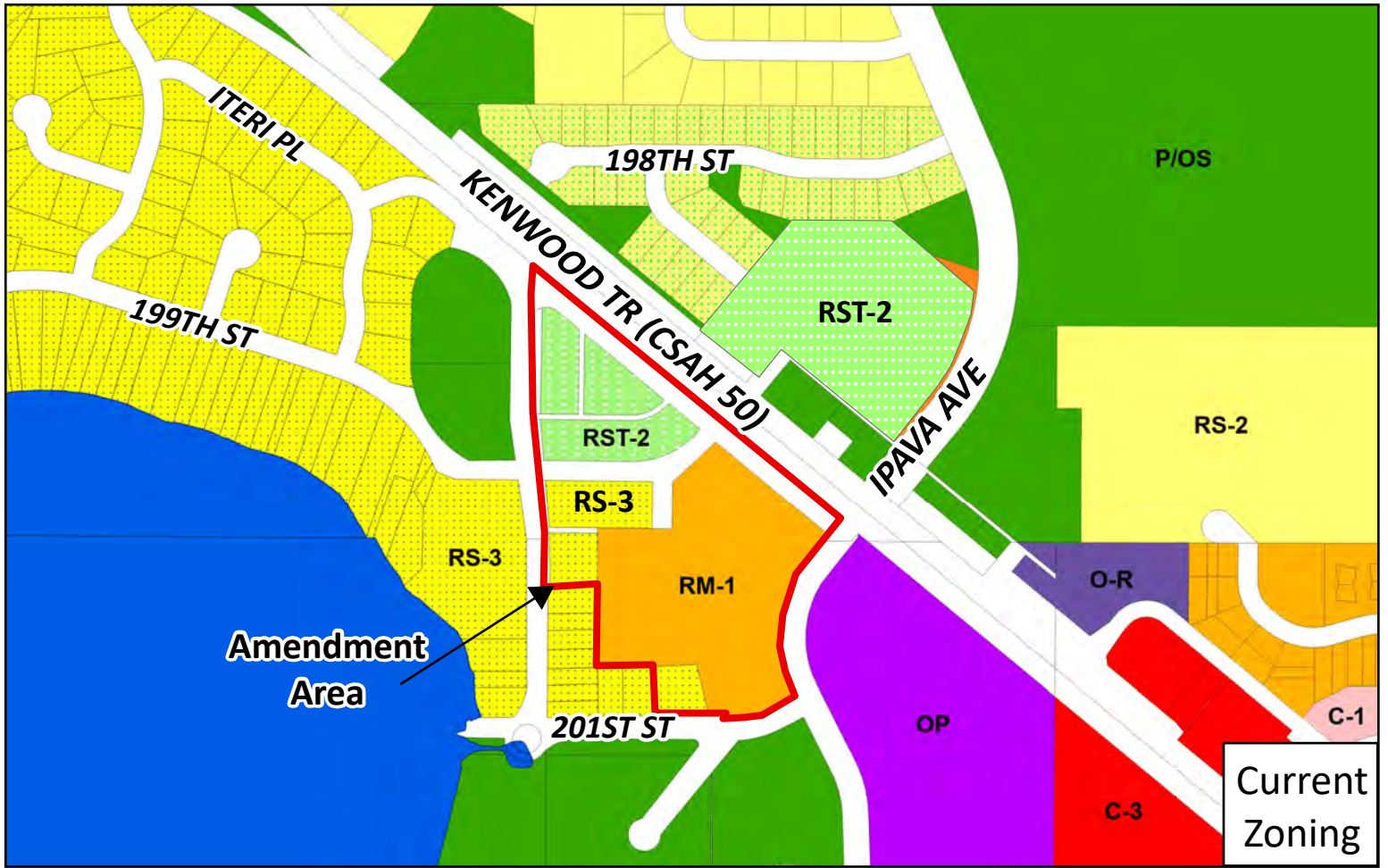
- c. Justin Miller, City Administrator
Tina Goodroad, Community Development Director
Zachary Johnson, City Engineer
Joe Masiarchin, Parks and Recreation Director
Andrea McDowell Poehler, City Attorney



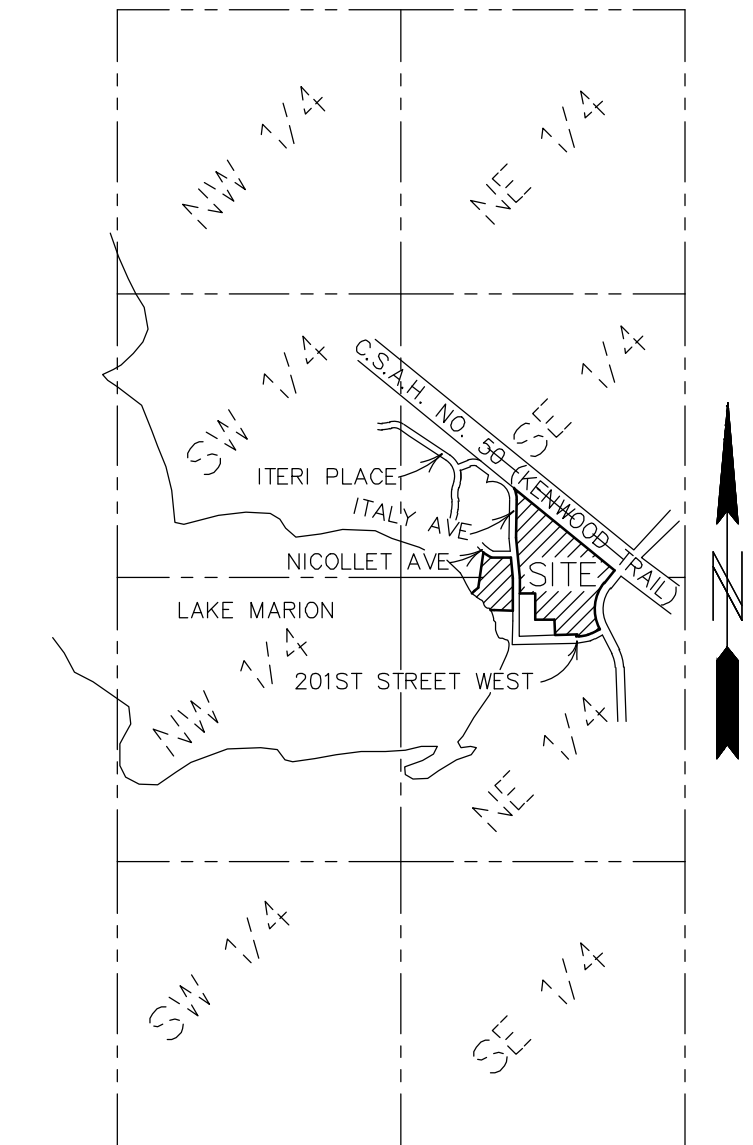
City of Lakeville
Site Location Map
Haven at Lake Marion
PrePlat, CPA, Rezoning,
CUP, & ROW Vacation

EXHIBIT A





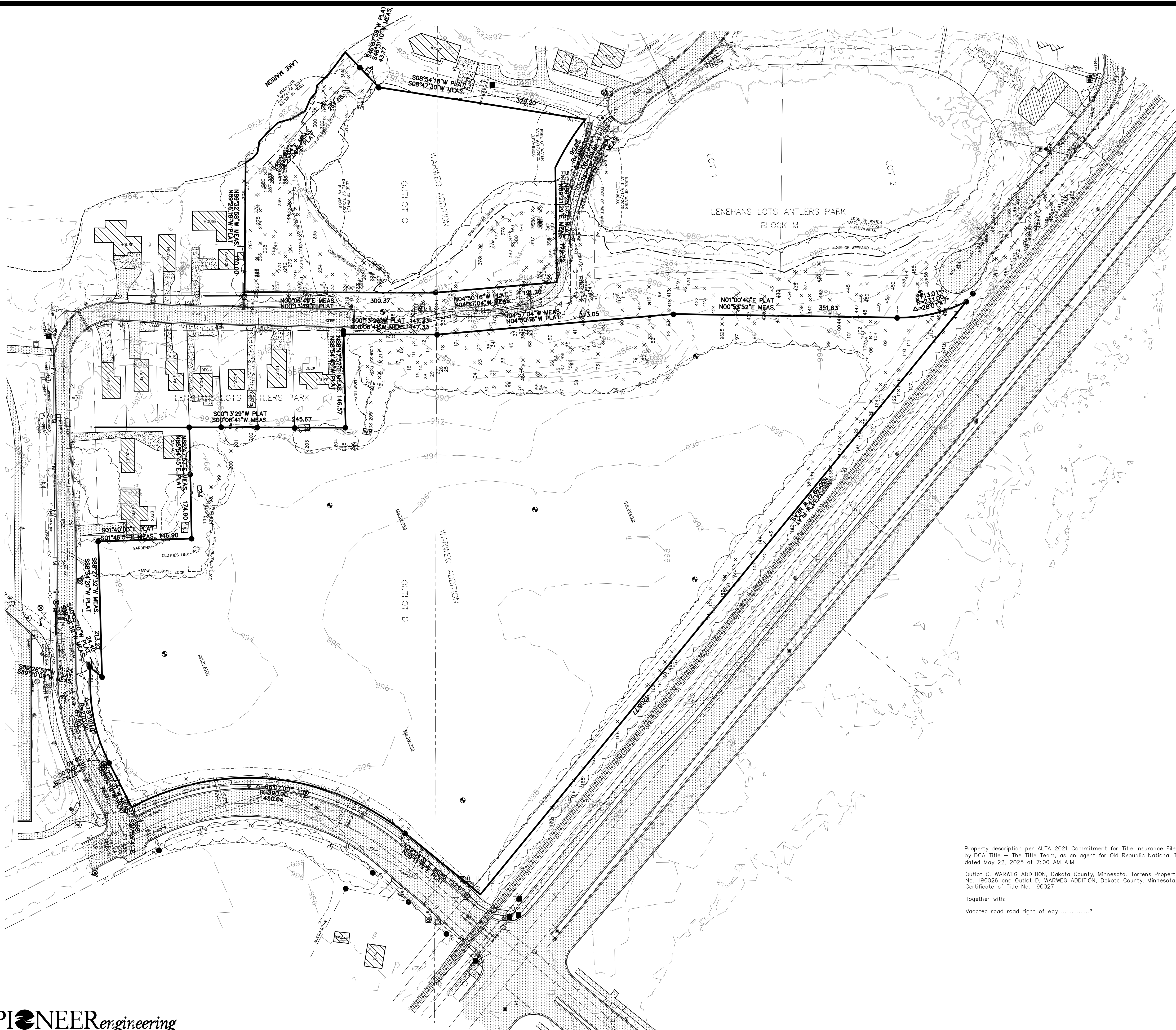
SECTION 19, TWP. 114, RGE. 20
DAKOTA, MINNESOTA



SECTION 30, TWP. 114, RGE. 20
DAKOTA, MINNESOTA
LOCATION MAP
NO SCALE

LEGEND

- Denotes concrete
- Denotes gravel
- Denotes bituminous
- Denotes riprap
- Denotes tree line
- Denotes storm sewer line
- Denotes sanitary sewer line
- Denotes water line
- Denotes overhead utility lines
- Denotes underground television line
- Denotes underground telephone line
- Denotes underground fiber optic line
- Denotes underground electric line
- Denotes underground petroleum lines
- Denotes underground gas line
- Denotes fence (barbed wire)
- Denotes fence (chain link)
- Denotes fence (wood)
- Denotes 100 year flood level
- Denotes FEMA flood plain boundary
- Denotes catch basin
- Denotes catch basin beehive
- Denotes flared end section
- Denotes gate valve
- Denotes hydrant
- Denotes service
- Denotes cleanout
- Denotes hand hole
- Denotes manhole other than sanitary or storm
- Denotes sanitary or storm manhole
- Denotes utility pole
- Denotes transformer box
- Denotes fiber optic box
- Denotes electric box
- Denotes natural gas meter
- Denotes light pole
- Denotes telephone box
- Denotes television box
- Denotes cast iron monument
- Denotes found iron pipe
- Denotes test hole
- Denotes mailbox
- Denotes sign



Property description per ALTA 2021 Commitment for Title Insurance File Number DC251415, issued by DCA Title - The Title Team, as an agent for Old Republic National Title Insurance Company, dated May 22, 2025 at 7:00 AM A.M.

Outlot C, WARWEG ADDITION, Dakota County, Minnesota. Torrens Property Certificate of Title No. 190026 and Outlot D, WARWEG ADDITION, Dakota County, Minnesota. TORRENS Property Certificate of Title No. 190027

Together with:
Vacated road road right of way.....?

EXHIBIT D

BENCH MARK
TOP NUT HYDRANT LOCATED
120' WEST OF THE
INTERSECTION OF IPAVA
AVE. & 201ST STREET W.
NORTH SIDE OF STREET.
EL.=994.26
EX-SURV-124207-BASE.DWG

PIONEER engineering
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
Mendota Heights, MN 55120
(651) 681-1914
Fax: 681-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Name: Peter J. Hawkinson
Reg. No.: 42299
Date: 11-14-2025

Revisions:
1. 01-23-2026 City Comments
1. 03-06-2026 City Comments

Date: 11-14-2025
Designed: BNM/MBG
Drawn: MBG

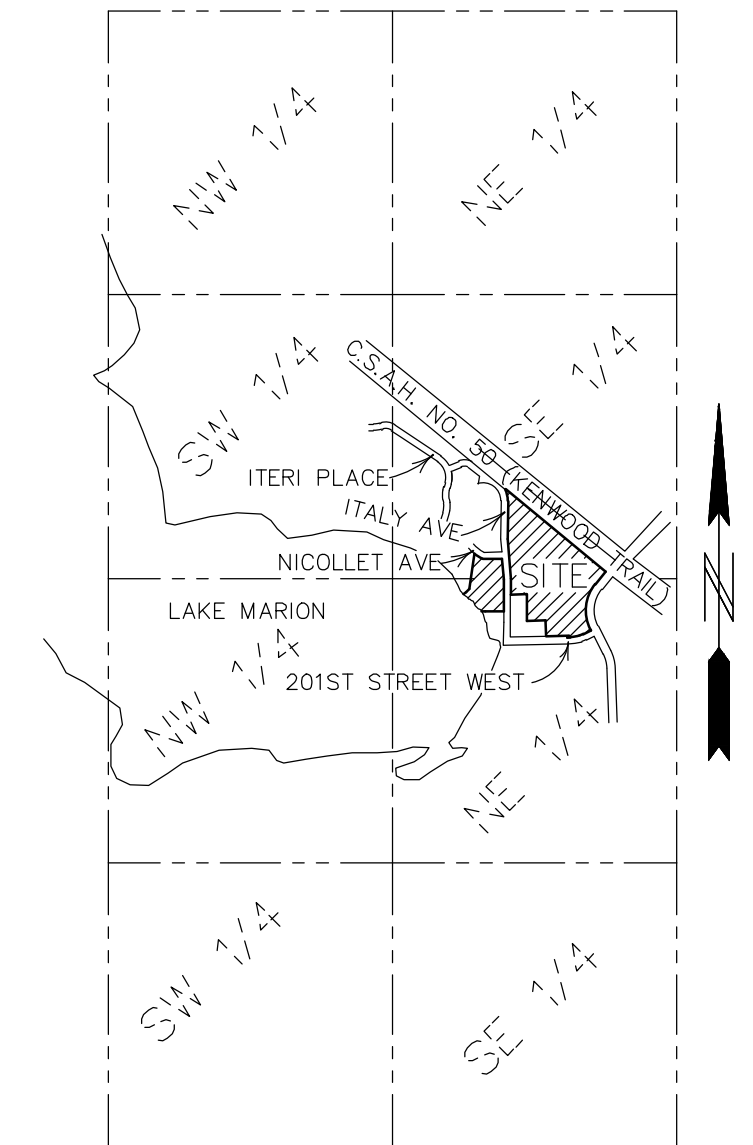
EXISTING CONDITIONS

PROGRESSIVE, LLC
21025 EDMONTON AVENUE
FARMINGTON, MINNESOTA 55024

HAVEN AT LAKE MARION
LAKEVILLE, MINNESOTA

2.01 OF 20

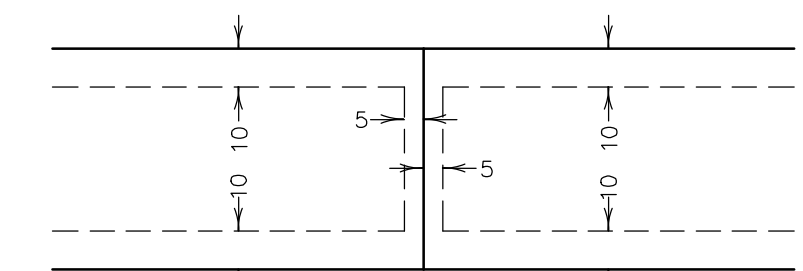
SECTION 19, TWP. 114, RGE. 20
DAKOTA, MINNESOTA



SECTION 30, TWP. 114, RGE. 20
DAKOTA, MINNESOTA
LOCATION MAP
NO SCALE

NUMBER OF OUTLOTS	3
NUMBER OF LOTS	51
NUMBER OF COMMON LOTS	2
TOTAL OUTLOT AREA	7.0348 ACRES
TOTAL LOT AREA	5.0709 ACRES
TOTAL COMMON AREA	5.0797 ACRES
TOTAL PROPOSED RIGHT OF WAY AREA	3.3877 ACRES
TOTAL GROSS AREA	20.5731 ACRES

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



being 5 feet in width, and adjoining lot lines unless otherwise indicated, and 10 feet in width and adjoining street lines and rear lot lines unless otherwise indicated on the plot.

Property description for preliminary plat purposes only

Outlot C, WARWEG ADDITION, Dakota County, Minnesota. Torrens Property Certificate of Title No. 190026 and Outlot D, WARWEG ADDITION, Dakota County, Minnesota. TORRENS Property Certificate of Title No. 190027

And

Vacated Italy Avenue and vacated Nicollet Avenue.

Except that part of vacated Italy Avenue and vacated Nicollet Avenue laying northerly and westerly of the following described line and its extensions.

Commencing at the northeast corner of Outlot C, WARWEG ADDITION according to the recorded plat thereof, thence South 89 degrees 21 minutes 29 seconds West, assumed bearing along the north line of said Outlot C, 179.72 feet; thence northwesterly 90.05 feet along said north line, along a non-tangential curve concave to the northeast, radius 390.00 feet, central angle 13 degrees 13 minutes 46 seconds and chord bearing North 58 degrees 05 minutes 32 seconds West to the northwest corner of said Outlot C; thence North 38 degrees 31 minutes 21 seconds East, 30.00 feet to the centerline of said Nicollet Avenue to the point of beginning; thence southeasterly 78.35 feet along said centerline, along a non-tangential curve concave to the northeast, radius 360.00 feet, central angle 12 degrees 09 minutes 03 seconds and chord bearing South 57 degrees 33 minutes 11 seconds East; Thence North 89 degrees 21 minutes 29 seconds East, along said centerline, 203.50 feet to the centerline of said vacated Italy Avenue; Thence North 04 degrees 57 minutes 04 seconds West along said centerline, 153.02 feet; Thence North 00 degrees 53 minutes 52 seconds East, along said centerline, 216.29 feet; Thence North 89 degrees 06 minutes 08 seconds West, 33.00 feet to the westerly right-of-way of said vacated Italy Avenue; Thence North 00 degrees 53 minutes 52 seconds East, along said westerly right-of-way line, 94.56 feet; thence South 89 degrees 06 minutes 08 seconds East, 33.00 feet to the said centerline of said vacated Italy Avenue; thence North 00 degrees 53 minutes 52 seconds West, along said centerline of vacated Italy Avenue, 42.46 feet; Thence Northwesterly 40.12 feet along said centerline of said vacated Italy Avenue, along a tangential curve concave to the west, central angle 11 degrees 53 minutes 36 seconds, radius 198.00 feet to the southerly right of way of Itasca Lane.

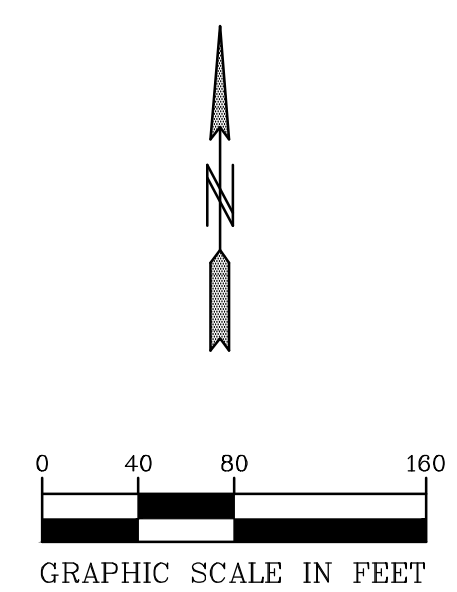


EXHIBIT E

00-SURV-124207-BASE.DWG

PIONEER engineering
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
Mendota Heights, MN 55120
(651) 681-1914
Fax: 681-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor under the laws of the State of Minnesota

Name: Peter J. Hawkinson
Reg. No.: 42299 Date: 11-14-2025

Revisions:
1. 01-23-2026 City Comments
1. 03-06-2026 City Comments

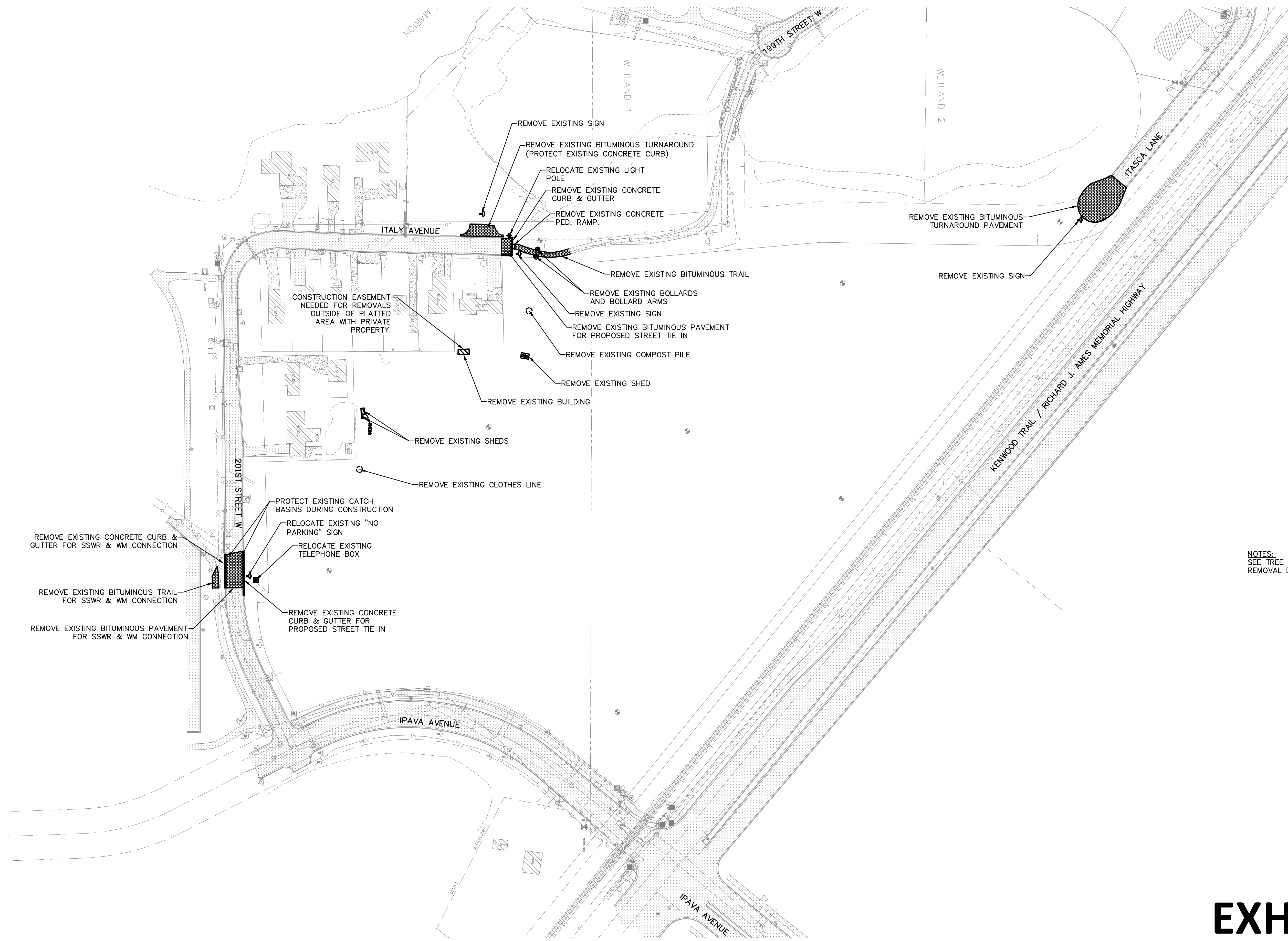
Date: 11-14-2025
Designed: BNM/MBG
Drawn: MBG

PRELIMINARY PLAT

PROGRESSIVE, LLC
21025 EDMONTON AVENUE
FARMINGTON, MINNESOTA 55024

HAVEN AT LAKE MARION
LAKEVILLE, MINNESOTA

3.01 OF 20



NOTES:
SEE TREE PRESERVATION PLAN FOR TREE REMOVAL DESIGNATIONS.

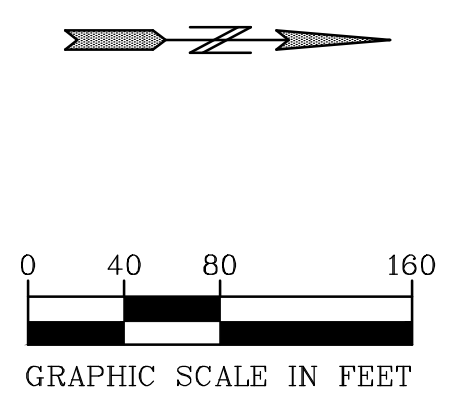


EXHIBIT F

BENCH MARK
TOP NUT HYDRANT LOCATED 120' WEST OF THE INTERSECTION OF IPAVA AVE. & 201ST STREET W. NORTH SIDE OF STREET. EL.=994.26
00-ENG-124207-SHEET-DEMO

PIONEERengineering
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS
2422 Enterprise Drive
Mendota Heights, MN 55120
(651) 681-1914
Fax: 681-9488
www.pioneereng.com

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Name: John M. Molinaro
Reg. No.: 45831
Date: 11-14-2025

Revisions:
1. 01-23-2026 City Comments
2. 03-06-2026 City Comments
3. 03-31-2026 City Comments
4. 04-07-2026 Italy Ave. Access

Date: 11-14-2025
Designed: BNM/MBG
Drawn: MBG

PRELIMINARY REMOVALS PLAN

PROGRESSIVE, LLC
21025 EDMONTON AVENUE
FARMINGTON, MINNESOTA 55024

HAVEN AT LAKE MARION
LAKEVILLE, MINNESOTA

4.01 OF 20

SEE SHEET 5.02

SETBACKS	
SHORELAND:	
FROM OHW:	75'
BETWEEN BUILDINGS:	
DETACHED TOWNHOME	14'
TOWNHOME	20'
PERIMETER:	30'
FRONT/SIDE:	25'
LOW OPENING:	1' + EOF
LOW FLOOR:	2' + HWL

SIGNAGE LEGEND	
1	STOP R1-1
2	STREET SIGNS
3	NO PARKING SIGN

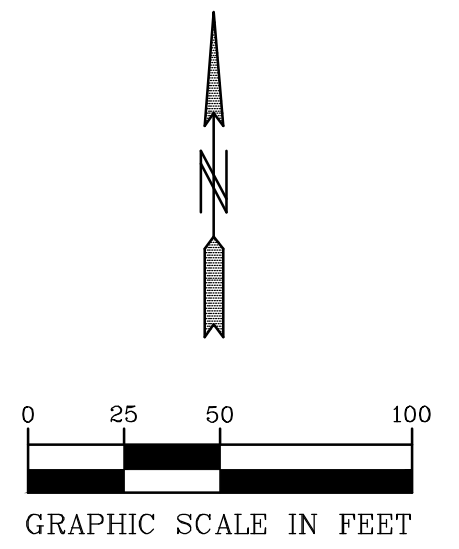
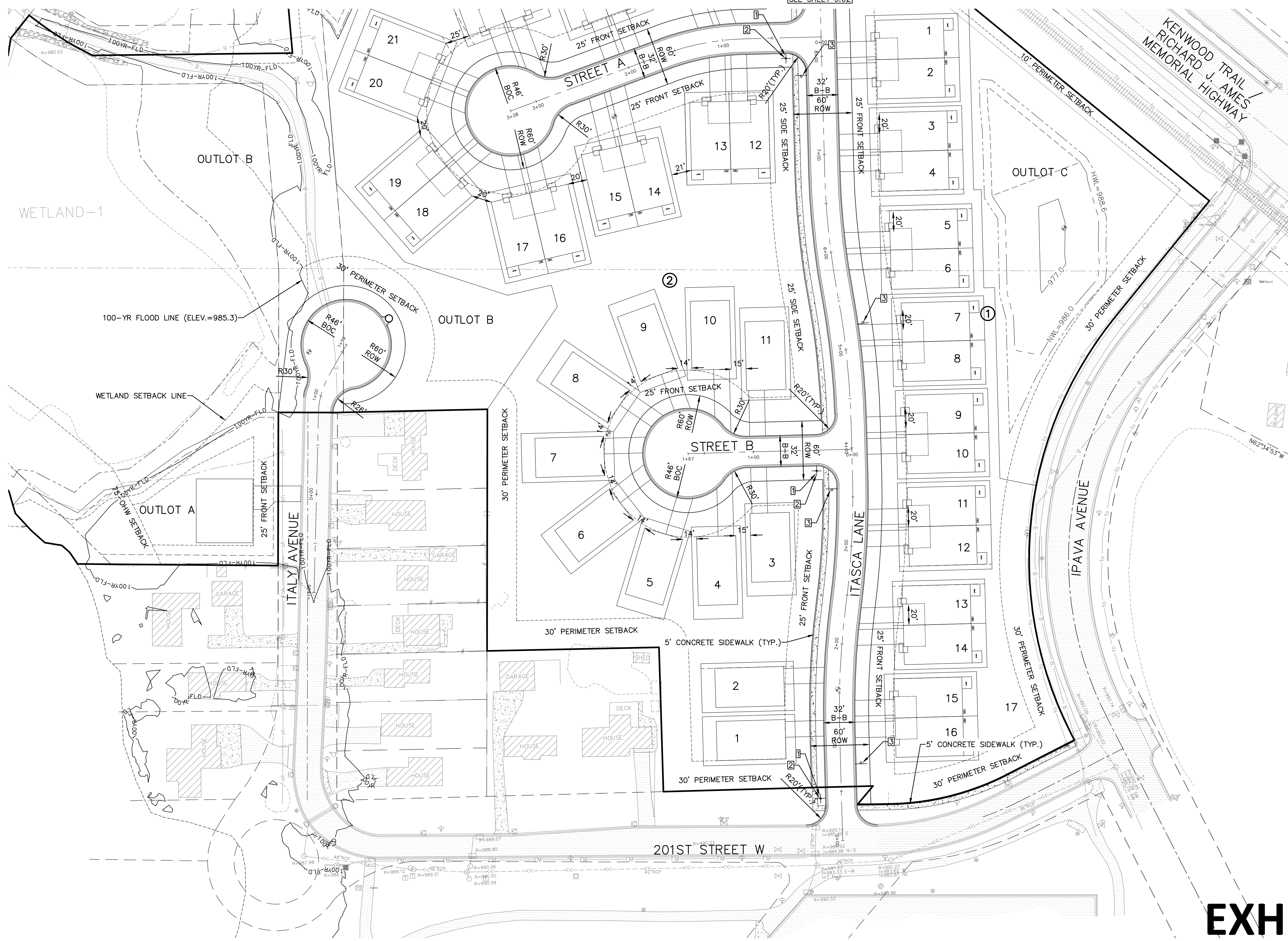


EXHIBIT G

BENCH MARK
 TOP NUT HYDRANT LOCATED
 120' WEST OF THE
 INTERSECTION OF IPAVA
 AVE. & 201ST STREET W.
 NORTH SIDE OF STREET.
 EL.=994.26
 00-ENG-124207-SHEET-SITE

PIONEER engineering
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 2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

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Name: John M. Molinaro
 Reg. No.: 45831
 Date: 11-14-2025

Revisions
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 2. 03-06-2026 City Comments
 3. 03-31-2026 City Comments
 4. 04-07-2026 Italy Ave. Access

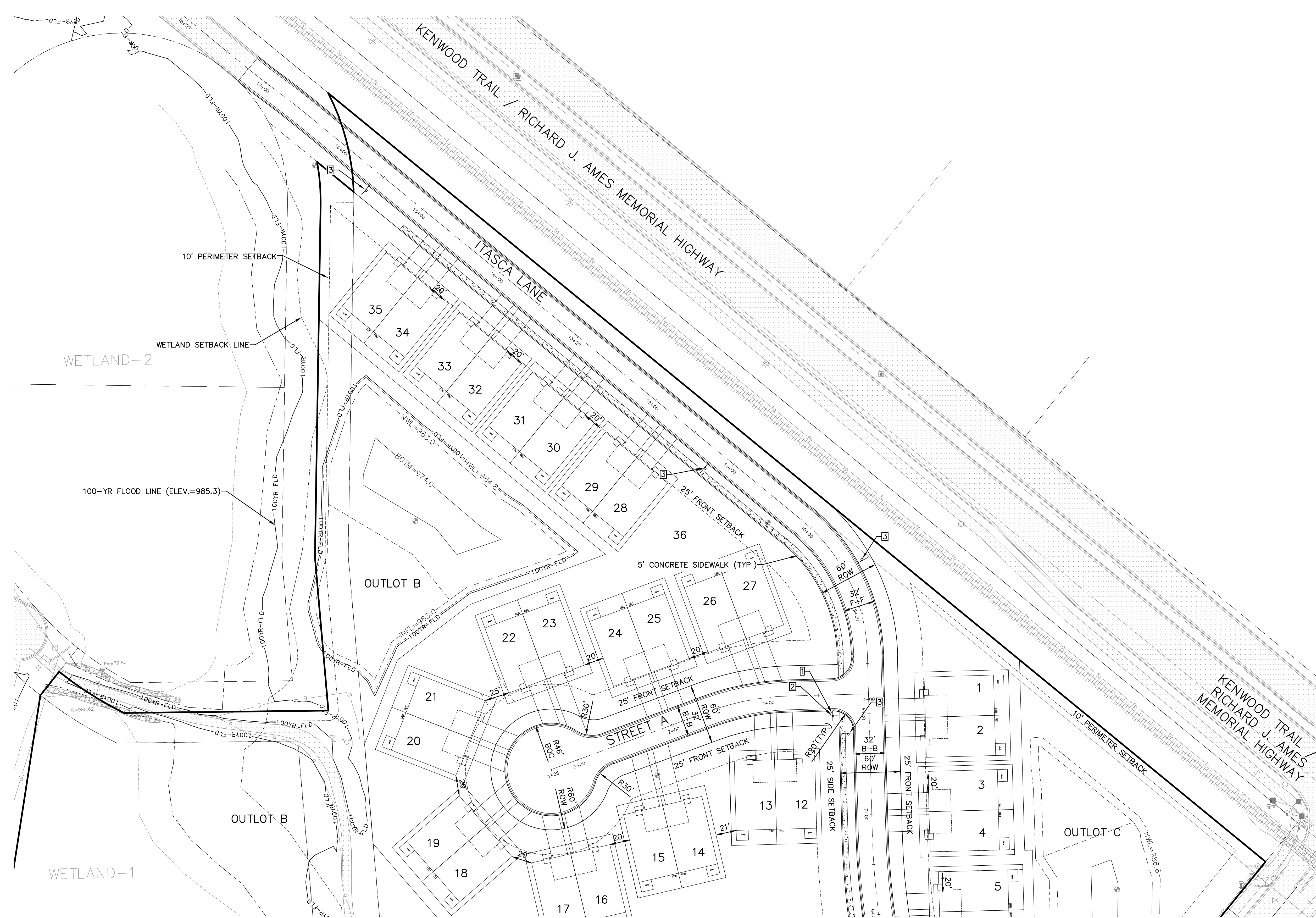
Date: 11-14-2025
 Designed: BNM/MBG
 Drawn: MBG

PRELIMINARY SITE PLAN

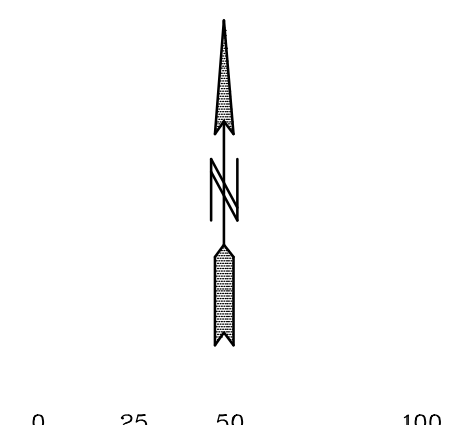
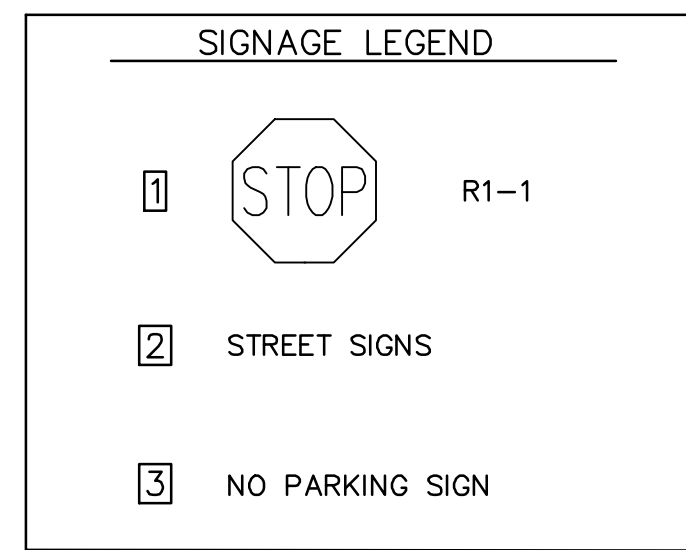
PROGRESSIVE, LLC
 21025 EDMONTON AVENUE
 FARMINGTON, MINNESOTA 55024

HAVEN AT LAKE MARION
 LAKEVILLE, MINNESOTA

5.01 OF 20



SETBACKS	
SHORELAND:	
FROM OHW:	75'
BETWEEN BUILDINGS:	
DETACHED TOWNHOME	14'
TOWNHOME	20'
PERIMETER:	30'
FRONT/SIDE:	25'
LOW OPENING:	1' + EOF
LOW FLOOR:	2' + HWL



BENCH MARK
TOP NUT HYDRANT LOCATED
120' WEST OF THE
INTERSECTION OF IPAVA
AVE. & 201ST STREET W.
NORTH SIDE OF STREET.
EL.=994.26
00-ENG-124207-SHEET-SITE

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Name: John M. Molinaro
Reg. No.: 45831
Date: 11-14-2025

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3. 03-31-2026 City Comments
4. 04-07-2026 Italy Ave. Access

Date: 11-14-2025
Designed: BNM/MBG
Drawn: MBG

PRELIMINARY SITE PLAN

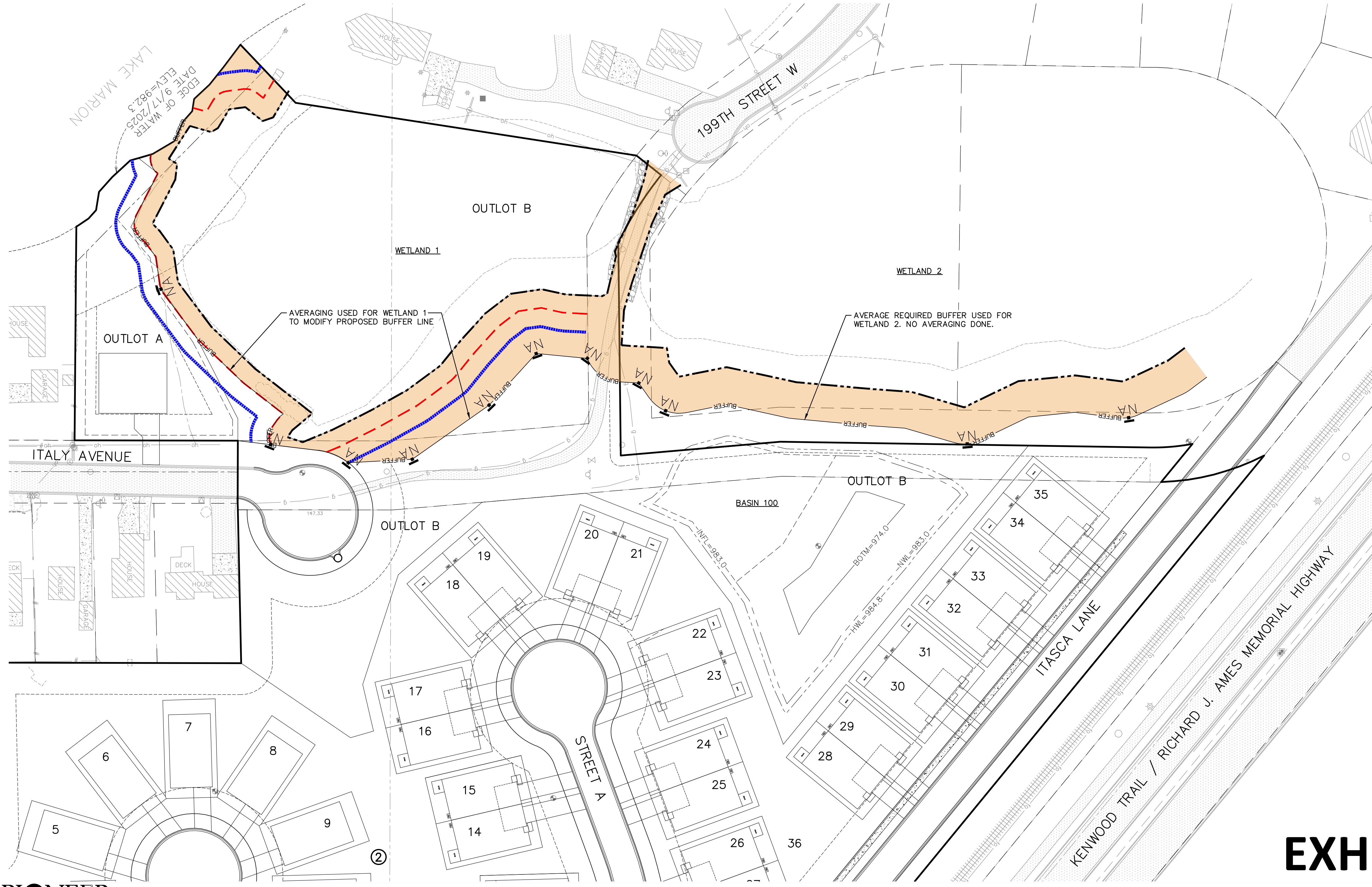
PROGRESSIVE, LLC
21025 EDMONTON AVENUE
FARMINGTON, MINNESOTA 55024

HAVEN AT LAKE MARION
LAKEVILLE, MINNESOTA

5.02 OF 20

WETLAND NAME	REQUIRED AVERAGE BUFFER AREA (S.F.)	PROVIDED BUFFER AREA (S.F.)
WETLAND 1	26,264	26,760
WETLAND 2	NA (NO AVERAGING DONE)	

ALL WETLANDS DESIGNATED "MANAGE I"
 MINIMUM BUFFER 17.5'
 AVERAGE BUFFER 35'



LEGEND

	CONSERVATION EASEMENT/ NATURAL AREA BUFFER SIGN
	WETLAND BUFFER PROPOSED
	WETLAND BUFFER AREA
	DELINEATED WETLAND LINE
	WETLAND BUFFER MIN REQ'D
	WETLAND BUFFER AVG REQ'D

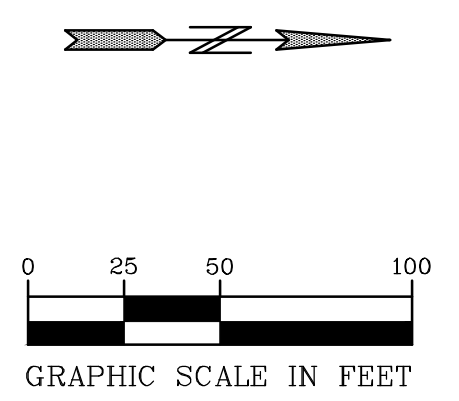


EXHIBIT H

BENCH MARK
 TOP NUT HYDRANT LOCATED
 120' WEST OF THE
 INTERSECTION OF IPAVA
 AVE. & 201ST STREET W.
 NORTH SIDE OF STREET.
 EL.=994.26



2422 Enterprise Drive
 Mendota Heights, MN 55120
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 Fax: 681-9488
 www.pioneereng.com

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Name: John M. Molinaro
 Reg. No.: 45831
 Date: 11-14-2025

Revisions:
 1. 01-23-2026 City Comments
 2. 03-06-2026 City Comments
 3. 03-31-2026 City Comments
 4. 04-07-2026 Italy Ave. Access

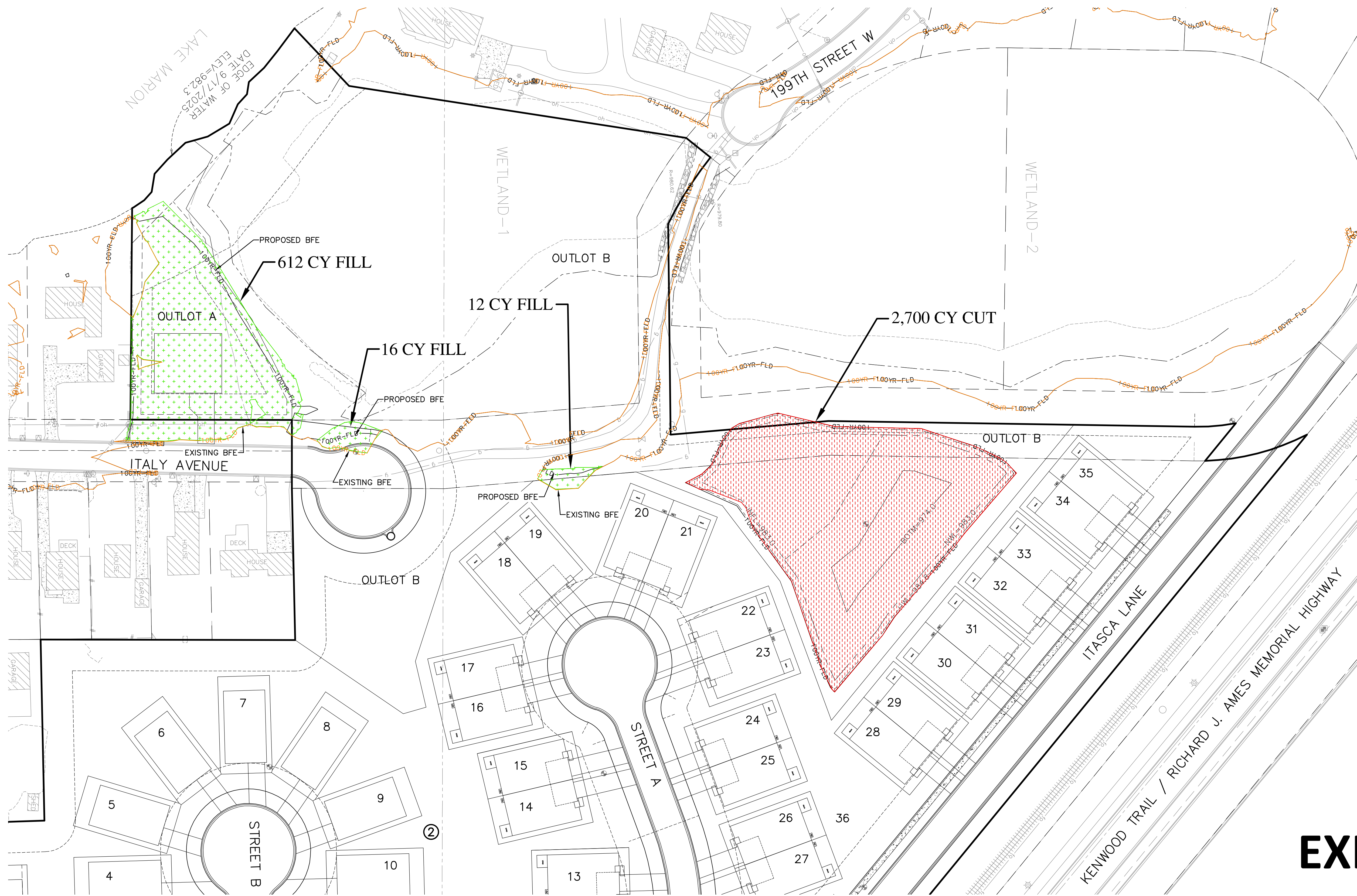
Date: 11-14-2025
 Designed: BNM/MBG
 Drawn: MBG

PRELIMINARY WETLAND PLAN

PROGRESSIVE, LLC
 21025 EDMONTON AVENUE
 FARMINGTON, MINNESOTA 55024

HAVEN AT LAKE MARION
 LAKEVILLE, MINNESOTA

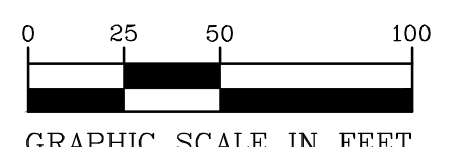
5.11 OF 20



LEGEND

	100YR-FLD	PROPOSED BFE
	100YR-FLD	EXISTING BFE
		FILL BELOW BFE (985.3)
		CUT BELOW BFE (985.3)

EXHIBIT I



BENCH MARK
 TOP NUT HYDRANT LOCATED
 120' WEST OF THE
 INTERSECTION OF IPAVA
 AVE. & 201ST STREET W.
 NORTH SIDE OF STREET.
 EL.=994.26
 00-ENG-124207-SHEET-FLOOD-IMPACT

FLOOD PLAIN IMPACT SUMMARY	
TOTAL CUT BELOW BFE	2700 C.Y.
TOTAL FILL BELOW BFE	640 C.Y.
NET	2060 C.Y. CUT

PIONEER engineering
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 2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Name: John M. Molinaro
 Reg. No.: 45831 Date: 11-14-2025

Revisions:
 1. 01-23-2026 City Comments
 2. 03-06-2026 City Comments
 3. 03-31-2026 City Comments
 4. 04-07-2026 Italy Ave. Access

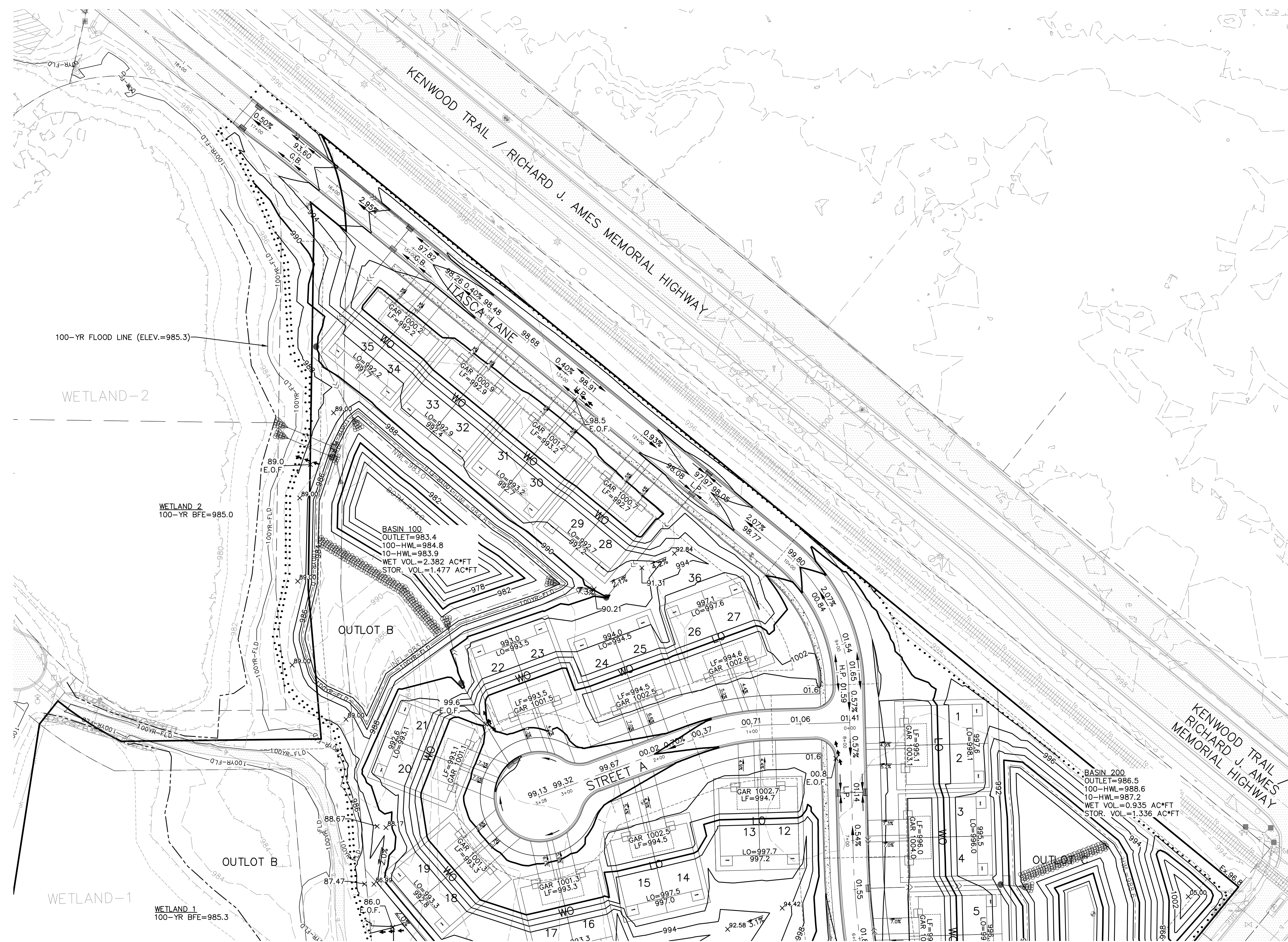
Date: 11-14-2025
 Designed: BNM/MBG
 Drawn: MBG

PRELIMINARY FLOOD PLAIN IMPACT & MITIGATION PLAN

PROGRESSIVE, LLC
 21025 EDMONTON AVENUE
 FARMINGTON, MINNESOTA 55024

HAVEN AT LAKE MARION
 LAKEVILLE, MINNESOTA

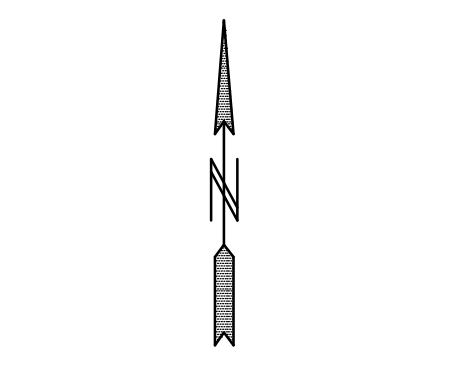
5.21 OF 20



SETBACKS	
SHORELAND:	75'
BETWEEN BUILDINGS:	14'
DETACHED TOWNHOME	20'
PERIMETER:	30'
FRONT/SIDE:	25'
LOW OPENING:	1' + EOF
LOW FLOOR:	2' + HWL

BASIN 100
 OUTLET=983.4
 100-HWL=984.8
 10-HWL=983.9
 WET VOL.=2.382 AC*FT
 STOR. VOL.=1.477 AC*FT

BASIN 200
 OUTLET=986.5
 100-HWL=988.6
 10-HWL=987.2
 WET VOL.=0.935 AC*FT
 STOR. VOL.=1.336 AC*FT



GRAPHIC SCALE IN FEET
BENCH MARK
 TOP NUT HYDRANT LOCATED
 120' WEST OF THE
 INTERSECTION OF IPAVA
 AVE. & 201ST STREET W.
 NORTH SIDE OF STREET.
 EL.=994.26
 00-ENG-124207-SHEET-GRAD

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 2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

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Name: John M. Molinaro
 Reg. No.: 45831
 Date: 11-14-2025

Revisions:
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 2. 03-06-2026 City Comments
 3. 03-31-2026 City Comments
 4. 04-07-2026 Italy Ave. Access

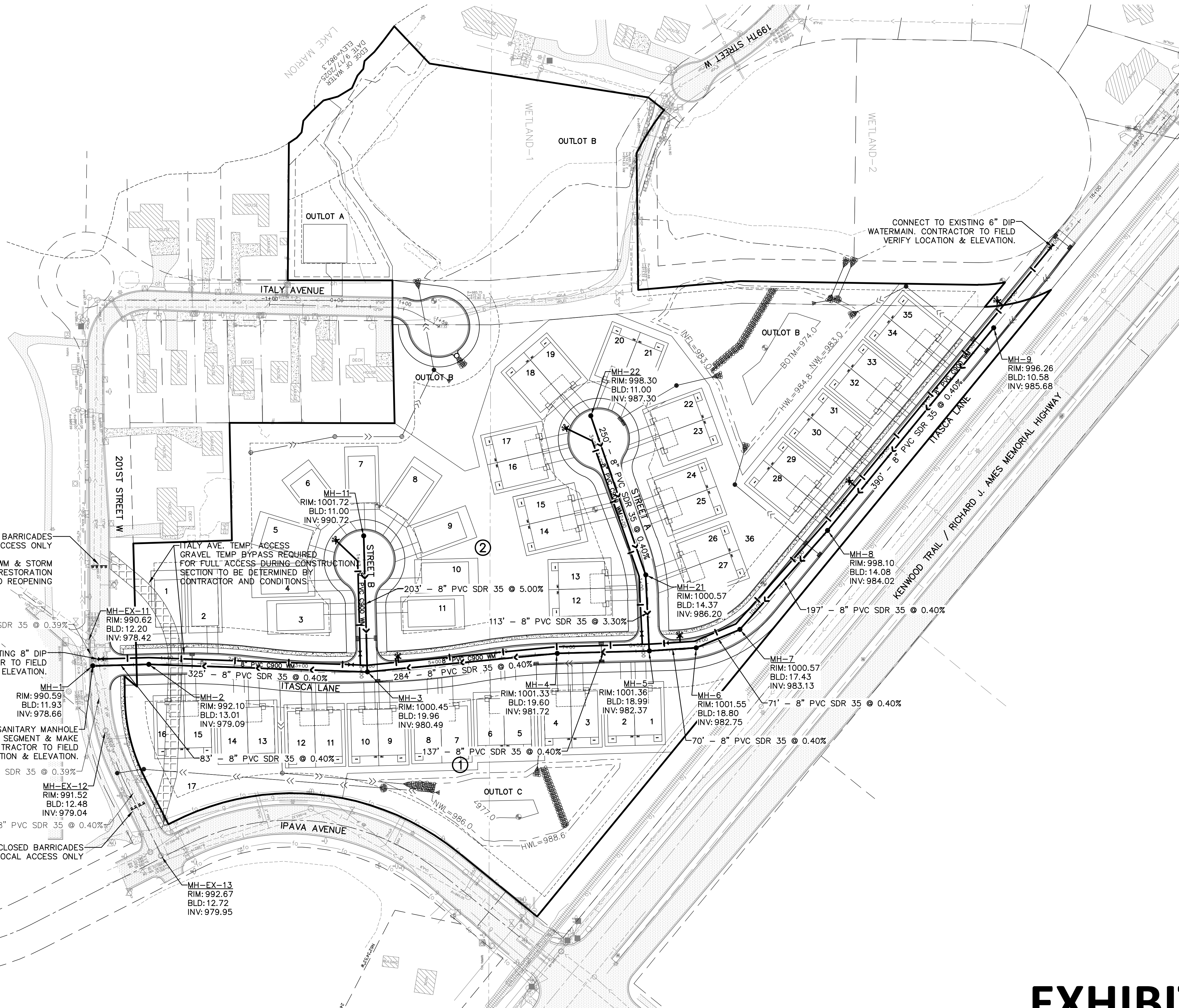
Date: 11-14-2025
 Designed: BNM/MBG
 Drawn: MBG

PRELIMINARY GRADING PLAN

PROGRESSIVE, LLC
 21025 EDMONTON AVENUE
 FARMINGTON, MINNESOTA 55024

HAVEN AT LAKE MARION
 LAKEVILLE, MINNESOTA

6.02 OF 20



ROAD CLOSED BARRICADES LOCAL ACCESS ONLY

*COMPLETE SAN., WM & STORM CONSTRUCTION & RESTORATION ON 201ST PRIOR TO REOPENING

CONNECT TO EXISTING 8" DIP WATERMAIN. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION.

CONSTRUCT PROPOSED SANITARY MANHOLE OVER EXISTING PIPE SEGMENT & MAKE CONNECTION. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION.

ROAD CLOSED BARRICADES LOCAL ACCESS ONLY

CONNECT TO EXISTING 6" DIP WATERMAIN. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION.

ITALY AVE. TEMP. ACCESS GRAVEL TEMP. BYPASS REQUIRED FOR FULL ACCESS DURING CONSTRUCTION SECTION TO BE DETERMINED BY CONTRACTOR AND CONDITIONS.

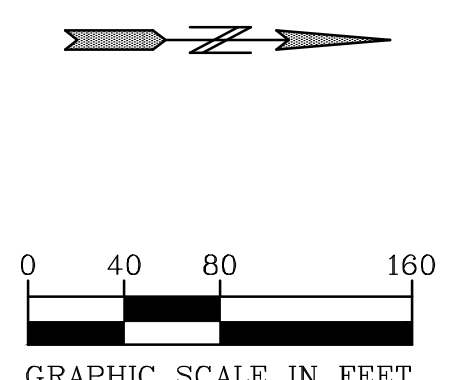


EXHIBIT K

BENCH MARK
TOP NUT HYDRANT LOCATED 120' WEST OF THE INTERSECTION OF IPAVA AVE. & 201ST STREET W. NORTH SIDE OF STREET. EL.=994.26



2422 Enterprise Drive
Mendota Heights, MN 55120
(651) 681-1914
Fax: 681-9488
www.pioneereng.com

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Name: John M. Molinaro
Reg. No.: 45831
Date: 11-14-2025

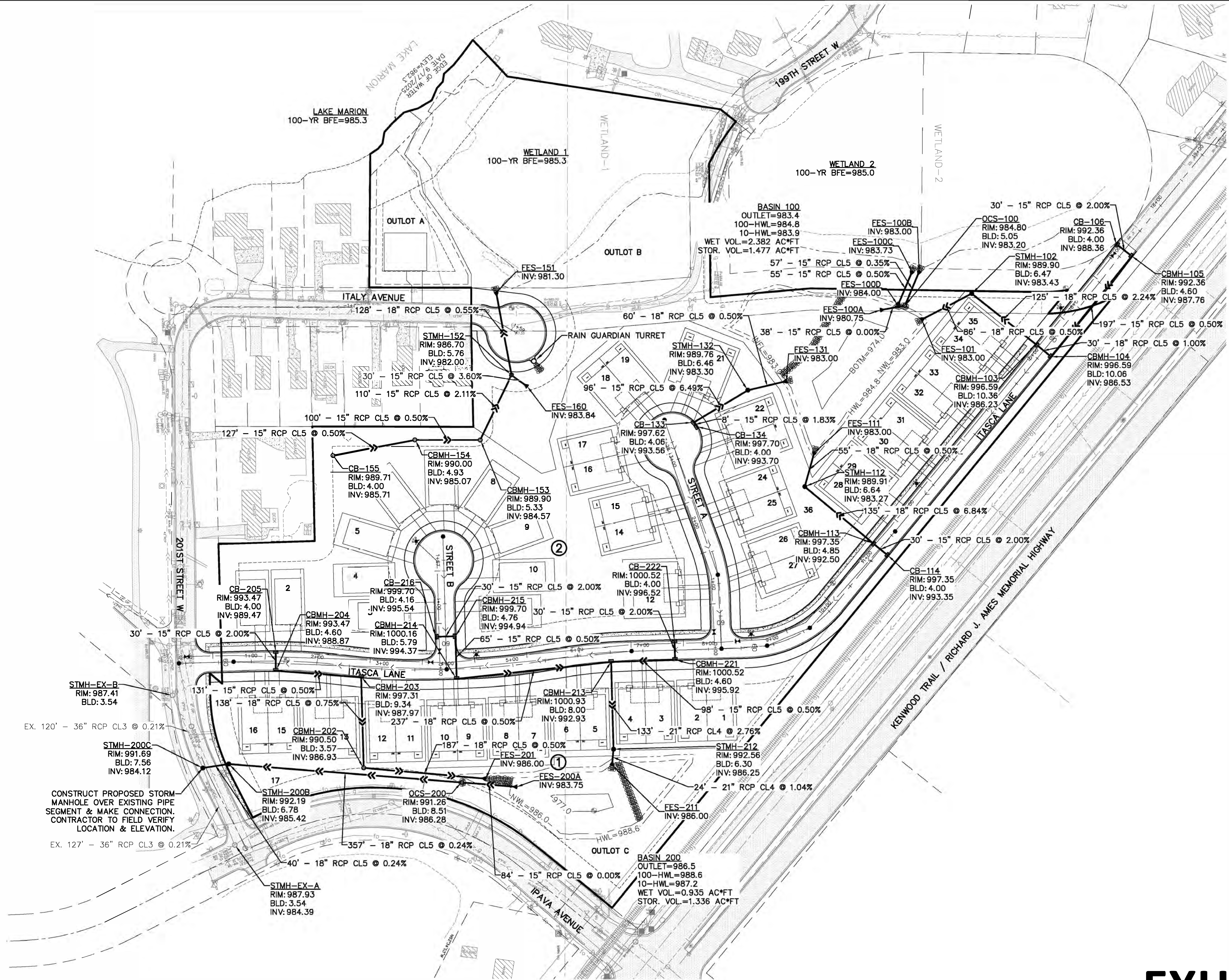
Revisions:
1. 01-23-2026 City Comments
2. 03-06-2026 City Comments
3. 03-31-2026 City Comments
4. 04-07-2026 Italy Ave. Access

Date: 11-14-2025
Designed: BNM/MBG
Drawn: MBG

PRELIMINARY SANITARY SEWER & WATERMAIN PLAN

PROGRESSIVE, LLC
21025 EDMONTON AVENUE
FARMINGTON, MINNESOTA 55024

HAVEN AT LAKE MARION
LAKEVILLE, MINNESOTA



CONSTRUCT PROPOSED STORM MANHOLE OVER EXISTING PIPE SEGMENT & MAKE CONNECTION. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION.

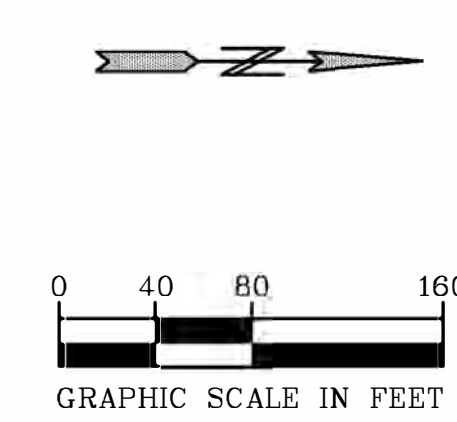
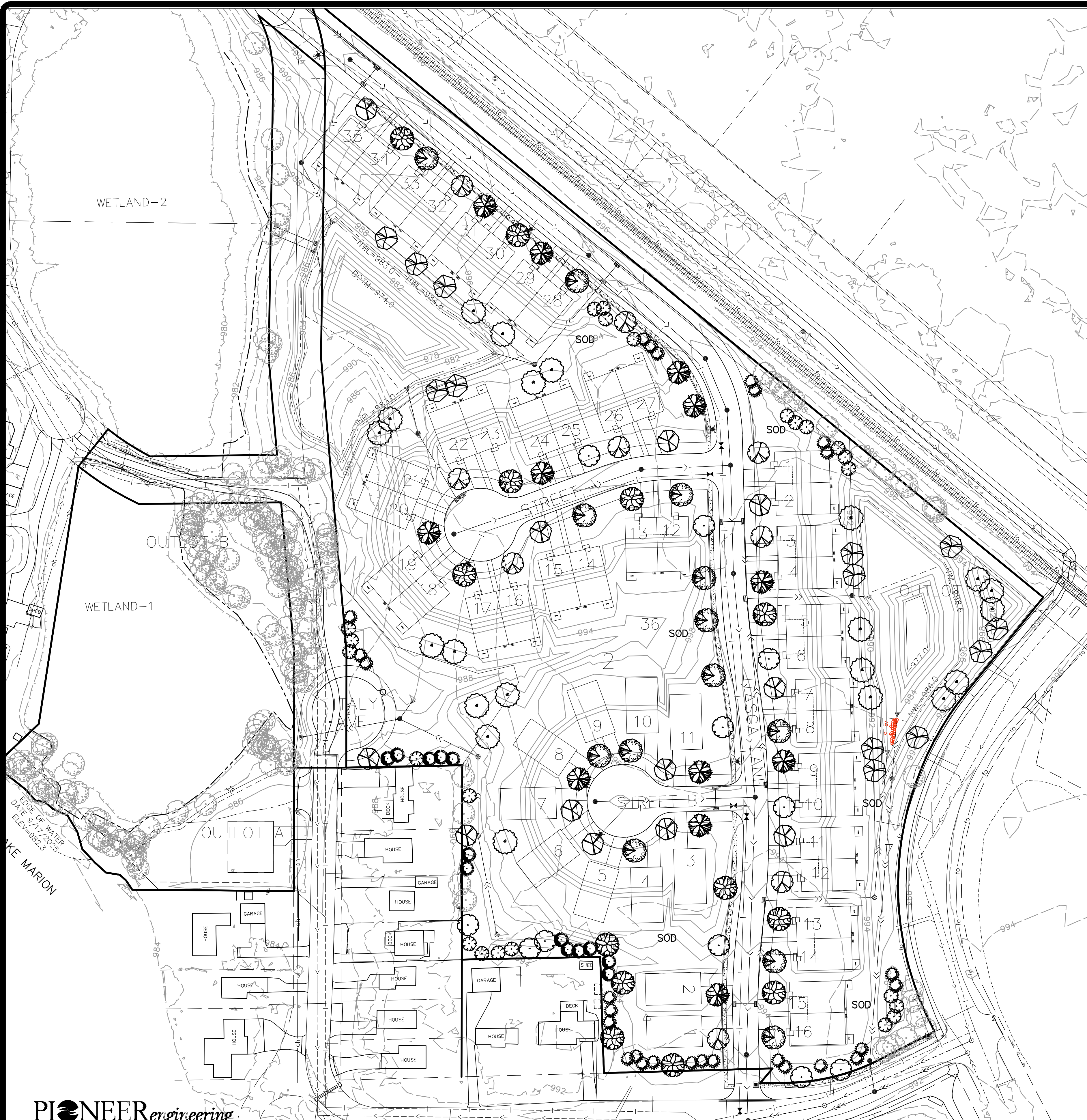


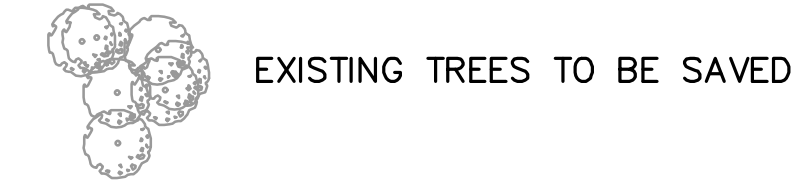
EXHIBIT L

BENCH MARK
 TOP NUT HYDRANT LOCATED 120' WEST OF THE INTERSECTION OF IPAVA AVE. & 201ST STREET W. NORTH SIDE OF STREET. EL.=994.26
 00-ENG-124207-SHEET-STRM



PLANTING SCHEDULE

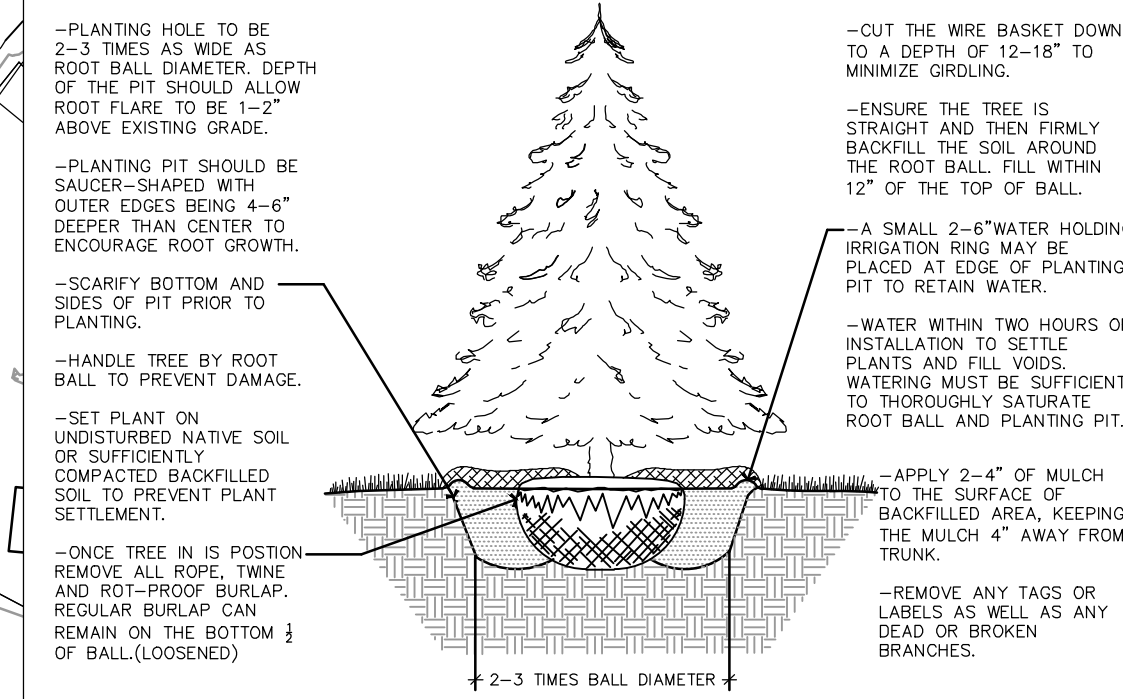
KEY	COMMON NAME/SCIENTIFIC NAME	ROOT	QUANTITY
OVERSTORY TREES			
	SENTRY LINDEN/TILIA AMERICANA 'SENTRY'	2.5" B&B	9
	NORTHERN PIN OAK/QUERCUS ELLIPSOIDALIS	2.5" B&B	12
	THORNLESS HONEYLOCUST/GLEDITSIA TRIACANTHOS VAR INERMIS	2.5" B&B	12
	RIVER BIRCH/BETULA NIGRA 'HERITAGE' (CLUMP)	12-14' B&B	21
	NORTHWOOD MAPLE/ACER RUBRUM 'NORTHWOOD'	2.5" B&B	13
	HACKBERRY/CELTIS OCCIDENTALIS	2.5" B&B	11
	AUTUMN BLAZE MAPLE/ACER X FREEMANII 'JEFFERSRED'	2.5" B&B	13
	SWAMP WHITE OAK/QUERCUS BICOLOR	2.5" B&B	13
EVERGREEN TREES			
	WHITE PINE/PINUS STROBUS	6' B&B	13
	NORWAY SPRUCE/PICEA ABIES	6' B&B	23
	BLACK HILLS SPRUCE/PICEA GLUACA VAR DENSATA	6' B&B	27



LANDSCAPE NOTES:

- 182.5" REQUIRED MITIGATION AS PER TREE PRESERVATION PLAN
- PROPOSED OVERSTORY AND CONIFER TREES: 167 (417.5")
- DISTURBED AREAS OUTSIDE OF WETLANDS AND WETLAND BUFERS TO BE SODDED
- SODDED AREAS TO BE IRRIGATED
- IRRIGATION DESIGNED BY OTHERS
- SEE GRADING PLAN FOR STORMWATER BASIN SEEDING DETAILS

CONIFEROUS TREE PLANTING DETAIL



LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF PROPOSED PHYSICAL START DATE AT LEAST 7 DAYS IN ADVANCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL EXISTING UTILITY LOCATIONS ON THE PROJECT SITE WITH GOPHER STATE ONE CALL 1-800-252-1166 PRIOR TO COMMENCING WORK. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- GRADING TO BE PERFORMED BY OTHERS.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS FOUND IN THE AMERICAN ASSOCIATION OF NURSERYMEN-AMERICAN STANDARD FOR NURSERY STOCK.
- ALL CONTAINER MATERIAL TO BE GROWN IN THE CONTAINER A MINIMUM OF SIX (6) MONTHS PRIOR TO PLANTING ON SITE.
- DECIDUOUS AND CONIFEROUS TREES SHALL NOT BE STAKED, BUT THE LANDSCAPE CONTRACTOR MUST GUARANTEE STABILITY TO A WIND SPEED OF 60 M.P.H.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM GUARANTEE OF ONE YEAR ONE TIME REPLACEMENT ON NEW PLANT MATERIALS. GUARANTEE SHALL BE AGREED UPON BY DEVELOPER/BUILDER AND LANDSCAPE CONTRACTOR.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING OR AFTER INSTALLATION.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER SHOWN ON THE PLANT LIST, THE NUMBER SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE WORK SHOWN ON THE PLAN. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE PLANT SCHEDULE.
- COMMERCIAL GRADE POLY LAWN EDGING SHALL BE INSTALLED WHERE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO THE SITE CAUSED BY THE PLANTING OPERATION AT NO COST TO THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL KEEP PAVEMENTS CLEAN UNSTAINED. ALL PEDESTRIAN AND VEHICLE ACCESS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. ALL WASTES SHALL BE PROMPTLY REMOVED FROM THE SITE. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS AND PERMITS GOVERNING THE WORK.
- STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.

DECIDUOUS TREE PLANTING DETAIL

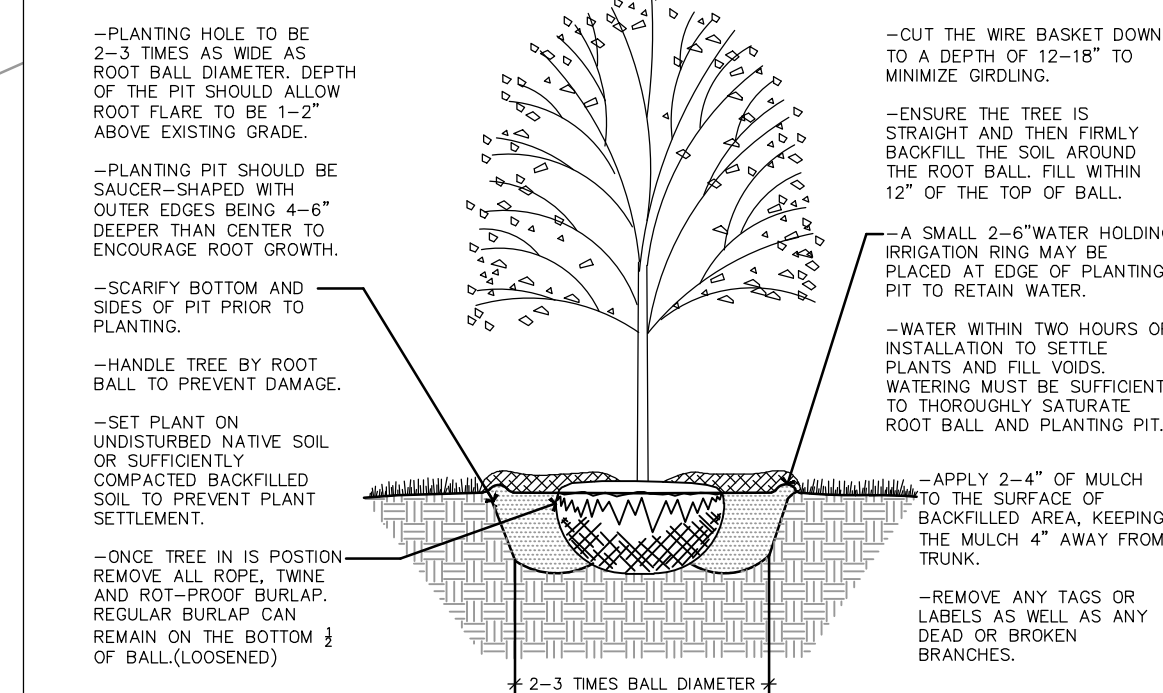
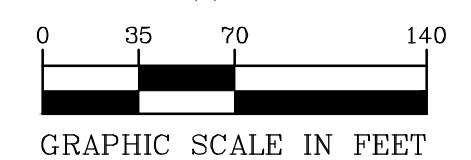


EXHIBIT M



PIONEER engineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota

Name: *Janifer L. Thompson*
 Title: *Janifer L. Thompson*
 Reg. No.: 44763
 Date: 3-31-2026

Revisions:
 1. 01-23-2026 City Comments
 2. 03-06-2026 City Comments
 3. 03-31-2026 City Comments

Date: 11-14-2025
 Designed: JLT
 Drawn: JLT

LANDSCAPE PLAN

PROGRESSIVE, LLC
 21025 EDMONTON AVENUE
 FARMINGTON, MINNESOTA 55024

HAVEN AT LAKE MARION
 LAKEVILLE, MINNESOTA

L1 OF 1

000-PLAN-124207-SHEET-LAND

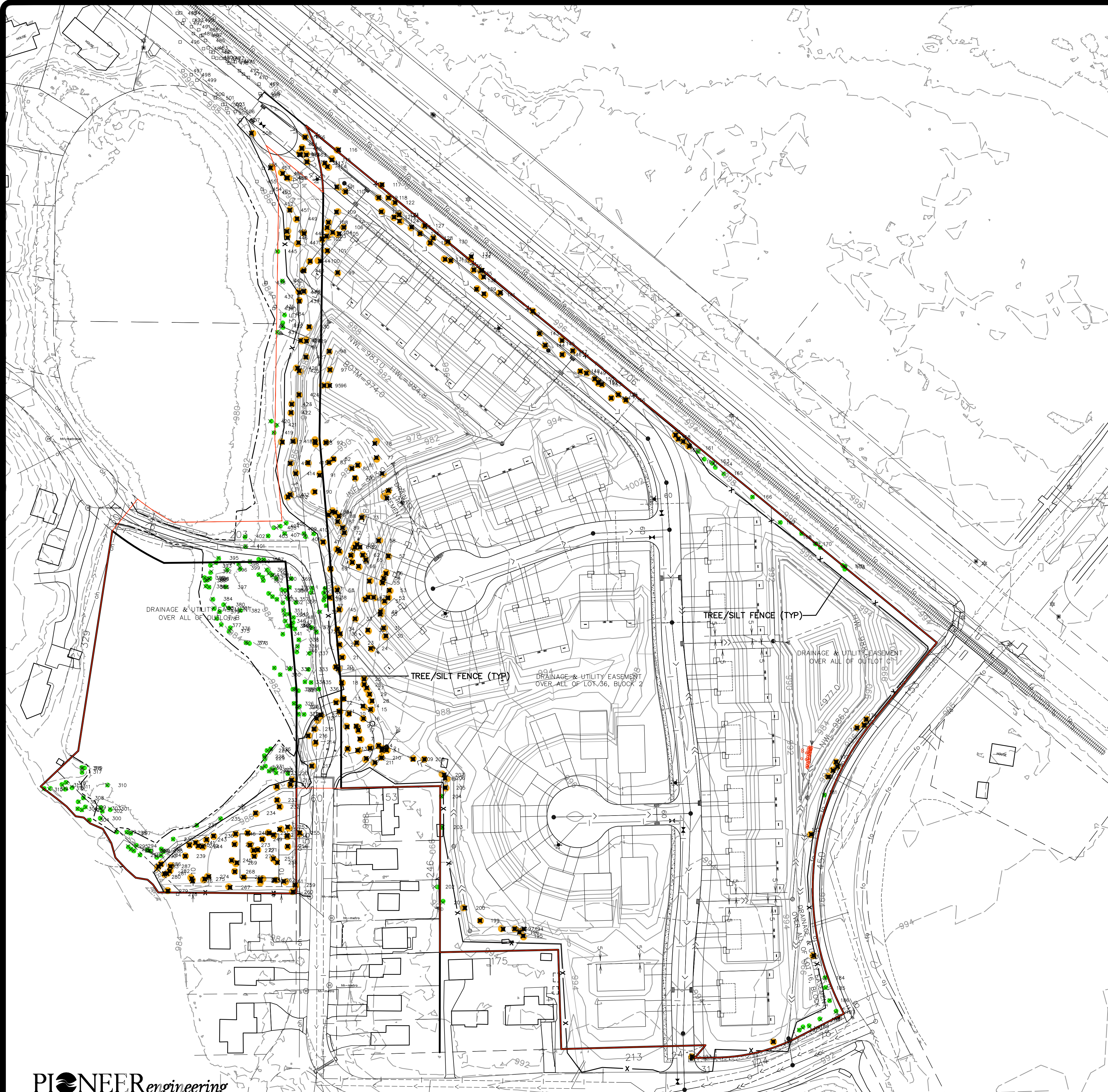


Table 1:

Tree classification	Total significant tree diameter inches on site	Total significant tree diameter inches removed
Common	4872	2391
Coniferous	145	56
Hardwood deciduous	767	559
Heritage trees	160	69
TOTAL	5,944	3,075

Table 2:

Removal Threshold	Allowable removal of significant diameter inches
40% removal threshold	2,377.6

Table 3:

Determine the rate of required tree replacement	With a 40% removal threshold
Subtract total significant common diameter inches removed from threshold	-13.4
Common inches that require replacement	13.4
then subtract total significant conifer diameter inches from the above result	The calculation has gone below zero and all remaining inches require replacement
Conifer inches that require replacement	56.0
finally subtract total significant hardwood deciduous diameter inches from the above result	The calculation has gone below zero and all remaining inches require replacement
Hardwood deciduous inches that require replacement	559.0

Table 4:

Determine the rate of required tree replacement	With a 40% removal threshold
Tree replacement required for common trees (1/8 diameter inches)	1.7
Tree replacement required for conifer trees (1/4 diameter inches)	14.0
Tree replacement required for hardwood deciduous (1/2 diameter inches)	279.5
Significant tree replacement required for heritage trees (100% diameter inches)	69.0
Total significant tree replacement required (diameter inches). Not including credits.	364.2

Table 5:

Total inches of heritage trees preserved on site.	91.0
---	------

Table 6:

Determine required tree replacement including credits.	With a 40% removal threshold
Credits from the larger of the two above totals (diameter inches)	182.0
Remaining required tree replacement in diameter inches	182.2
Credits from the smaller of the two above totals (diameter inches)	0.0
Final required tree replacement (diameter inches)	182.5

TREE INVENTORY PROVIDED BY



- 9248 = TREE TO BE SAVED
- 9248 = TREE TO BE REMOVED
- 9248 = TREE OFF-SITE

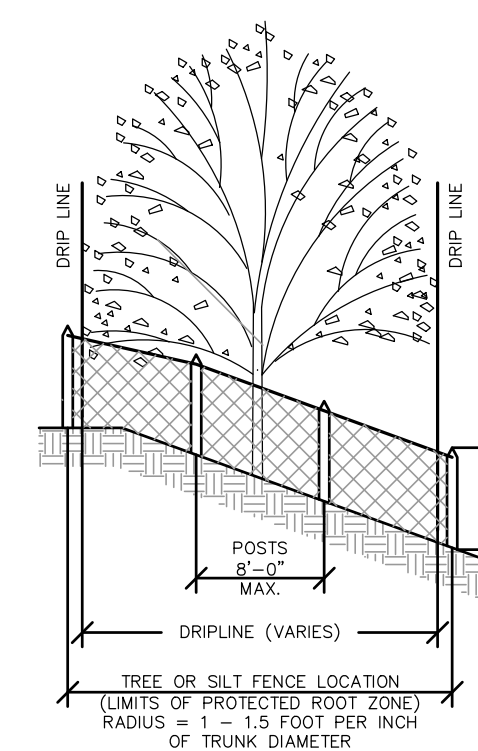
- TREE PRESERVATION NOTES:
1. SPREADSHEET TABLES ABOVE PROVIDED BY CITY OF LAKEVILLE
 2. TREE INVENTORY PROVIDED BY REHDER FORESTRY CONSULTING
 3. SEE SHEETS T2 FOR INVENTORY
 4. SEE LANDSCAPE PLAN FOR MITIGATION

TREE PROTECTION DETAIL

NOT TO SCALE

TREES TO BE SAVED SHALL BE FENCED OFF WITH BRIGHT ORANGE POLYETHYLENE SAFETY NETTING OR HEAVY DUTY SILT FENCE AND STEEL STAKES AT THE DRIP LINE, OR AS DIRECTED BY THE OWNER'S CONSULTANT.

PROTECTION FENCE WILL HELP INSURE AGAINST DAMAGE BY VEHICLES, COMPACTION OF SOILS AND/OR THE CHEMICAL ALTERATION OF SOILS DUE TO CONCRETE WASHOUT, PAINTS AND LEAKAGE OR SPILLAGE OF ANY TOXIC MATERIALS.



INSTALL TREE OR SILT FENCE PRIOR TO OR AT SAME TIME AS LAND CLEARING.

PROTECTION FENCE SHOULD REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE.

IF PROTECTION FENCE IS DAMAGED OR REMOVED, NEW FENCING MUST BE PLACED BACK IN ORIGINAL POSITION UNTIL CONSTRUCTION IS COMPLETE.

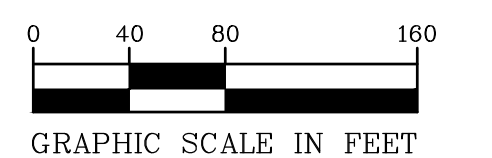
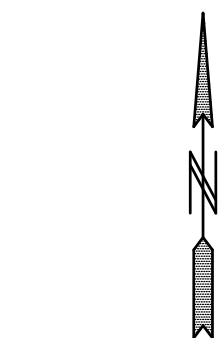


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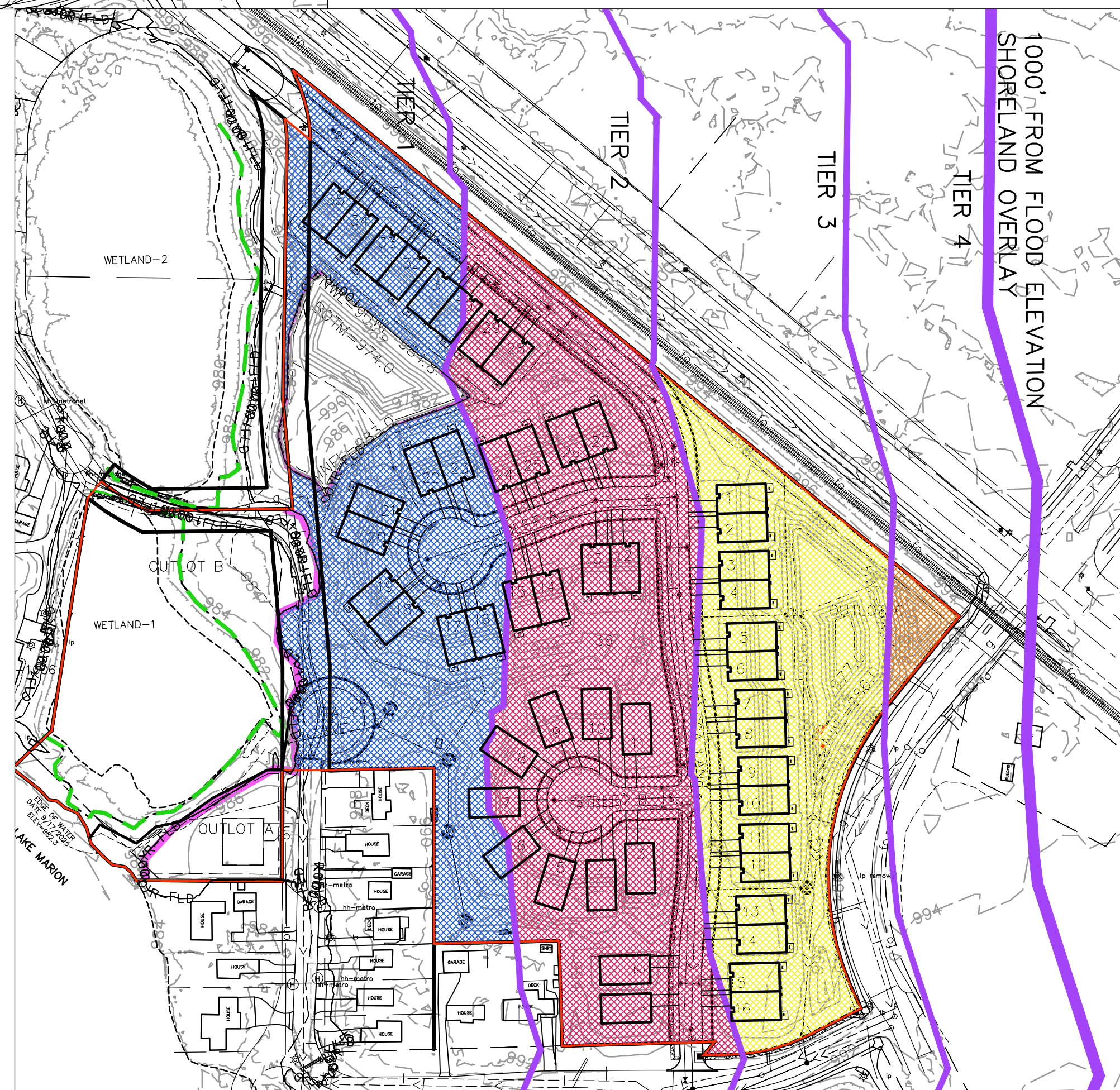
Tag	Diameter	Species	Condition	Notes	Type	Status
1	10	Elm, american	Fair		Common	Remove
2	7	Elm, american	Fair		Common	Remove
3	7	Elm, american	Fair		Common	Remove
4	6	Elm, american	Fair		Common	Remove
5	7	Elm, american	Fair		Common	Remove
6	7	Elm, american	Fair		Common	Remove
7	7	Elm, american	Fair		Common	Remove
8	6	Elm, american	Fair		Common	Remove
9	17	Walnut, black	Fair		Hardwood	Remove
10	8	Elm, american	Fair		Common	Remove
11	37	Walnut, black	Fair	2x20 17	Hardwood	Remove
12	9	Elm, american	Fair		Common	Remove
13	8	Elm, american	Fair		Common	Remove
14	12	Maple, silver	Fair		Common	Remove
15	9	Boxelder	Fair		Common	Remove
16	15	Maple, silver	Fair		Common	Remove
17	6	Elm, american	Fair		Common	Remove
18	7	Boxelder	Fair		Common	Remove
19	10	Elm, american	Fair		Common	Remove
20	13	Elm, american	Fair		Common	Remove
21	20	Walnut, black	Good		Hardwood	Remove
22	8	Elm, american	Fair		Common	Remove
23	34	Maple, silver	Fair	2x17 17	Common	Remove
24	7	Boxelder	Fair		Common	Remove
25	27	Maple, silver	Fair		Common	Remove
26	10	Maple, silver	Fair		Common	Remove
27	15	Boxelder	Fair		Common	Remove
28	12	Boxelder	Fair		Common	Remove
29	8	Boxelder	Fair		Common	Remove
30	9	Boxelder	Fair		Common	Remove
31	14	Mulberry, red	Fair	2x7 7	Common	Remove
32	15	Boxelder	Fair		Common	Remove
33	16	Elm, american	Fair		Common	Remove
34	12	Boxelder	Fair		Common	Remove
35	8	Ash, green	Fair		Common	Remove
36	45	Cottonwood, eastern	Fair	2x25 20	Common	Save
37	12	Cottonwood, eastern	Fair		Common	Save
38	17	Cottonwood, eastern	Fair		Common	Remove
39	17	Cottonwood, eastern	Fair		Common	Save
40	11	Elm, american	Fair		Common	Save
41	20	Cottonwood, eastern	Good		Common	Save
42	17	Cottonwood, eastern	Fair		Common	Save
43	10	Elm, american	Fair		Common	Save
44	8	Elm, american	Fair		Common	Save
45	6	Boxelder	Fair		Common	Remove
46	28	Maple, silver	Fair		Common	Remove
47	8	Boxelder	Fair		Common	Remove
48	8	Maple, silver	Fair		Common	Remove
49	6	Maple, silver	Fair		Common	Remove
50	6	Elm, siberian	Fair		Invasive	Remove
51	17	Elm, siberian	Fair		Invasive	Remove
52	17	Elm, siberian	Fair		Invasive	Remove
53	8	Walnut, black	Fair		Hardwood	Remove
54	17	Maple, silver	Fair		Common	Remove
55	12	Maple, silver	Fair		Common	Remove
56	18	Elm, siberian	Fair		Invasive	Remove
57	22	Elm, siberian	Fair	2x12 10	Invasive	Remove
58	15	Elm, siberian	Fair		Invasive	Remove
59	22	Boxelder	Fair		Common	Remove
60	9	Boxelder	Fair		Common	Remove
61	9	Boxelder	Fair		Common	Remove
62	17	Maple, silver	Fair		Common	Remove
63	7	Boxelder	Fair		Common	Remove
64	9	Boxelder	Fair		Common	Remove
65	8	Walnut, black	Fair		Common	Remove
66	8	Boxelder	Fair		Common	Remove
67	9	Boxelder	Fair		Common	Remove
68	7	Boxelder	Fair		Common	Remove
69	9	Boxelder	Fair		Common	Remove
70	8	Boxelder	Fair		Common	Remove
71	8	Boxelder	Fair		Common	Remove
72	9	Boxelder	Fair		Common	Remove
73	9	Boxelder	Fair		Common	Remove
74	9	Elm, siberian	Fair		Invasive	Remove
75	14	Elm, siberian	Fair	2x7 7	Invasive	Remove
76	14	Elm, siberian	Fair		Invasive	Remove
77	16	Elm, siberian	Fair		Invasive	Remove
78	7	Mulberry, red	Fair		Common	Remove
79	11	Boxelder	Fair		Common	Remove
80	11	Walnut, black	Good		Hardwood	Remove
81	16	Walnut, black	Good		Hardwood	Remove
82	22	Walnut, black	Good		Hardwood	Remove
83	10	Elm, american	Fair		Common	Remove
84	7	Walnut, black	Fair		Hardwood	Remove
85	6	Boxelder	Fair		Common	Remove
86	7	Boxelder	Fair		Common	Remove
87	8	Boxelder	Fair		Common	Remove
88	8	Boxelder	Fair		Common	Remove
89	7	Boxelder	Fair		Common	Remove
90	16	Elm, siberian	Fair		Invasive	Remove
91	6	Walnut, black	Fair		Hardwood	Remove
92	8	Walnut, black	Fair		Hardwood	Remove
93	18	Cottonwood, eastern	Fair		Common	Remove
94	20	Cottonwood, eastern	Fair	2x14 6	Common	Remove
95	9	Walnut, black	Good		Hardwood	Remove
96	9	Boxelder	Fair		Common	Remove
97	18	Walnut, black	Good		Hardwood	Remove
98	11	Walnut, black	Good		Hardwood	Remove
99	8	Walnut, black	Good		Hardwood	Remove

Tag	Diameter	Species	Condition	Notes	Type	Status
100	32	Elm, siberian	Fair		Invasive	Remove
101	6	Walnut, black	Fair		Hardwood	Remove
102	10	Maple, silver	Fair		Common	Remove
103	8	Maple, silver	Good		Common	Remove
104	7	Boxelder	Fair		Common	Remove
105	6	Boxelder	Fair		Common	Remove
106	9	Boxelder	Fair		Common	Remove
107	24	Maple, silver	Fair	2x12 12	Common	Remove
108	11	Maple, silver	Fair		Common	Remove
109	16	Walnut, black	Good		Hardwood	Remove
110	7	Elm, siberian	Fair		Invasive	Remove
111	6	Elm, siberian	Fair		Invasive	Remove
112	8	Elm, siberian	Fair		Invasive	Remove
113	8	Elm, siberian	Fair		Invasive	Remove
114	9	Elm, american	Fair		Common	Remove
115	12	Oak, bur	Good		Hardwood	Remove
116	13	Walnut, black	Good		Hardwood	Remove
117	14	Elm, american	Good		Common	Remove
118	17	Boxelder	Fair		Common	Remove
119	9	Boxelder	Fair		Common	Remove
120	30	Boxelder	Fair		Common	Remove
121	8	Boxelder	Fair		Common	Remove
122	22	Boxelder	Fair	2x12 10	Common	Remove
123	11	Boxelder	Fair		Common	Remove
124	12	Boxelder	Fair		Common	Remove
125	9	Boxelder	Fair		Common	Remove
126	15	Boxelder	Fair		Common	Remove
127	21	Boxelder	Fair		Common	Remove
128	31	Cottonwood, eastern	Good		Common	Remove
129	18	Mulberry, red	Fair		Common	Remove
130	11	Elm, american	Fair		Common	Remove
131	13	Boxelder	Fair		Common	Remove
132	11	Cottonwood, eastern	Fair		Common	Remove
133	19	Elm, siberian	Fair		Invasive	Off-Site
134	6	Elm, american	Fair		Common	Off-Site
135	8	Elm, siberian	Fair		Invasive	Remove
136	8	Elm, american	Fair		Common	Remove
137	9	Elm, american	Fair		Common	Remove
138	55	Cottonwood, eastern	Fair	2x40 15	Common	Remove
139	7	Elm, siberian	Fair		Invasive	Remove
140	22	Boxelder	Fair	2x11 11	Common	Remove
141	11	Elm, american	Fair		Common	Remove
142	50	Elm, siberian	Fair		Invasive	Remove
143	8	Boxelder	Fair		Common	Remove
144	18	Elm, siberian	Fair		Invasive	Remove
145	13	Walnut, black	Good		Hardwood	Remove
146	11	Boxelder	Fair		Common	Remove
147	7	Elm, american	Fair		Common	Remove
148	18	Elm, siberian	Fair		Invasive	Remove
149	28	Cottonwood, eastern	Fair		Common	Remove
150	12	Walnut, black	Fair		Hardwood	Remove
151	12	Walnut, black	Fair		Hardwood	Remove
152	8	Walnut, black	Fair		Hardwood	Remove
153	8	Walnut, black	Fair		Hardwood	Remove
154	7	Elm, siberian	Fair		Invasive	Remove
155	9	Walnut, black	Fair		Hardwood	Remove
156	12	Pine, scotch	Fair	40ft	Heritage	Remove
157	17	Pine, scotch	Fair	50ft	Heritage	Remove
158	11	Pine, scotch	Fair	50ft	Heritage	Remove
159	14	Pine, scotch	Fair	50ft	Heritage	Remove
160	12	Pine, scotch	Fair	20ft	Conifer	Remove
161	8	Walnut, black	Fair		Hardwood	Save
162	7	Hackberry	Fair	20ft	Conifer	Save
163	12	Pine, scotch	Fair	40ft	Heritage	Save
164	7	Walnut, black	Fair		Hardwood	Save
165	11	Walnut, black	Fair		Hardwood	Save
166	12	Walnut, black	Fair		Hardwood	Save
167	13	Walnut, black	Fair		Hardwood	Save
168	16	Pine, scotch	Fair	30ft	Conifer	Save
169	10	Pine, scotch	Fair	30ft	Conifer	Save
170	13	Pine, scotch	Fair	40ft	Heritage	Save
171	8	Pine, scotch	Fair	30ft	Conifer	Save
172	12	Walnut, black	Fair		Hardwood	Save
173	7	Pine, scotch	Fair	30ft	Conifer	Save
174	12	Elm, siberian	Fair		Invasive	Remove
175	15	Pine, scotch	Fair	40ft	Heritage	Remove
176	6	Elm, siberian	Fair		Invasive	Remove
177	6	Elm, siberian	Fair		Invasive	Remove
178	9	Elm, siberian	Fair		Invasive	Remove
179	9	Elm, siberian	Fair		Invasive	Remove
180	6	Elm, siberian	Fair		Invasive	Remove
181	15	Pine, scotch	Fair	40ft	Heritage	Save
182	6	Elm, siberian	Fair		Invasive	Remove
183	15	Pine, scotch	Fair	20ft	conifer	Remove
184	17	Pine, scotch	Fair	40ft	Heritage	Save
185	17	Pine, scotch	Fair	40ft	Heritage	Save
186	14	Pine, scotch	Fair	20ft	conifer	Save
187	16	Pine, scotch	Fair	30ft	Conifer	Save
188	13	Pine, scotch	Fair	30ft	Conifer	Save
189	13	Pine, scotch	Fair	20ft	Conifer	Save
190	11	Pine, scotch	Fair	20ft	Conifer	Save
191	17	Pine, scotch	Fair	40ft	Heritage	Save
192	21	Pine, scotch	Fair	30ft	Conifer	Remove
193	20	Boxelder	Fair		Common	Remove
194	14	Boxelder	Fair		Common	Remove
195	11	Boxelder	Fair		Common	Remove
196	15	Maple, silver	Fair		Common	Remove
197	22	Maple, silver	Good		Common	Remove
198	10	Maple, silver	Fair		Common	Remove

Tag	Diameter	Species	Condition	Notes	Type	Status
199	7	Walnut, black	Fair		Hardwood	Remove
200	10	Maple, silver	Fair		Common	Remove
201	22	Maple, silver	Fair	3x11 7 4	Common	Save
202	6	Boxelder	Fair		Common	Save
203	41	Boxelder	Fair	2x21 20	Common	Save
204	13	Boxelder	Fair		Common	Save
205	14	Mulberry, red	Fair	2x8 6	Common	Remove
206	13	Boxelder	Fair		Common	Remove
207	14	Boxelder	Fair		Common	Remove
208	23	Walnut, black	Fair		Hardwood	Remove
209	21	Walnut, black	Fair		Hardwood	Remove
210	23	Walnut, black	Good		Hardwood	Remove
211	14	Walnut, black	Fair		Hardwood	Remove
212	16	Walnut, black	Fair		Hardwood	Remove
213	29	Cottonwood, eastern	Fair		Common	Remove
214	16	Boxelder	Fair		Common	Remove
215	10	Boxelder	Fair		Common	Remove
216	13	Boxelder	Fair		Common	Remove
217	25	Maple, silver	Fair		Common	Remove
218	19	Cottonwood, eastern	Fair		Common	Remove
219	14	Cottonwood, eastern	Fair		Common	Remove
220	9	Boxelder	Fair		Common	Save
221	39	Cottonwood, eastern	Good		Common	Remove
222	26	Cottonwood, eastern	Fair		Common	Save
223	19	Cottonwood, eastern	Fair		Common	Save
224	25	Maple, silver	Fair	3x10 8 7	Common	Save
225	16	Cottonwood, eastern	Fair		Common	Save
226	10	Willow, black	Fair		Hardwood	Save
227	12	Willow, black	Fair		Hardwood	Save
228	8	Willow, black	Fair		Hardwood	Save
229	13	Cottonwood, eastern	Fair		Common	Save
230	28	Cottonwood, eastern	Good		Common	Save
231	28	Cottonwood, eastern	Good		Common	Save
232	21	Maple, silver	Fair	3x7 7 7	Common	Remove
233	9	Boxelder	Fair		Common	Remove
234	9	Ash, green	Fair		Common	Remove
235	20	Ash, green	Fair		Common	Save
236	44	Maple, silver	Fair	3x20 13 11	Common	Remove



SHORELAND PUD OPEN SPACE



SHORELAND TIER DENSITY

SITE DATA:

GROSS AREA: ±20.6 ACRES
 WETLAND AREA: ±2.1 ACRES
 FLOODPLAIN (OUTSIDE OF WETLAND): ±1.5 ACRES
 NET DEVELOPABLE: ±17 ACRES

CURRENT ZONING: AP, RM-1, AND RS-3
 2040 COMP PLAN:
 MEDIUM DENSITY RESIDENTIAL (4-7 UNITS/ACRE),
 LOW-MEDIUM DENSITY RESIDENTIAL (4-5 UNITS/ACRE),
 LOW DENSITY RESIDENTIAL (0.1-3 UNITS/ACRE)

PROPOSED ZONING:
 VILLAS AND TWINS: RST-2 SHORELAND PUD
 SINGLE LAKE OUTLOT: SHORELAND OVERLAY (R-3, NO PUD)
 PROPOSED LAND USE: LOW DENSITY RESIDENTIAL (0.1-3 UNITS/ACRE)

RST-2 STANDARDS (TWINS AND DETACHED TOWNHOMES):
 BASE LOT SETBACK: 30'
 SETBACK BETWEEN BUILDINGS:
 DETACHED TOWNHOME: 14'
 FRONT SETBACK: 25' FROM PUBLIC ROW, 30' FROM PRIVATE DRIVE
 SHORELAND STANDARDS FOR LAKE MARION (REC DEVELOPMENT):
 SINGLE FAMILY:
 AREA: 20,000 SF
 WIDTH: 75'
 SETBACK FROM OHW: 75'
 SIDE SETBACK FOR PROPERTY ABUTTING LAKE: 20'

PROPOSED UNITS: 51 (PLUS 1 FUTURE LAKE LOT)
 TWIN UNITS: 40
 DETACHED TOWNHOME: 11
 LAKE OUTLOT: 1
 NET DENSITY: ±3.06 UNITS/ACRE (52/17)

PROPOSED IMPERVIOUS:
 TOTAL GROSS LOT/OUTLOT AREAS: 748,707 SF (17.2 ACRES)
 TWIN HOMES: 2,920 SF X 40 UNITS = 116,800 SF
 DETACHED TOWNHOMES: 2,800 SF X 10 UNITS = 28,000 SF
 LAKE OUTLOT: 3,500 SF (POTENTIAL FUTURE IMPERVIOUS AT TIME OF PLAT)
 DRIVEWAYS: 715 SF X 51 DRIVEWAYS = 36,465
 TOTAL IMPERVIOUS: 184,765 SF (24.7%)

PROPOSED SHORELAND PUD STANDARDS (REC DEV LAKE):
 SHORELAND AREA: 17.4 ACRES
 REQUIRED OPEN SPACE: 50% OF 17.4 ACRES = 8.7 ACRES
 PROPOSED OPEN SPACE: 9.5 ACRES

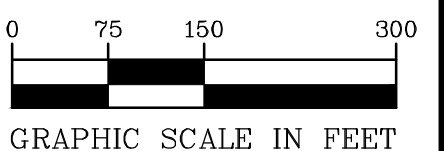
SHORELAND TIER ANALYSIS

Tier	*Suitable Area	Base Density		Density Multiplier		
		Min lot area/DU	Allowed DU	Density Increase	Max. DU	Proposed DU
**1	215,618	20,000 sf	11	50%	16	14
2	284,873	15,000 sf	19	100%	38	21
3	178,433	15,000 sf	12	200%	36	16
4	10,094	15,000 sf	0	200%	0	0
Total	759,943		42		90	***51

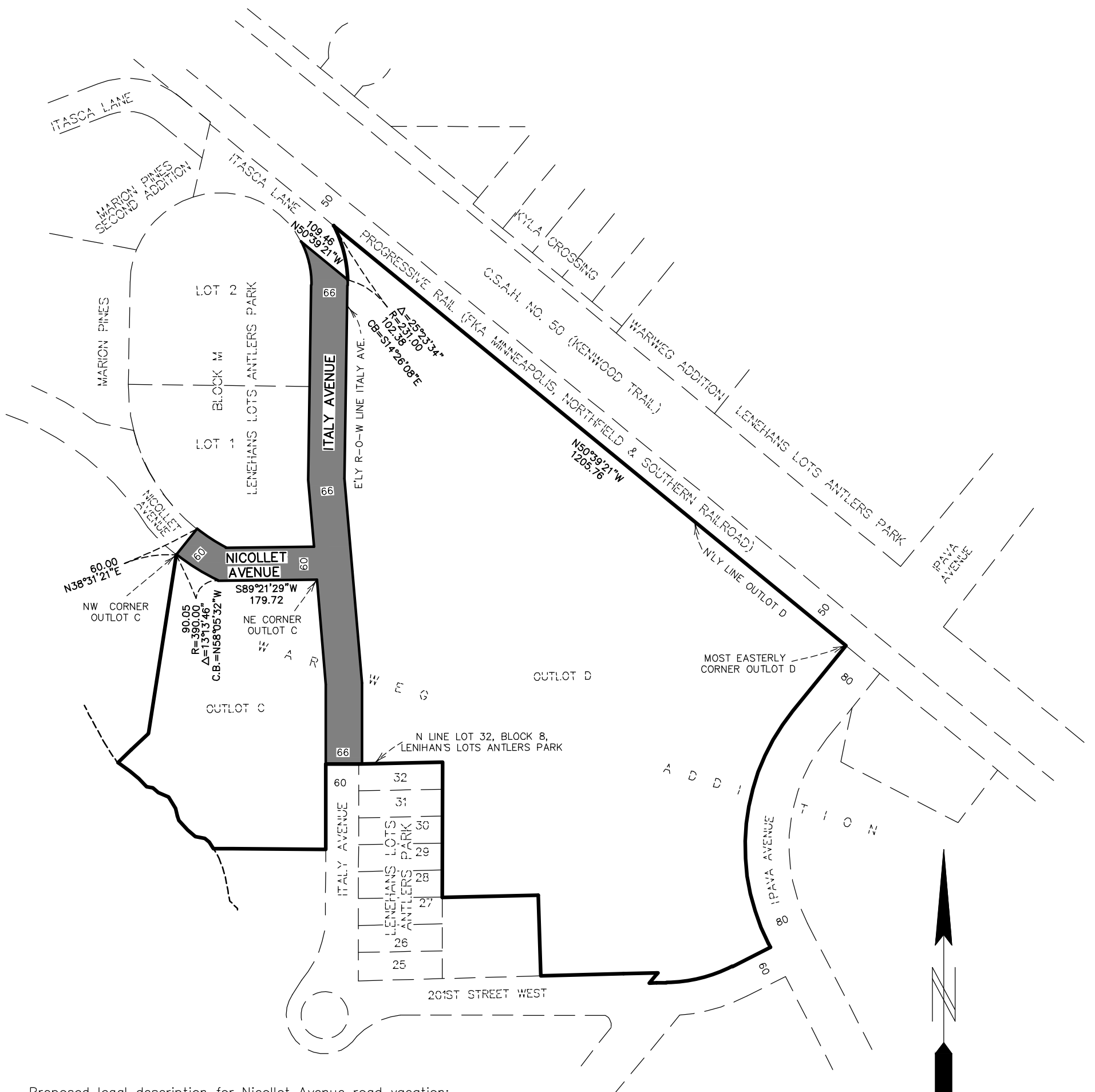
*Suitable area is the net area within the project boundary excluding wetlands and floodplain
 Tiering starts at the Floodplain elevation. Land below the flood elevation excluded from suitable area
 **Suitable area in tier 1 excludes the lake outlot which may be platted in the future
 *** Total proposed units excludes the lake outlot which is excluded from the PUD

FLOODPLAIN
 EDGE OF WETLAND

EXHIBIT O



0000-PLAN-124207-SHEET-DENSITY



Proposed legal description for Nicollet Avenue road vacation:

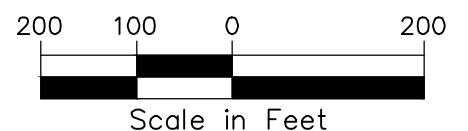
All that part of Nicollet Avenue as delineated and dedicated on LENIHAN'S LOTS ANTLERS PARK according to the recorded plat thereof, Dakota County, Minnesota lying northerly of the north line of Outlot C, WARWEG ADDITION said Dakota County (AKA the south line of Nicollet Avenue) per said LENIHAN'S LOTS ANTLERS PARK and lying easterly of the following described line and its extensions:

Commencing at the northeast corner of said Outlot C, thence South 89 degrees 21 minutes 29 seconds West, assumed bearing along the north line of said Outlot C, 179.72 feet; thence northwesterly 90.05 feet along said north line, along a non-tangential curve concave to the northeast, radius 390.00 feet, central angle 13 degrees 13 minutes 46 seconds and chord bearing North 58 degrees 05 minutes 32 seconds West to the northwest corner of said Outlot C and the point of beginning; thence North 38 degrees 31 minutes 21 seconds East, 60.00 feet to the north right-of-way line of said Nicollet Avenue.

Proposed legal description for Italy Avenue Road vacation:

All that part of Italy Avenue (FKA Lakeview Avenue) as delineated and dedicated on LENIHAN'S LOTS ANTLERS PARK and WARWEG ADDITION according to the recorded plats thereof, Dakota County, Minnesota lying north of the north line of Lot 32, Block 8, said LENIHAN'S LOTS ANTLERS PARK and its westerly extension and lying southerly of the following described line and its extensions:

Commencing at the most easterly corner of Outlot D, said WARWEG ADDITION thence North 50 degrees 39 minutes 21 seconds West, assumed bearing along the northerly line thereof, 1205.76 feet to the northerly corner of said Outlot D also the east right-of-way of said Italy Avenue; thence southeasterly 102.38 feet, along said easterly right-of-way along a non-tangential curve concave to the southwest, radius 231.00 feet, central angle 252 degrees 23 minutes 34 seconds and chord bearing South 14 degrees 26 minutes 08 seconds West to the point of beginning; thence North 50 degrees 39 minutes 21 seconds West 109.46 feet to the west right-of-way of said Italy Avenue.



Scale in Feet



Denotes proposed vacated roads

EXHIBIT P

Description Sketch for:
Progressive, LLC.

**CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA**

**HAVEN AT LAKE MARION
COMPREHENSIVE PLAN AND ZONING MAP AMENDMENT
FINDINGS OF FACT AND RECOMMENDATION**

On 16 April 2026, the Lakeville Planning Commission met at its regularly scheduled meeting to consider the application of Progressive, LLC for amendments of the Comprehensive Plan and Zoning Map amendment to change the guided land use and zoning district designation of property to be developed as Haven at Lake Marion. The Planning Commission conducted a public hearing on the application preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The subject property is guided for Medium Density Residential (4-7 du/ac.), Low-to-Medium Density Residential (4-5 du/ac.), and Low Density Residential Land Use (1-3 du/ac.) by the 2040 Comprehensive Plan. The applicant has applied for an amendment to the 2040 Land Use Plan to change the guided land use to Low-to-Medium Density Residential land use for the area of the preliminary plat, not including Outlot A to remain guided Low Density Residential.
2. The subject property is zoned RM-1, Medium Density Residential District, RST-2, Single and Two Family Residential District, and RS-3, Single Family Residential District. The applicant has applied for an amendment to the Zoning Map to change the zoning of the property, not including the area to be platted as Outlot A, to RST-2, Single and Two Family Residential District.
3. The legal description of the property is attached as Exhibit A.
4. Section 11-3-3.E of the City of Lakeville Zoning Ordinance provides that the Planning Commission shall consider possible effects of the proposed amendment. Its judgment shall be based upon, but not limited to, the following factors:
 - a. **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.**

Finding: Development of the subject property with detached townhomes and twin home dwellings is consistent with the policy of the Comprehensive Pla to “ensure that all new housing adheres to the highest possible standards of planning, design, and construction to ensure livable, sustainable housing choices within Lakeville.”

- b. **The proposed use is or will be compatible with present and future land uses of the area.**

Finding: The subject property is surrounded by the existing and planned land uses shown in the table below. Development of the subject property with twin homes at the perimeter of the preliminary plat and potential development of Outlot A as a single family lot, presents no compatibility concerns with surrounding uses.

Direction	Land Use Plan	Zoning Map	Existing Use
North	--	--	Railroad ROW
East	Office Park	O-P District	Undeveloped
South	Parks	P/OS District	Antlers Park
West	LD Residential	RS-3 District	Single family homes

- c. The proposed use conforms to all performance standards contained in the Zoning Ordinance and the City Code.**

Finding: The proposed preliminary plat complies with the requirements of the Zoning Ordinance, Subdivision Ordinance, and City Code.

- d. The proposed use can be accommodated with existing public services and will not overburden the City’s service capacity.**

Finding: The subject site is within the MUSA and the proposed use can be accommodated within the City’s existing public service capacity.

- e. Traffic generated by the proposed use is within capabilities of streets serving the property.**

Finding: The subject site is accessed by Ipava Avenue designated as a Major Collector street and Itasca Lane and 201st Street designated as local streets by the 2040 Transportation Plan, which have adequate capacity to accommodate traffic generated by the proposed use.

- 5. The report dated 8 April 2026 prepared by The Planning Company LLC (TPC) is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve amendments to the Comprehensive Plan and Zoning Map, conditioned upon compliance with the planning report prepared by TPC dated 8 April 2026.

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DATED: April 16, 2026

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair

EXHIBIT A

Lots 1-17, Block 1 and Lots 1-36, Block 2 of the Haven at Lake Marion preliminary plat.

**CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA**

**HAVEN AT LAKE MARION
CONDITIONAL USE PERMIT
FINDINGS OF FACT AND RECOMMENDATION**

On 16 April 2026, the Lakeville Planning Commission met at its regularly scheduled meeting to consider the application of Progressive, LLC for a Conditional Use Permit to allow a Planned Shoreland Development with the preliminary plat of Haven at Lake Marion. The Planning Commission conducted a public hearing on the application preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The subject property is guided for Low-to-Medium Density Residential (4-5 du/ac.).
2. The subject property is zoned RST-2, Residential Single and Two Family District, and portions of the subject property is within the Shoreland Overlay District of Lake Marion.
3. The legal description of the subject property is attached as Exhibit A.
4. Section 11-4-3.E of the City of Lakeville Zoning Ordinance provides that the Planning Commission shall consider possible effects of the proposed use. Its judgment shall be based upon, but not limited to, the following factors:
 - a. **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.**

Finding: Development of the subject property with detached townhomes and twin home dwellings is consistent with the policy of the Comprehensive Pla to “ensure that all new housing adheres to the highest possible standards of planning, design, and construction to ensure livable, sustainable housing choices within Lakeville.”

- b. **The proposed use is or will be compatible with present and future land uses of the area.**

Finding: The subject property is surrounded by the existing and planned land uses shown in the table below. Development of the subject property with twin homes at the perimeter of the preliminary plat and potential development of Outlot A as a single-family lot, presents no compatibility concerns with surrounding uses.

Direction	Land Use Plan	Zoning Map	Existing Use
North	--	--	Railroad ROW
East	Office Park	O-P District	Undeveloped
South	Parks	P/OS District	Antlers Park
West	LD Residential	RS-3 District	Single family homes

- c. **The proposed use conforms to all performance standards contained in the Zoning Ordinance and the City Code.**

Finding: The proposed preliminary plat complies with the requirements of the Zoning Ordinance, including the Shoreland Overlay District.

- d. **The proposed use can be accommodated with existing public services and will not overburden the City’s service capacity.**

Finding: The subject site is within the MUSA and the proposed use can be accommodated within the City’s existing public service capacity.

- e. **Traffic generated by the proposed use is within capabilities of streets serving the property.**

Finding: The subject site is accessed by Ipava Avenue designated as a Major Collector street and Itasca Lane Avenue and 201st Street designated as local street by the 2040 Transportation Plan, which have adequate capacity to accommodate traffic generated by the proposed use.

5. The report dated 8 April 2026 prepared by The Planning Company LLC (TPC) is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the requested Conditional Use Permit, conditioned upon compliance with the planning report prepared by TPC dated 8 April 2026.

(remainder of page blank signature follows)

DATED: April 16, 2026

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair

EXHIBIT A
LEGAL DESCRIPTION

Lots 1-16, Block 1 and Lots 1-35, Block 2, as shown on the Haven at Lake Marion preliminary plat.



Memorandum

To: Kris Jenson, Planning Manager

From: Jonathan Nelson, Assistant City Engineer
Mac Cafferty, Environmental Resources Manager
Joe Masiarchin, Parks and Recreation Director

Copy: Zach Johnson, City Engineer
Tina Goodroad, Community Development Director
Julie Stahl, Finance Director
Dave Mathews, Building Official

Date: April 8, 2026

Subject: Haven at Lake Marion

- Preliminary Plat Review
- Preliminary Grading and Erosion Control Plan Review
- Preliminary Utility Plan Review
- Preliminary Tree Preservation Review

BACKGROUND

Progressive, LLC has submitted a preliminary plat named Haven at Lake Marion. The proposed subdivision is located south of and adjacent to Kenwood Trail (CSAH 50) and west of and adjacent to Ipava Avenue.

The parent parcels are identified as PID Nos. 2283400030 and 22834000030, currently zoned RST-2, RM-1, and RS-3, and are proposed to be rezoned to RST-2 as part of this development.

The preliminary plat consists of fifty-one (51) townhome lots, two (2) common lots, and three (3) outlots on 20.64 acres.

The outlots created with the preliminary plat shall have the following use:

- Outlot A: Future development; to be retained by the Developer (0.58 acres)
- Outlot B: Stormwater management basin; to be deeded to the City (5.18 acres)
- Outlot C: Stormwater management basin; to be deeded to the City (1.25 acres)

The proposed development will be completed by:

Developer: Progressive, LLC
Engineer/Surveyor: Pioneer Engineering

SITE CONDITIONS

The Haven at Lake Marion site consists of undeveloped land with existing wetlands and drainage features identified. Existing topography generally drains east to west toward the proposed stormwater management areas located within the site. Existing public utilities are located within adjacent roadway rights-of-way and will be extended to serve the proposed development. There is an existing shed and clothes line identified in the platted area that must be removed and relocated by the adjacent property owners in coordination with the development. The existing trail connecting Italy Avenue and 199th Street will maintain pedestrian access between the two roadways. The site is adjacent to railroad owned and operated right-of-way. Access shall be maintained to existing properties along 201st Street and Italy Avenue throughout construction.

EASEMENTS

There are no public easements with the city that are required to be vacated with the preliminary plat. There is right-of-way that is to be vacated with the preliminary plat. There is no existing or planned city-owned infrastructure within the vacated right-of-way area. Perimeter drainage and utility easements shall be provided with the preliminary and final plat in accordance with city ordinance requirements.

STREET AND SUBDIVISION LAYOUT

Kenwood Trail (CSAH 50)

Haven at Lake Marion is located south of Kenwood Trail, a minor arterial roadway, as identified in the City's Transportation Plan. Kenwood Trail is currently constructed as a four-lane divided urban roadway with a center median. No direct connection is proposed from the development to Kenwood Trail.

Ipava Avenue

Haven at Lake Marion is located east of and adjacent to Ipava Avenue, a major collector roadway, as identified in the City's Transportation Plan. Ipava Avenue is currently constructed as a two-lane urban roadway.

Itasca Lane

Development of Haven at Lake Marion includes the construction of Itasca Lane, a local roadway. Itasca Lane is designed as a 32-foot-wide urban roadway with sidewalk facilities consistent with City standards. The Developer will dedicate the required right-of-way as shown on the preliminary plat.

Street A and Street B

Development includes the construction of Street A and Street B, both designed as local cul-de-sac roadways. These streets will be constructed to City standards within dedicated right-of-way and will provide access to adjacent residential lots.

Italy Avenue

Development includes the construction of a cul-de-sac at the existing northern terminus of Italy Avenue. These streets will be constructed to City standards within dedicated right-of-way and will provide access to adjacent residential lots.

CONSTRUCTION ACCESS

Construction traffic access and egress for grading, utility and street construction will be from Ipava Avenue and 201st Street. Access to the existing adjacent local roadways shall not be permitted for the construction.

PARKS, TRAILS AND SIDEWALKS

The City's Parks, Trails and Open Space Plan does not designate a park within Haven at Lake Marion. The Park Dedication requirement has not been collected on the parent parcel and shall be satisfied through a cash contribution with the final plat.

Development of Haven at Lake Marion includes the construction of public sidewalks. Five-foot wide concrete sidewalks, with pedestrian curb ramps, will be installed along one side of local streets consistent with City Standards.

UTILITIES

SANITARY SEWER

Haven at Lake Marion is located within subdistrict SC-113 of the South Creek sanitary sewer district as identified in the City's Sanitary Sewer Comprehensive Plan.

Development includes the extension of 8-inch public sanitary sewer through the site to serve the proposed lots. Wastewater from the development will be conveyed via existing downstream sanitary sewer infrastructure to the Empire Treatment Facility monitored by meter M649.

The Sanitary Sewer Availability Charge has not been collected on the parent parcels and shall be paid with the final plat at the rate in effect at the time of approval. The Lateral Sanitary Sewer Charge has not been collected on the parent parcel and is required with the final plat.

WATERMAIN

Haven at Lake Marion includes the extension of 8-inch public watermain through the site to provide water service to the subdivision. Watermain sizing and alignment are consistent with

the City's Comprehensive Water System Plan. The Lateral Watermain Charge has not been collected on the parent parcel and is required with the final plat.

DRAINAGE AND GRADING

Haven at Lake Marion is located within subdistricts ML-105, ML-074 and ML-075 of the Lake Marion stormwater district as identified in the City's Water and Natural Resources Management Plan.

Development includes the construction of three (3) publicly owned and maintained stormwater management basins to collect and treat runoff generated from the site. The basins will be located within Outlots B and C, which will be deeded to the City with the final plat. The stormwater management system shall be designed consistent with City requirements with the final plat.

The final grading plan shall identify all fill lots where building footings will be placed on fill material. Grading specifications shall indicate that all embankments meet FHA/HUD 79G requirements. Building permits will not be issued until a soils report and an as-built certified grading plan have been submitted and approved by City staff.

Haven at Lake Marion will disturb more than one acre of land. A National Pollutant Discharge Elimination System (NPDES) Construction Permit is required from the Minnesota Pollution Control Agency (MPCA). A copy of the Notice of Stormwater Permit Coverage must be submitted to the City.

STORM SEWER

Haven at Lake Marion includes the construction of public storm sewer systems to collect and convey runoff from public right-of-way and lots to the stormwater management basins within Outlots B and C.

Draintile construction is required in areas of non-granular soils for the street sub-cuts and lots. Any additional draintile construction, including perimeter draintile required for building footings, which is deemed necessary during construction shall be the developer's responsibility to install and finance.

The Storm Sewer Charge has not been collected on the parent parcels and shall be paid with the final plat.

RESIDENTIAL BUFFER YARD REQUIREMENTS

Ipava Avenue is classified as a major collector roadway per the City's Transportation Plan. Buffer yards, including berming and/or plantings of a sufficient density to provide a visual screen and buffer a minimum of ten feet in height, shall be provided adjacent to this roadway consistent with the Zoning Ordinance. A certified as-built grading plan of required berms must be approved by the City prior to installation of buffer plantings.

FEMA FLOODPLAIN ANALYSIS

Haven at Lake Marion is generally shown on the Flood Insurance Rate Map (Map No. 27037C0192E) as Zone X by the Federal Emergency Management Agency (FEMA). There is land shown in undeveloped outlots that is shown as Zone AE. No grading or construction shall be permitted within the area designated as a Special Flood Hazard Area (SFHA) as determined by FEMA. The developer shall coordinate a FEMA LOMA to determine future developability of Outlot A.

WETLANDS

A wetland delineation was completed for the site by Midwest Natural Resources Inc. The wetland delineation was reviewed and approved 8/19/2025. Two wetlands were identified adjacent to the plat. No wetland impacts are proposed with the plat. All wetland and wetland buffers will be placed in city owned outlots with final plat.

TREE PRESERVATION

The tree removal threshold for the Haven at Lake Marion site is 40%. The revised tree preservation plan dated 01-23-2026 identifies 5,944 significant diameter inches on the property and proposes the removal of 2,897 significant diameter inches, or 48.7%. The required tree replacement is 112.5 diameter inches.

Trees as identified as save are to be protected. Tree protection measures are to be installed prior to and maintained during any land disturbance or construction activities.

EROSION CONTROL

The Developer is responsible for obtaining an MPCA Construction Permit for the site prior to construction. The permit requires that all erosion and sediment BMPS be clearly outlined in a site's SWPPP. Changes made throughout construction must be documented in the SWPPP.

Additional erosion control measures may be required during construction as deemed necessary by City staff. Any additional measures required shall be installed and maintained by the developer.

RECOMMENDATION

Engineering recommends approval of the Haven at Lake Marion preliminary plat, grading and erosion control plan, and utility plan, subject to the requirements and stipulations within this report.



Memorandum

To: Planning Commission
From: Heather Botten, Senior Planner
Date: April 8, 2026
Subject: Packet Material for the April 16, 2026 Planning Commission Meeting
Agenda Item: Globus Business Park - Preliminary plat and CUP
Application Action Deadline: April 25, 2026 (60-day deadline)

BACKGROUND

Representatives of Globus Transport have submitted an application for a preliminary plat and conditional use permit for a one lot subdivision to be known as Globus Business Park. The site includes two parcels, with a lot area of 10.08 acres. The site is located south of Juniper Way (CSAH 70) and at the terminus of Kenrick Court, east of Kenrick Avenue.

The applicant is proposing an industrial office/warehouse project with an approximate 81,100 square foot building. The property is zoned O-P, Office Park District. Warehouse use requires a conditional use permit within the O-P, Office Park District.

The preliminary plat plans have been reviewed by Community Development, Engineering, Environmental Resources, Forestry, and Parks and Recreation Department.

EXHIBITS:

- A. Aerial Photo Location Map
- B. Zoning Map
- C. Preliminary Pat
- D. Existing Conditions
- E. Site Plan
- F. Grading and Drainage Plan

- G. Erosion Control Plan
- H. Tree Preservation Plan
- I. Landscape Plan
- J. Exterior Elevation Plans
- K. Dakota County Plat Commission letter dated April 9, 2026

PLANNING ANALYSIS

PRELIMINARY PLAT

Existing Conditions. The property is undeveloped land that historically has been used for agricultural crop production.

Surrounding Land Uses. The site is surrounded by the following existing or planned land uses:

Direction	Existing Use	Land Use Plan	Zoning
North	Juniper Way (CSAH 70) and Vacant Property	Office Park	OP, Office Park District
South	Agricultural Property, future industrial development	Office Park	OP, Office Park District
West	Commercial Property and City Owned Property	Commercial and Restricted Development	C-3, General Commercial and P/OS, Public Open Space District
East	Juniper Way (CSAH 70)	ROW	ROW

Lots/Blocks. The preliminary plat proposed consists of one lot on one block. The lot is triangular in shape, 10.08 acres in area with over 1,300 ft of lot width exceeding the minimum lot area (30,000 square feet) and lot width (100 feet) requirements of the OP District.

Streets. Juniper Way (CSAH 70) abuts the proposed preliminary plat to the north. Juniper Way is a four-lane divided roadway withing a 150-foot wide (75-foot north and south half) right-of-way. Access to and from the property will be from a right-in/right-out access point onto CSAH 70 and from Kenrick Court.

The Dakota County Plat Commission recommended approval of the preliminary plat at the April 8, 2026 meeting subject to the requirements in the approval letter dated April 9, 2026.

Tree Preservation. As an industrial type zoning, the tree removal threshold is 70%. The Tree Preservation Plan identifies 3,453 inches of significant trees located within the project boundary. The plans propose to remove 2,165 diameter inches, which is below the threshold. The tree preservation ordinance requires heritage trees to be replaced at 100% of the diameter inches

removed, minus any credits for heritage trees saved, up to 50%. Plans show the removal of 193 inches of heritage trees with credits for heritage tree preservation reducing the replacement requirement to 97 inches. The tree preservation plan shall be updated to comply with the heritage tree replacement requirement.

All trees identified for preservation shall be protected with appropriate tree protection fencing and measures installed prior to, and maintained throughout, construction. Any preserved trees that are damaged or removed during construction will require replacement in accordance with the Tree Preservation Ordinance.

Wetlands. No wetlands are identified on the property.

Grading, Drainage, Erosion Control, Utilities. Grading, drainage, erosion control, and utility plans have been submitted with the preliminary plat and are discussed in more detail in the April 8, 2026 engineering report. A copy of the report is attached for your review. The Engineering Division recommends approval of the Globus Business Park preliminary plat and development plans subject to the comments outlined in the engineering report.

Park Dedication, Trails and Sidewalks. The City’s Comprehensive Parks, Trails, and Open Space Plan does not identify any future park land needs in the area of the plat. Park dedication shall be satisfied with a cash fee in effect at the time of final plat approval.

Development of the site includes the grading and restoration of public trails. A bituminous trail will be constructed along the south side of Juniper Way (10-feet wide) with a future city and county capital improvement project. The Developer shall be responsible for 100% of the grading and restoration for the trail segment along the plat’s frontage.

CUP/SITE PLAN ANALYSIS

Development of a warehouse in the O-P District requires a conditional use permit per Section 11-75-7.H of the Zoning Ordinance.

The site development and construction plans propose one building, approximately 81,100 square feet, to include both office and warehouse type uses. The proposed site plan estimates 10% office/90% warehouse occupancy, consistent with similar industrial office/warehouse buildings.

Building Setbacks. The O-P, Office-Park District requires the following setback requirements:

	Front Yard (CSAH 70)	W. Side Yard	E. Side Yard	Rear Yard (Kenrick Ct)
Minimum	50 feet	10 feet	10 feet	30 feet
Proposed	74 feet	200+ feet	50+ feet	120+ feet

Building Height/Exterior Materials. The proposed building will be one-story and 33 feet in height, in compliance with O-P District requirements. The building will be constructed with approximately 99% Grade A materials, consisting of smooth texture pre-cast concrete panels painted in three different colors. The loading docks will be located on the south and west side of the building. The exterior building materials and design comply with Zoning Ordinance requirements for the OP District. The proposed building is compatible with the area in which it is proposed and consistent in design to other warehouse/office buildings in the OR District, as allowed by the Zoning Ordinance.

Access/Parking/Drive Aisles: The property will have two egress points, one at the terminus of Kenrick Couth and the other is a right-in/right-out onto CSAH 70/ Juniper Way. The egress points have been approved by Engineering and the Dakota County Plat Commission. The parking lot meets or exceeds the minimum setbacks from a property line. As proposed, the applicant would need an administrative permit and a deferred parking agreement to have a reduction in the number of required parking stalls. The site plan demonstrates an area of 12 proof of parking stalls to accommodate the expansion of parking facilities to meet the minimum requirements if the parking demand exceeds the site supply.

Building Sq. Ft.	81,107 square feet
Minus 10% of floor area allowed by code..	72,996 sq ft
Office Sq. Ft est. $8,111 - 10\% =$	7,300 sf
3 spaces per 1,000 sq ft=	22 stalls
Warehouse Sq. Ft. est. $72,996 - 10\% =$	65,696 sq ft
1 space per 1,000 sq ft =	66 stalls
Required.....	88 stalls
Provided.....	78 stalls
Proof of Parking.....	12 stalls

Circulation. All drive aisles and parking stalls shall comply with the required aisle width and parking stall dimensions for two-way 90-degree vehicle parking. The site has been designed to allow semi-truck and trailer and emergency vehicle circulation throughout the site. Employee and visitor vehicles will park on the east and north side of the building with semi-truck traffic and trailer storage and parking on the south and west sides of the property.

Outdoor Storage. Outside storage is limited to a maximum of 20% of the gross lot area. The storage area shall be located in the rear yard and setback at least 30 feet from all property lines. The storage area shall be screened and landscaped from adjacent properties. Outside storage is depicted on the site plan in the rear yard, approximately 1 acre in area. This is approximately 10% of the lot area, in compliance with code requirements. The semi-trailer parking on the west

side of the building will be limited to semi-trailers as part of the function of the building occupancy that includes receiving, transferring, shipping of goods and materials, not a storage area.

Landscaping/Screening. The OP District requires a minimum of 30% landscaped area on the property. The subject property is 10.08 acres in area. The site layout as designed proposes 3.04 acres of greenspace (30.2 %) complying with the minimum requirements.

The landscape plan proposes 33 shade and evergreen trees and a variety of shrubs. Title 11-21-9.B requires industrial and commercial properties to include perimeter plantings, including along the right-of-way of the proposed preliminary plat. Additionally, Title 11-75-13 requires the outdoor storage area to be screened and landscaped from adjacent properties.

The landscape plan shall be revised to include additional landscaping to comply with code requirements.

All the landscaped areas within and adjacent to the parking lot, including landscaped islands, shall be irrigated in compliance with the Zoning Ordinance. A financial security will be required with the final plat to guarantee installation of the approved landscaping. The security amount will be determined by the developer's landscaping contractor prior to City Council consideration of the final plat.

Signage. The Zoning Ordinance for the OP District allows one freestanding sign to a maximum area of 100 square feet and 10 feet in height. The sign shall be located at least 15 feet from the property line abutting right-of-way and five feet from a side property line. All wall signs shall comply with Chapter 11-23 of the City Code. A sign permit shall be issued by the Community Development Department prior to the installation of any signs.

Site Lighting. The submitted lighting plan shows that the proposed lighting on site meets the Zoning Ordinance requirement of light levels not exceeding one foot candle at the property line along right-of-way. The light pole height may not exceed 35 feet, and the fixture style shall be downcast to meet the ordinance requirements. Wall mounted lights shall be downcast fixtures only. The light fixtures shall meet Zoning Ordinance requirements and shall be reviewed by staff prior to issuance of an electrical permit.

Recycling and Trash Containers. If trash is kept outdoors in an enclosure, the structure must meet the requirements of Section 11-18-11, including exterior materials, location, and screening. All outdoor trash enclosures must be screened with a structure that is a minimum of six feet in height or one foot taller than the containers and must be constructed of materials that match the architecture of the principal building.

Mechanical Equipment. All rooftop and ground mounted mechanical equipment shall comply with Section 11-21-13 of city code. Screening materials must be aesthetically harmonious and compatible with the building.

Snow Storage. Snow storage may not take place in required parking spaces. Snow removal is shown to be stored near the southeast side of the building, out of the required parking areas.

RECOMMENDATION

Planning Department staff have determined that Globus Business Park preliminary plat, preliminary site development plans, and conditional use permit comply with Subdivision and Zoning Ordinance requirements for the O-P district. Staff recommend approval of the preliminary plat and conditional use permit subject to the following stipulations:

1. The final plat shall be in substantial conformance with the preliminary plans on file with the Community Development Department except as may be modified by the conditions herein.
2. A development contract and related agreements shall be approved by the City Council with the approval of the final plat.
3. Implementation of the recommendations listed in the engineering report dated April 8, 2026, and any subsequent correspondence.
4. The site and building shall be developed in accordance with the plans approved by the City Council.
5. The landscape and tree preservation plans shall be revised to comply with code requirements. A landscaping financial security shall be submitted with the final plat.
6. Snow storage shall not take place in required parking spaces. If there is not adequate space to store snow on site, snow must be removed from the site.

Approval of a conditional use permit requires adoption of findings of fact by the Planning Commission and City Council. Draft findings of fact are attached to this report.



Memorandum

To: Heather Botten, Senior Planner

From: Jonathan Nelson, Assistant City Engineer
McKenzie L. Cafferty, Environmental Resources Manager
Joe Masiarchin, Parks and Recreation Director

Copy: Zach Johnson, City Engineer
Julie Stahl, Finance Director
Dave Mathews, Building Official

Date: April 8, 2026

Subject: Globus Business Park

- Preliminary Plat Review
- Preliminary Erosion and Sediment Control Plan Review
- Preliminary Grading and Drainage Plan
- Preliminary Utility Plan Review
- Preliminary Tree Preservation Plan Review

BACKGROUND

Globus Transport, Inc. has submitted a preliminary plat named Globus Business Park. The proposed subdivision is located south of and adjacent to Juniper Way (CSAH 70) and east of Kenrick Court. The parent parcels consist of two meets and bounds parcels (PID Nos. 220360003012 and 220360004010) zoned OP, Office Park.

The preliminary plat consists of one (1) lot within one (1) block on 10.08 acres.

The proposed development will be completed by:

Developer:	Globus Transport, Inc.
Engineer/Surveyor:	Hill Incorporated

SITE CONDITIONS

The subject property is currently undeveloped agricultural land and consists of rolling topography with existing tree cover and drainage patterns generally flowing west to east. The site is bounded by Juniper Way to the north and Kenrick Court to the west. Existing public infrastructure is available adjacent to the site, including watermain, sanitary sewer, and storm sewer facilities. There is an existing assessment on the property that will be required to be paid with the final plat.

EASEMENTS

There are no public easements with the city that are required to be vacated with the preliminary plat. Perimeter drainage and utility easements shall be provided with the preliminary and final plat in accordance with city ordinance requirements.

SPECIAL ASSESSMENTS

Assessment number 221406 shall be due and payable with the final plat.

STREET AND SUBDIVISION LAYOUT

Juniper Way (CSAH 70)

The development is located west of and adjacent to Juniper Way, a future minor arterial County highway, as identified in the City's Transportation Plan. Juniper Way adjacent to the site is a four-lane divided rural roadway. The current Dakota County Plat Review Needs Map indicates a half right-of-way requirement of 75-feet adjacent to the plat. The preliminary plat was reviewed and recommended for approval by the Dakota County Plat Commission at its April 8, 2026 meeting. One driveway access is proposed to Juniper Way that will be restricted as a right-in/right-out.

Kenrick Court

The development includes the extension of Kenrick Court, a local industrial street to terminate in a cul-de-sac. The Developer shall dedicate the necessary right-of-way to include the entirety of the proposed cul-de-sac in compliance with City ordinance requirements.

CONSTRUCTION ACCESS

Construction traffic access and egress for grading, utility, and street construction shall be through Kenrick Court. Access from Juniper Way must be permitted by Dakota County.

PARKS, TRAILS AND SIDEWALKS

Development includes the grading and restoration of public trails. Bituminous trails will be constructed along the south side of Juniper Way (10-foot wide) with a future city and county capital improvement project. The Developer will be responsible for 100% of the grading and restoration for the trail segment along the plats frontage.

The park dedication requirement for the parent parcels has not been collected and shall be satisfied through a cash contribution that shall be paid with the final plat.

UTILITIES

SANITARY SEWER

The development is located within subdistrict SC-10510 of the South Creek sanitary sewer district as identified in the City's Comprehensive Sewer Plan.

Development includes the extension of privately owned and maintained sanitary sewer service. The wastewater from the development will be conveyed via existing trunk sanitary sewer to the MCES Elko/New Market Interceptor monitored by meter M649 and continue to the Empire Wastewater Treatment Facility. Sanitary sewer to serve the lot will be extended from an existing 8-inch stub at the north boundary of the plat.

The Sanitary Sewer Availability Charge has not been collected on the parent parcel and shall be paid with the building permit.

WATERMAIN

Development includes the extension of privately owned and maintained watermain service within the subdivision. Watermain to serve the lot will be extended from a proposed 8-inch watermain stub at the north boundary of the plat.

OVERHEAD LINES

There are no existing overhead lines identified on the site.

DRAINAGE AND GRADING

The development is located within subdistrict SC-005 of the South Creek stormwater district as identified in the City's Water Resources Management Plan.

Development includes the construction of one (1) privately owned and maintained stormwater management basin consisting of a pretreatment forebay and infiltration basin to collect and treat the stormwater runoff generated from the site. The basin will outlet to the existing swale on the south end of Juniper Way. A stormwater maintenance agreement (SMA) will be required with the final plat.

The final grading plan shall identify all fill lots in which the building footings will be placed on fill material. The grading specifications shall also indicate that all embankments meet FHA/HUD 79G specifications. The Developer shall certify to the City that all lots with footings placed on fill material are appropriately constructed. Building permits will not be issued until a soils report and an as-built certified grading plan have been submitted and approved by City staff.

The development contains more than one acre of site disturbance. A National Pollution Discharge Elimination System General Stormwater Permit for construction activity is required from the Minnesota Pollution Control Agency for areas exceeding one acre being disturbed by grading. A copy of the Notice of Stormwater Permit Coverage must be submitted to the City upon receipt from the MPCA.

STORM SEWER

Development includes the construction of privately owned and maintained storm sewer systems. Storm sewer will be installed within the subdivision to collect and convey stormwater runoff generated from within the lot to the proposed privately owned and maintained stormwater management basin located in the development. Runoff is conveyed to the existing channel on the south side of Juniper Way.

Drain tile construction is required in areas of non-granular soils within the development for the street sub-cuts and lots. Any additional drain tile construction, including perimeter drain tile required for building footings, which is deemed necessary during construction shall be the Developer's responsibility to install and finance.

The Storm Sewer Charge has not been collected on the parent parcels and shall be paid with the final plat.

Final locations and sizes of all storm sewer facilities will be reviewed by City staff with the final construction plans.

FEMA FLOODPLAIN ANALYSIS

The development is shown on the Flood Insurance Rate Map (FIRM #27037C0193E effective 12/2/2011) as Zone X by the Federal Emergency Management Agency (FEMA). Based on this designation, there are no areas in the plat located within a Special Flood Hazard Area (SFHA), as determined by FEMA.

WETLANDS

A wetland delineation was reviewed and approved 2/24/2026. No wetlands were identified on the site.

TREE PRESERVATION

The Tree Preservation Plan submitted with the Globus Business Park preliminary plat identifies 3,453 inches of significant trees located within the project boundaries. As a Mixed Use, Commercial, Industrial, or Special District, the tree removal threshold is 70%, or 2,417 inches of allowable tree removal. Plans propose to remove 2,165 diameter inches which is below the threshold. Heritage trees require the replacement of 100% of the diameter inches removed, minus any credits for heritage trees saved up to 50%. Plans show the removal of 193 inches of heritage trees with credits for heritage tree preservation reducing the replacement requirement to 97 inches. Replacement trees will need to be shown on the

landscape plan and the number of replacement inches met. Currently, tree planting as shown on the preliminary landscape plan dated 3/6/2026 does not meet the replacement requirement.

All trees identified for preservation shall be protected with appropriate tree protection fencing and measures installed prior to, and maintained throughout, construction. Any trees to be preserved that are damaged or removed during construction will require replacement in accordance with the Tree Preservation Ordinance.

EROSION CONTROL

The Developer is responsible for obtaining an MPCA Construction Permit for the site prior to construction. The SWPPP was reviewed by the city prior to grading. Changes made throughout construction should be documented in the SWPPP.

Additional erosion control measures may be required during construction as deemed necessary by City staff. Any additional measures require shall be installed and maintained by the Developer.

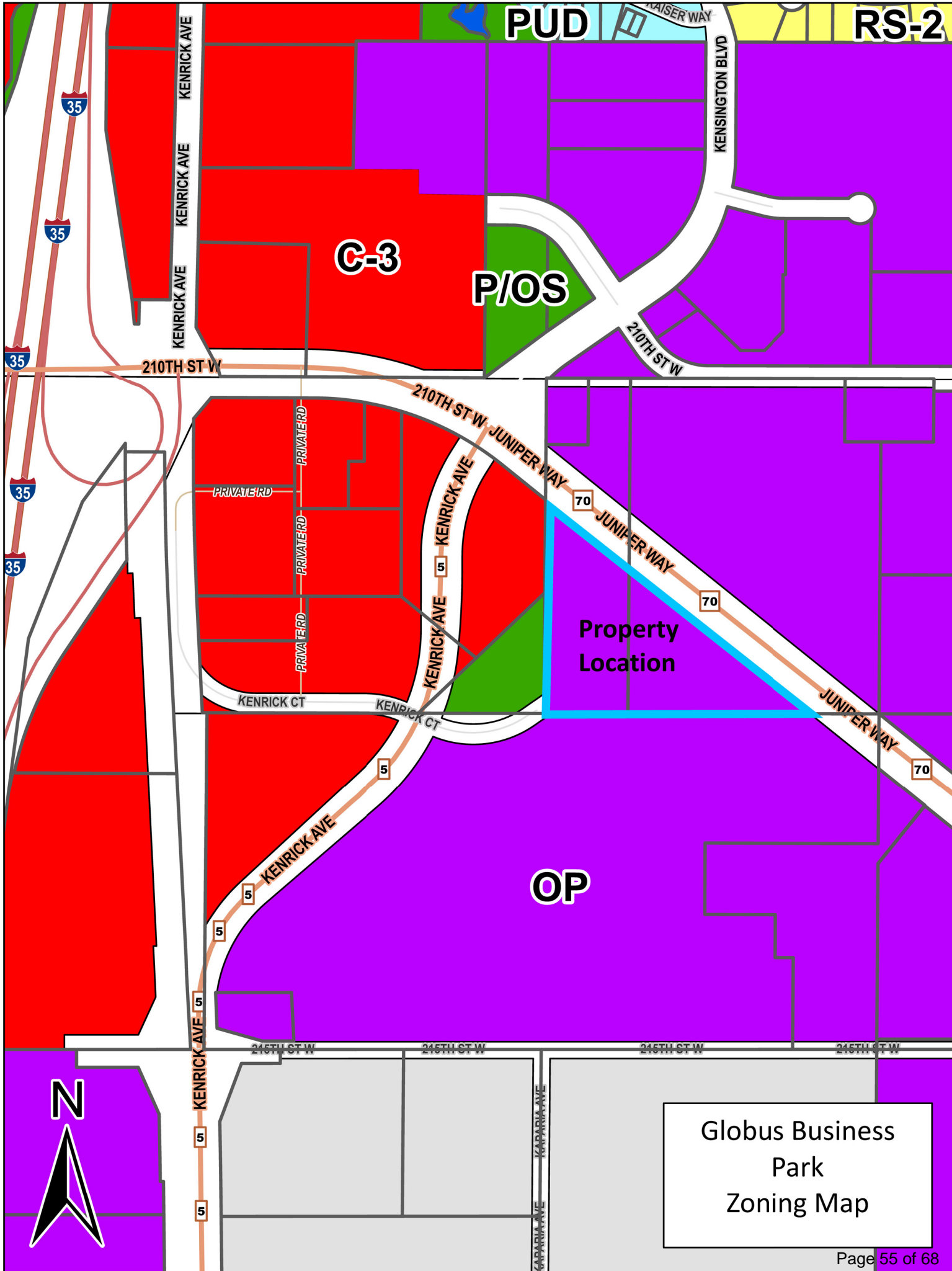
RECOMMENDATION

Engineering recommends approval of the Globus Business Park preliminary plat, grading and erosion control plan, utility plan and tree preservation plan, subject to the requirements and stipulations within this report.



Property
Location

Globus Business
Park
Location Map



PUD

RS-2

C-3

P/OS

OP

Property Location

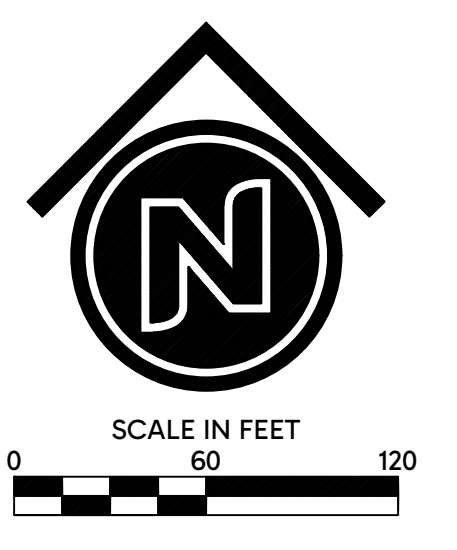
Globus Business
Park
Zoning Map

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LEGEND

- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING CURB & GUTTER
- EXISTING CONTOUR
- EXISTING SIGN
- EXISTING TREELINE/TREES
- EXISTING SOIL BORING LOCATION
- EXISTING ASPHALT
- EXISTING CONCRETE



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 BURNSVILLE, MN 55306
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 bbusselman@mmhill.com
 www.mmhill.com



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Minnesota.
BRADY BLISS
 Professional Engineer
 Date: 1/16/2026 Reg. No. 44574

GLOBUS BUSINESS PARK
 LAKEVILLE, MINNESOTA
EXISTING CONDITIONS
 FOR
GLOBUS TRANSPORT INC.
 22000 HUMBOLDT ROAD, SUITE 200 LAKEVILLE, MN 55044

DRAWN BY
 JSO

DATE
 01/16/2026

REVISIONS

2026-02-13	CITY COMMENTS
2026-02-24	CITY COMMENTS
2026-03-02	CITY COMMENTS
2026-03-04	TREE INVENTORY
2026-03-24	CITY COMMENTS

CAD FILE
 24360EXC

PROJECT NO.
 24360

C102

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LEGEND

- EXISTING CURB & GUTTER
- EXISTING ASPHALT
- EXISTING CONCRETE
- PROPOSED CURB & GUTTER
- PROPOSED LIGHT POLE
- PROPOSED ASPHALT SURFACE
- PROPOSED CONCRETE
- PROPOSED INFILTRATION BASIN
- PROPOSED SEDIMENT BASIN
- NUMBER OF PARKING SPACES PER ROW
- PARKING SETBACK LINE
- BUILDING SETBACK LINE
- OUTDOOR STORAGE AREA

KEY NOTES

- A** EXISTING SITE ACCESS
- B** 10' WIDE CONCRETE PAD FOR SEMI-TRAILERS
- C** CONNECT TO EXISTING STREET
- D** CONCRETE DRIVEWAY APRON
- E** OUTDOOR STORAGE AREA
- F** PROOF OF PARKING AREAS
- G** RETRAINING WALL
- H** B612 CONCRETE CURB AND GUTTER
- I** B618 CONCRETE CURB AND GUTTER
- J** CONCRETE PEDESTRIAN RAMP
- K** 8' WIDE BITUMINOUS TRAIL
- L** LIGHT POLE

DEVELOPMENT SUMMARY

GROSS PROPERTY AREA	13.74 ACRES / 598,583 SF
PROJECT AREA	10.08 ACRES / 439,044 SF
EXISTING ZONING	OP, OFFICE PARK
PROPOSED ZONING	OP, OFFICE PARK
BUILDING	
GROSS FLOOR AREA	81,107 SF
WAREHOUSE FLOOR AREA	72,996 SF
OFFICE FLOOR AREA	8,111 SF
CODE MAXIMUM HEIGHT	SIX STORIES OR 65 FEET
PARKING	
WAREHOUSE:	1 SPACE PER 1,000 SF
OFFICES:	3 SPACE PER 1,000 SF
PROPOSED PARKING REQUIRED	
WAREHOUSE (FLOOR AREA MINUS 10%)	65,696 SF AT 1 PER 1,000 = 66 STALLS
OFFICE (FLOOR AREA MINUS 10%)	7,300 SF AT 3 PER 1,000 = 22 STALLS
TOTAL REQUIRED	88 STALLS
PARKING STALLS PROVIDED	
PROPOSED STALLS	78 STALLS
PROOF OF PARKING	12 STALLS
TOTAL AVAILABLE PARKING	90 STALLS
GREEN SPACE	
GREEN SPACE REQUIRED (30%)	3.02 ACRES / 131,713 SF
GREEN SPACE PROPOSED (30.2%)	3.04 ACRES / 132,422 SF
OUTDOOR STORAGE	
MAXIMUM ALLOWED (20%)	2.02 ACRES / 87,809 SF
PROPOSED AS SHOWN ON PLAN* (10.7%)	1.08 ACRES / 46,845 SF
TRUCK SPACES PROVIDED	61 SPACES
*ACTUAL OUTDOOR STORAGE WILL VARY BUT SHALL NOT EXCEED 20%	
SETBACKS	
BUILDING SETBACK (RIGHT-OF-WAY)	50 FEET
BUILDING SETBACK (SIDE/REAR)	10 FEET
PARKING SETBACK (RIGHT-OF-WAY)	20 FEET
PARKING SETBACK (SIDE/REAR)	5 FEET

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HILL
 INCORPORATED

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Minnesota.

APRIL MUMFORD
 BRADY BLISS
 Date: 1/16/2026 Reg. No. 48574

GLOBUS BUSINESS PARK
 LAKEVILLE, MINNESOTA

SITE PLAN

FOR
GLOBUS TRANSPORT INC.
 22000 HUMBOLDT ROAD, SUITE 200 LAKEVILLE, MN 55044

DRAWN BY
JSO

DATE
01/16/2026

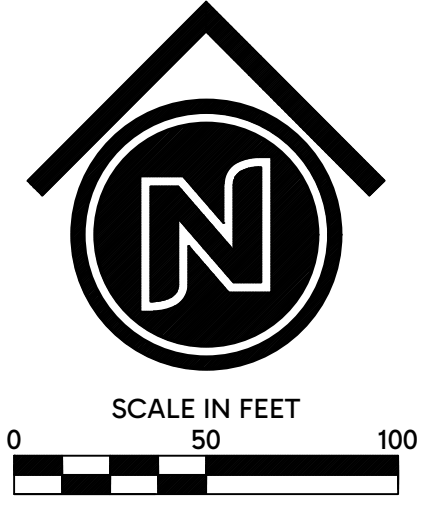
REVISIONS

2026-02-13	CITY COMMENTS
2026-02-24	CITY COMMENTS
2026-03-02	CITY COMMENTS
2026-03-04	TREE INVENTORY
2026-03-24	CITY COMMENTS

CAD FILE
24360SITE

PROJECT NO.
24360

C600



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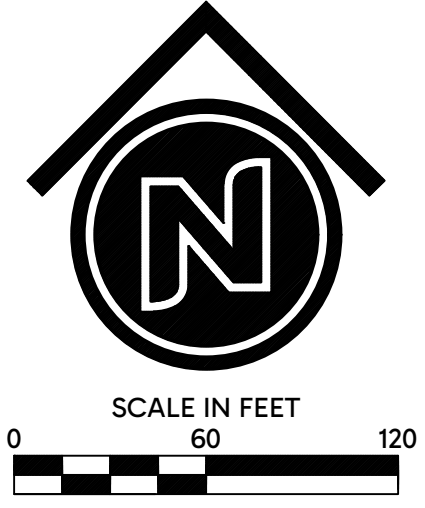


LEGEND

- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING CURB & GUTTER
- EXISTING CONTOUR
- EXISTING SIGN
- EXISTING TREELINE/TREES
- EXISTING SOIL BORING LOCATION
- EXISTING ASPHALT
- EXISTING CONCRETE
- PROPOSED WATERMAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED DRAINTILE
- PROPOSED CURB & GUTTER
- PROPOSED RETAINING WALL
- PROPOSED CONTOUR
- PROPOSED GRADING LIMITS
- PROPOSED LIGHT POLE
- PROPOSED EMERGENCY OVERFLOW
- PROPOSED ASPHALT SURFACE
- PROPOSED CONCRETE
- PROPOSED INFILTRATION BASIN
- PROPOSED SEDIMENT BASIN
- PROPOSED DIRECTION OF DRAINAGE
- SPOT ELEVATION

ACRONYMS

- BE = BITUMINOUS EDGE
- BW = BOTTOM OF WALL
- CB = CATCH BASIN
- EX = EXISTING
- HP = HIGH POINT
- LP = LOW POINT
- TC = TOP OF CURB
- TW = TOP OF WALL



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APRIL MARY
Professional Engineer
Date: 1/16/2026 Reg. No. 44574

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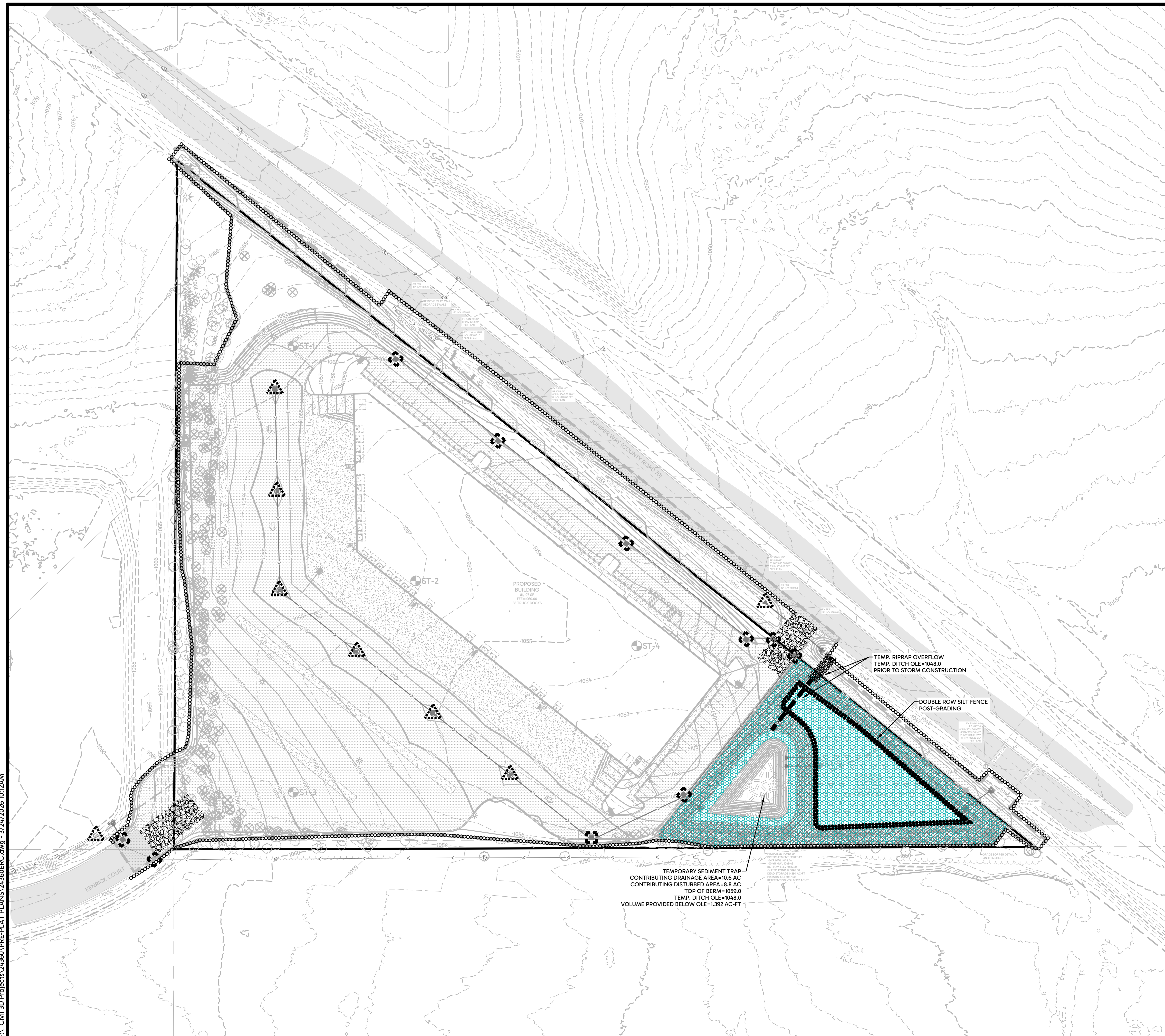
GLOBUS BUSINESS PARK
LAKEVILLE, MINNESOTA

GRADING & DRAINAGE PLAN

FOR
GLOBUS TRANSPORT INC.
22000 HUMBOLDT ROAD, SUITE 200 LAKEVILLE, MN 55044

DRAWN BY	JSO
DATE	01/16/2026
REVISIONS	
2026-02-13	CITY COMMENTS
2026-02-24	CITY COMMENTS
2026-03-02	CITY COMMENTS
2026-03-04	TREE INVENTORY
2026-03-24	CITY COMMENTS
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PROJECT NO.	24360
	C400

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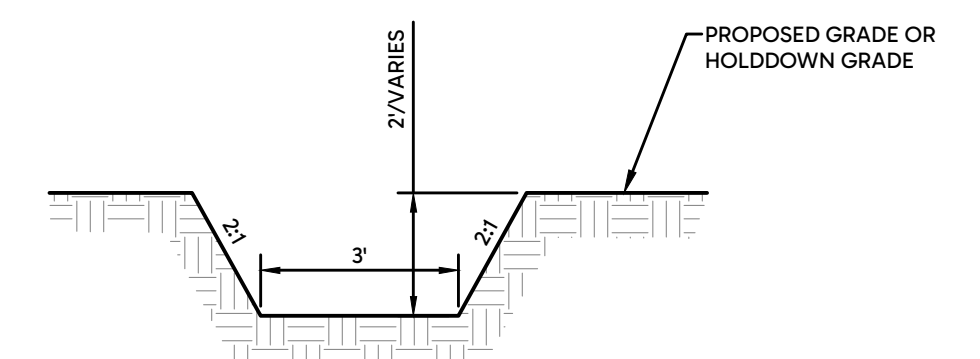
TEMPORARY SEDIMENT TRAP
 CONTRIBUTING DRAINAGE AREA=10.6 AC
 CONTRIBUTING DISTURBED AREA=8.8 AC
 TOP OF BERM=1059.0
 TEMP. DITCH OLE=1048.0
 VOLUME PROVIDED BELOW OLE=1.392 AC-FT

LEGEND

- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING CURB & GUTTER
- EXISTING CONTOUR
- EXISTING SIGN
- EXISTING TREELINE/TREES
- EXISTING SOIL BORING LOCATION
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- PROPOSED RETAINING WALL
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- PROPOSED EMERGENCY OVERFLOW
- PROPOSED ASPHALT SURFACE
- PROPOSED CONCRETE
- PROPOSED INFILTRATION BASIN
- PROPOSED SEDIMENT BASIN
- PROPOSED SILT FENCE
- PROPOSED SILT FENCE POST CONSTRUCTION
- PROPOSED WIMCO OR EQUAL POST STORM SEWER CONSTRUCTION
- PROPOSED YARD CB INLET PROTECTION POST STORM SEWER CONSTRUCTION
- PROPOSED TEMPORARY ROCK CONSTRUCTION ENTRANCE
- PROPOSED EROSION CONTROL BLANKET
- PROPOSED MNBWSR SEED MIX 33-261

NOTES

1. RESPREAD A MIN. 6" TOPSOIL ON ALL AREAS HAVING FINAL STABILIZATION OF SEED & MULCH, TURF AND LANDSCAPING.
2. RESTORE DISTURBED AREAS "MESIC INSLOPE" GENERAL SEED MIX, SOD OR EQUAL, UNLESS OTHERWISE NOTED.
3. INFILTRATION BASIN NOTES:
 - 3.a. AVOID EXCAVATING THE INFILTRATION BASIN WITHIN 3 FEET OF FINAL GRADE BEFORE STABILIZING THE DRAINAGE AREA.
 - 3.b. AVOID CONSTRUCTION TRAFFIC OVER INFILTRATION AREAS TO MINIMIZE COMPACTION.
 - 3.c. AFTER DRAINAGE AREA STABILIZATION, THE BASIN BOTTOM SHALL HAVE 3" TOPSOIL TILLED INTO THE TOP 12" OF THE NATIVE SOILS.
4. IF SEDIMENT TRACKING OCCURS, INSTALL INLET PROTECTION IN NEARBY CATCH BASINS ALONG THE HAUL ROUTE.
5. INSTALL EROSION CONTROL BLANKET ON 3:1 SLOPES UPGRADIENT OF THE PONDING AREA.



TEMPORARY DIVERSION DITCH
 TYPICAL SECTION
 NOT TO SCALE



SCALE IN FEET
 0 60 120

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 www.mmhill.com

HILL INCORPORATED

PROFESSIONAL ENGINEER

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer of the State of Minnesota.

BRADY BLANKENHORN
 PE License No. 45274
 Date: 1/16/2026

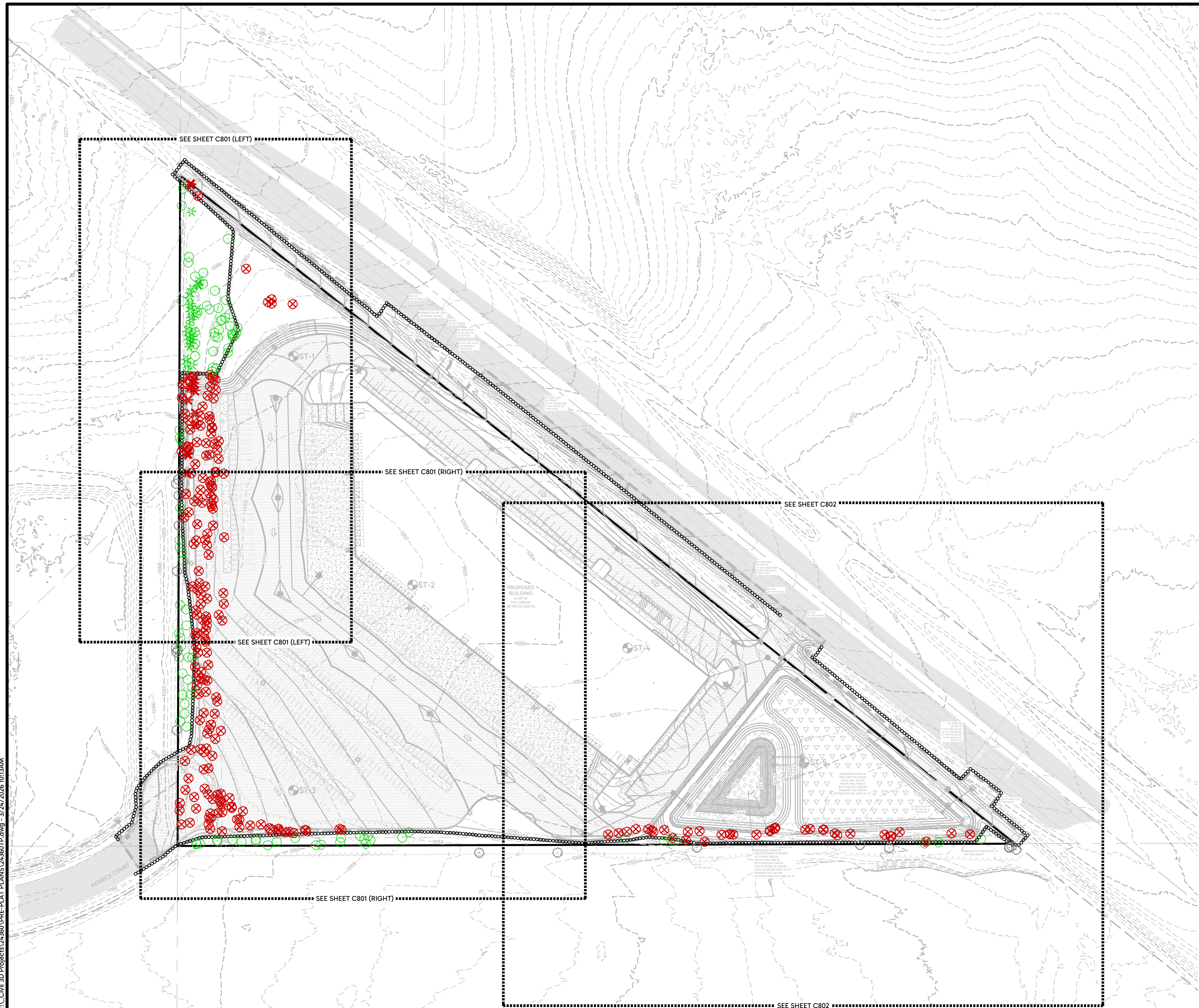
GLOBUS BUSINESS PARK
 LAKEVILLE, MINNESOTA

EROSION & SEDIMENT CONTROL PLAN
 FOR
PHASE 2

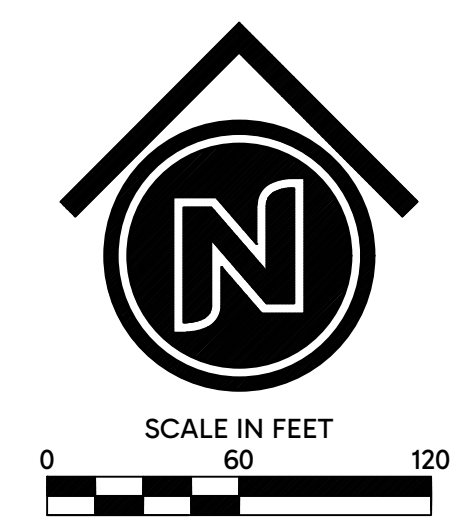
FOR
GLOBUS TRANSPORT INC.
 22000 HUMBOLDT ROAD, SUITE 200 LAKEVILLE, MN 55044

DRAWN BY	JSO
DATE	01/16/2026
REVISIONS	
2026-02-13	CITY COMMENTS
2026-02-24	CITY COMMENTS
2026-03-02	CITY COMMENTS
2026-03-04	TREE INVENTORY
2026-03-24	CITY COMMENTS
CAD FILE	24360ERC
PROJECT NO.	24360
C301	

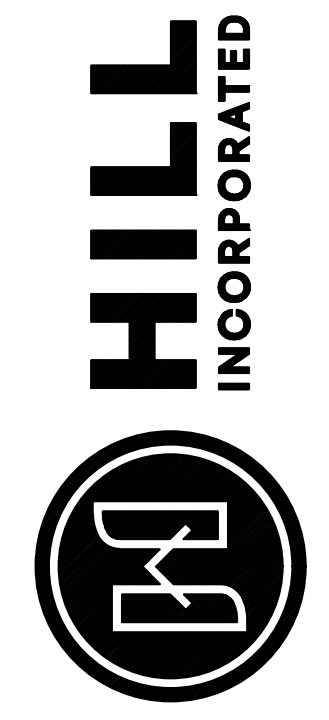
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- LEGEND**
- EXISTING TREE
 - REMOVE TREE
 - EXISTING TREE (OFF-SITE)
 - GRADING/DISTURBANCE LIMITS
 - SILT FENCE/TREE PROTECTION



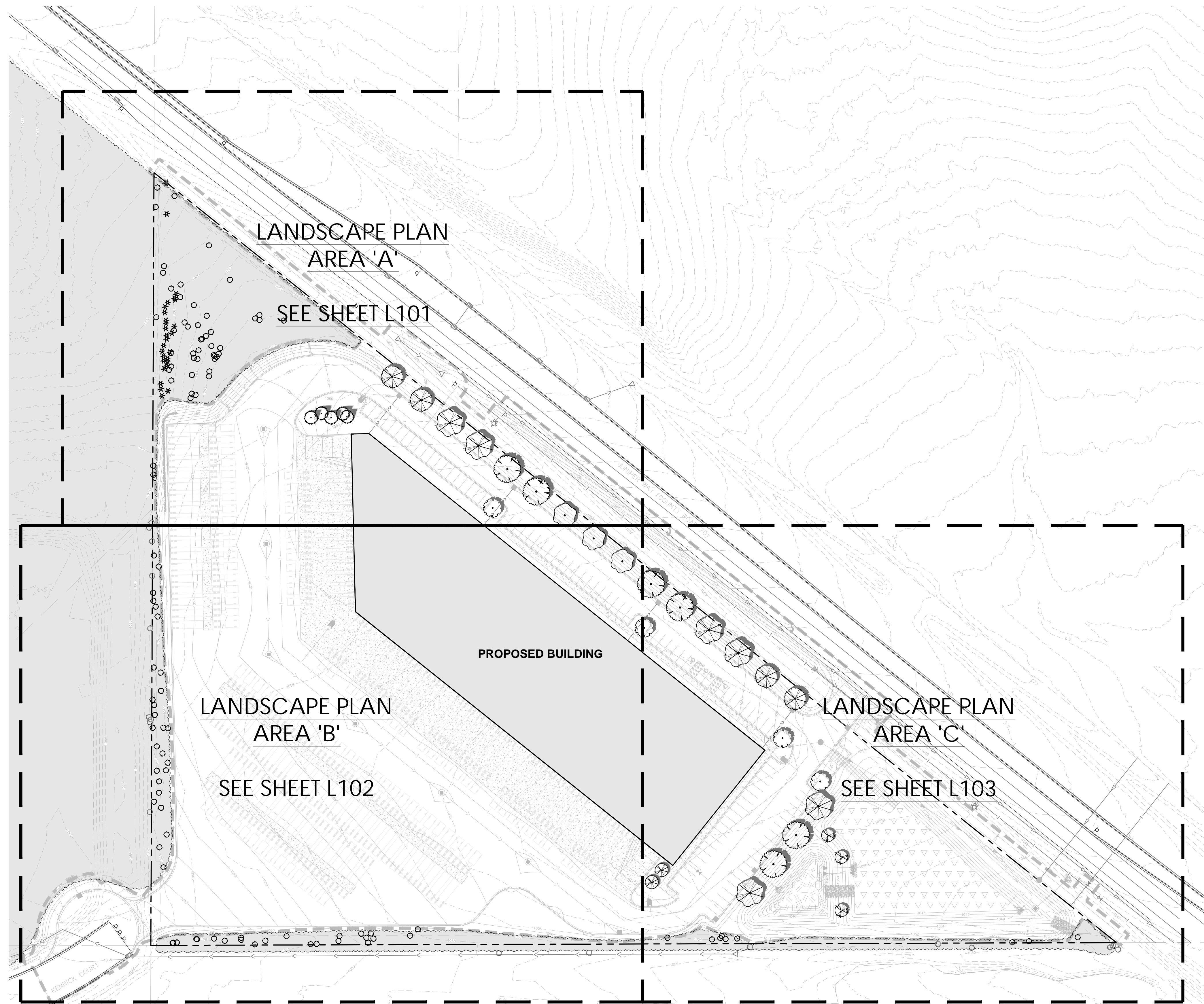
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BRADY BLUM
 Professional Engineer
 Reg. No. 48257
 Date: 1/16/2026

GLOBUS BUSINESS PARK
 LAKEVILLE, MINNESOTA
TREE PRESERVATION PLAN
 FOR
GLOBUS TRANSPORT INC.
 22000 HUMBOLDT ROAD, SUITE 200 LAKEVILLE, MN 55044

DRAWN BY	JSO
DATE	01/16/2026
REVISIONS	
2026-02-13 CITY COMMENTS	
2026-02-24 CITY COMMENTS	
2026-03-02 CITY COMMENTS	
2026-03-04 TREE INVENTORY	
2026-03-24 CITY COMMENTS	
CAD FILE	24360TP
PROJECT NO.	24360
	C800



LANDSCAPE OVERVIEW PLAN:

GENERAL NOTES:

1. See Civil Engineer's plans for site plan layout and dimensions.
2. Contractor to coordinate any work in the city right-of-way with City of Lakeville Public Works Department.
3. See Architect's plans for additional requirements regarding the site plan layout.
4. Place a minimum of 4" topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise.
5. See Civil Engineer's Plans for utility locations.
6. Irrigation plan to be design-build by landscape contractor.

CITY OF LAKEVILLE LANDSCAPE REQUIREMENTS:

11-21-9: REQUIRED SCREENING AND LANDSCAPING:
 B: Landscaping: Required landscaping for new residential subdivisions and commercial, industrial or institutional uses shall include plantings at the property perimeter, off street parking perimeter landscaping and interior landscape plantings as well as required residential buffer yard or transitional buffer zone plantings.

ZONING INFORMATION:
 I-2 - General Industrial District

PARKING LOT SCREENING:
 Parking lots with more than 5 spaces require screening. Landscape screening shall be set back 2' from the parking stalls. Deciduous trees shall be planted no more than 40' apart. Evergreen trees shall be planted so that branches are touching at narrowest mature canopy width. Large deciduous shrubs shall be planted so that branches are touching at narrowest projected mature width.

MINIMUM PLANTING SIZES:
 2.5" Shade Tree
 2" Ornamental Tree
 8' Coniferous Tree

IRRIGATION:
 e: Properties developed after May 17, 2010, with detached townhouse, two-family, townhouse or multiple-family dwelling units within the RST-2, RM or RH district and all commercial, industrial or institutional uses shall provide an exterior inground irrigation system within the property where necessary to ensure that all turf grass, ground cover of cultivated vegetation, garden, hedges, trees and shrubbery maintenance can be accomplished.

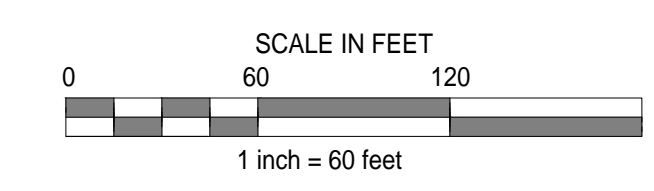
TREE DIVERSITY MATRIX:

BOTANICAL GENUS:	QUANTITY	% OF TOTAL	CLASSIFICATION
Acer sp.	4	12%	Deciduous Tree
Amelanchier sp.	3	9%	Ornamental Tree
Betula sp.	6	18%	Deciduous Tree
Celtis sp.	6	18%	Deciduous Tree
Gleditsia sp.	4	12%	Deciduous Tree
Quercus sp.	3	9%	Deciduous Tree
Picea sp.	5	15%	Coniferous Tree
Syringa sp.	2	6%	Ornamental Tree
TOTAL TREES:	33		

TREE PRESERVATION PLANS: REFER TO SHEETS C800 - C802
 PLANT SCHEDULE: REFER TO SHEET L200

TREES TO REMAIN IN THE WORK LIMITS NOTE:

All trees scheduled to remain within the work limits shall have a forester limb them up, remove suckers & crossing branches, and ensure clearances for vehicles and trucks. Clear and grub any underbrush.



LANDSCAPE ARCHITECTURAL CONSULTANT:
CALYX DESIGN GROUP
 Landscape Architecture | Planning
 475 Cleveland Ave. N, Suite 101A
 St. Paul, MN 55104
 Phone: (651) 788-9018
 www.calyxdesigngroup.com

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 bbusselmon@mhill.com
 www.mhill.com



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed landscape architect in the State of Minnesota.
 HANNAH W. LORBER, P.L.A.
 Date: 07/16/2026, Reg. No. #63157

GLOBUS BUSINESS PARK
 LAKEVILLE, MINNESOTA
 LANDSCAPE OVERVIEW PLAN
 FOR
 GLOBUS TRANSPORT INC
 22000 HUMBOLDT ROAD, SUITE 200 LAKEVILLE, MN 55044

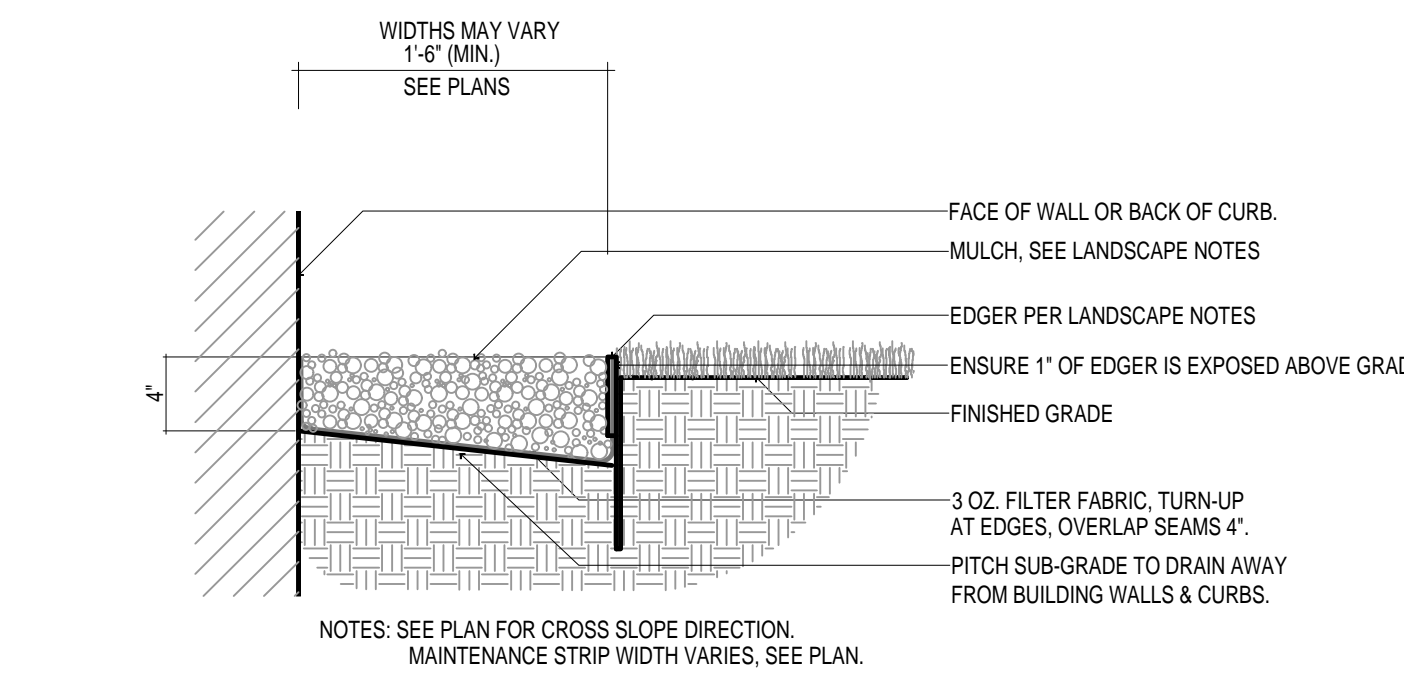
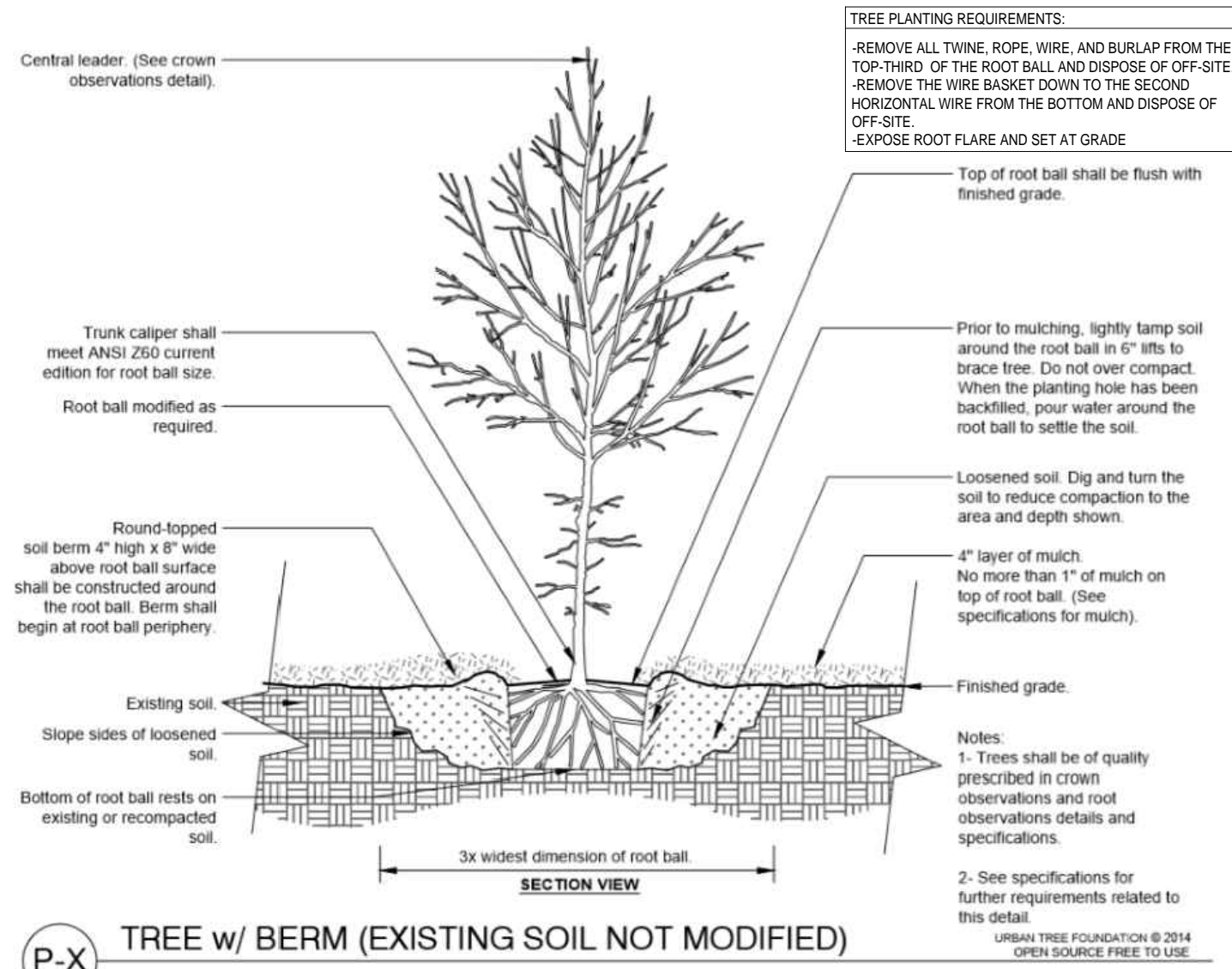
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 HL

DATE
 03/06/2026

REVISIONS

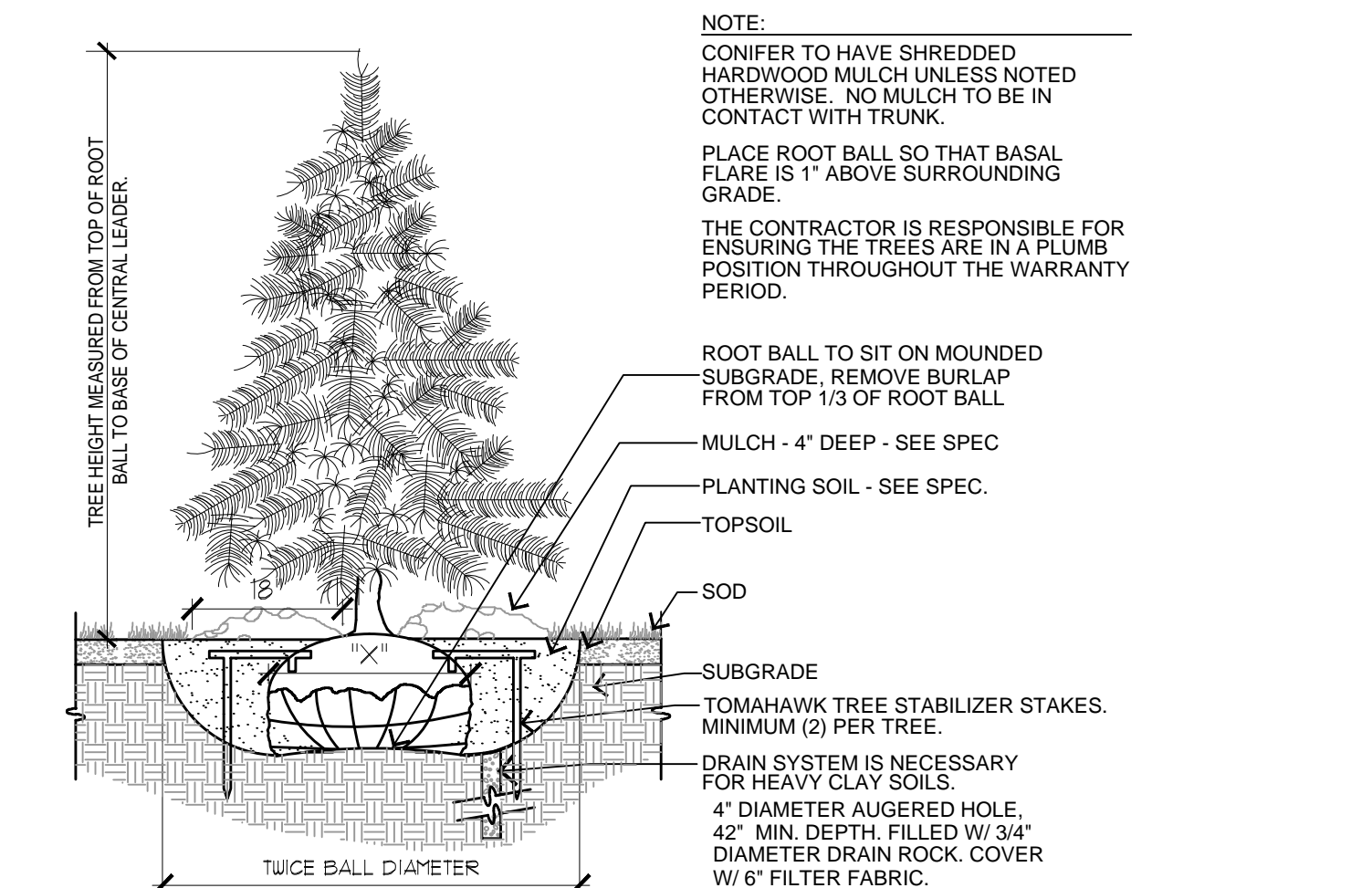
2026-01-16	CITY SUBMITTAL
2026-02-18	CITY RE-SUBMITTAL
2026-03-06	CITY RE-SUBMITTAL

CAD FILE
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 24360
 L100

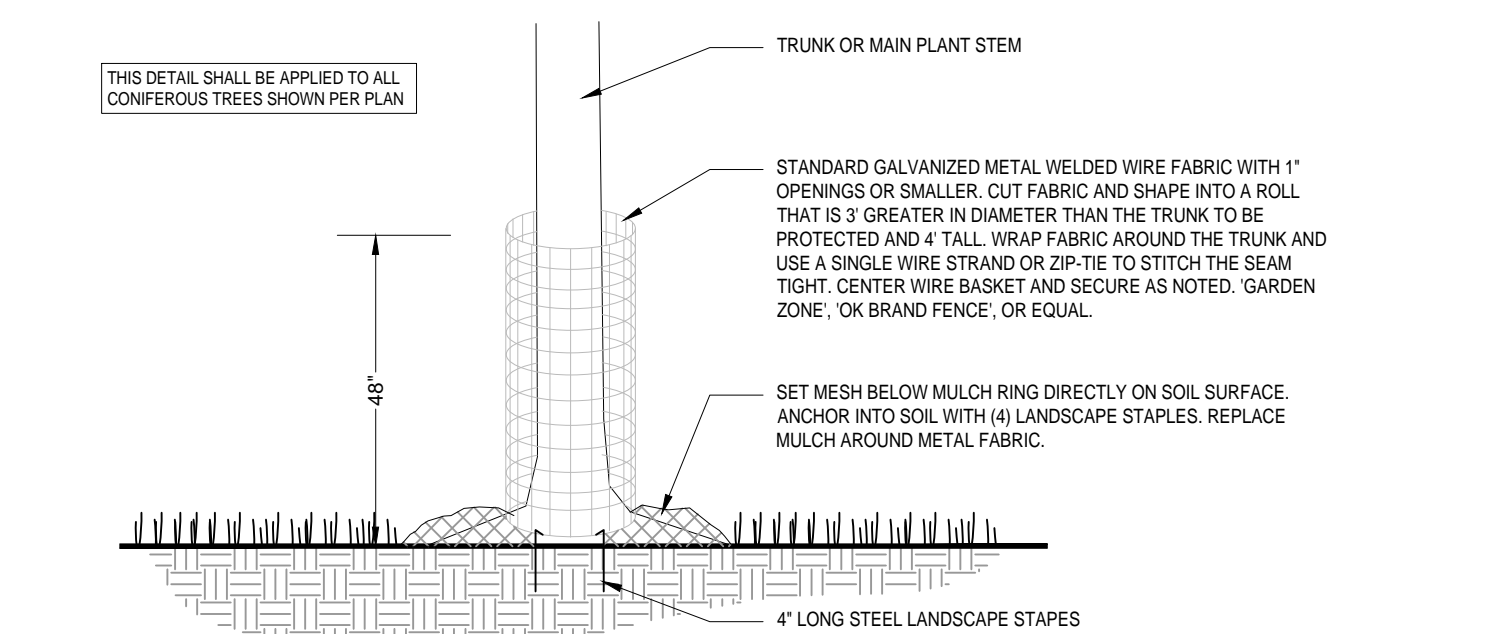


4 L200 NOT TO SCALE
MULCH & EDGER DETAIL

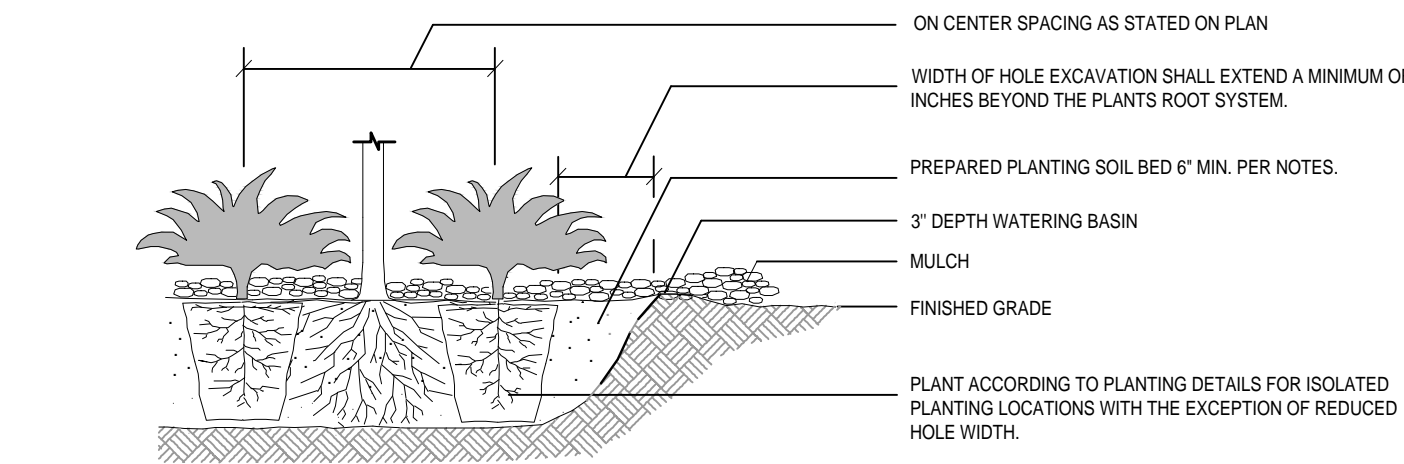
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CITY OF LAKEVILLE, MN - TREE PLANTING DETAIL



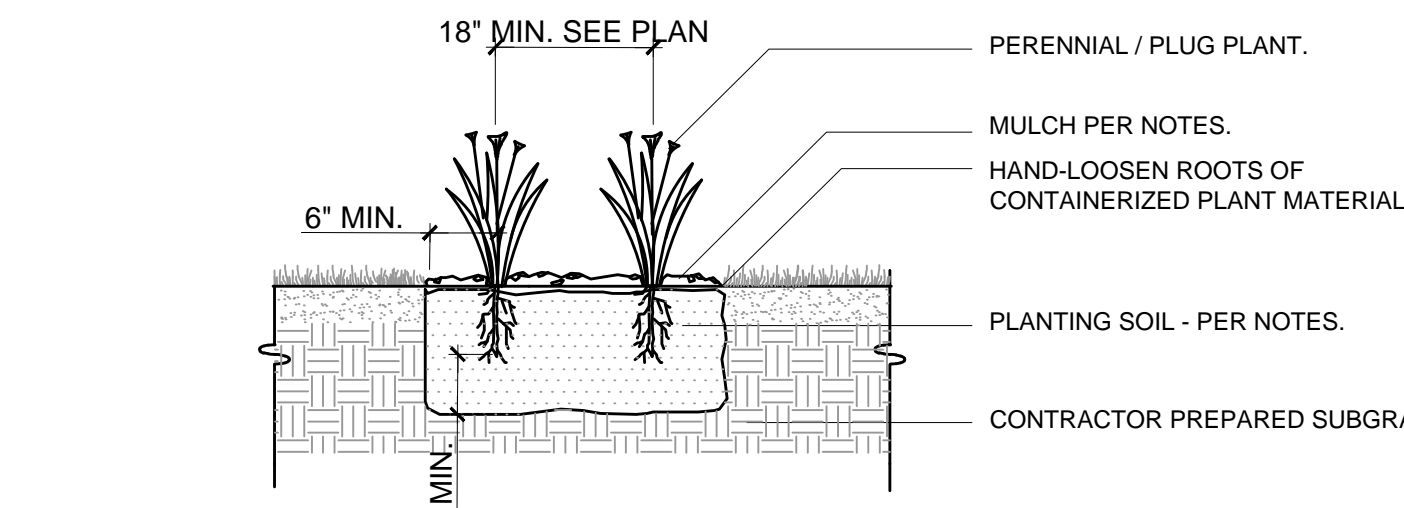
2 L200 NOT TO SCALE
CONIFEROUS TREE PLANTING - SECTION



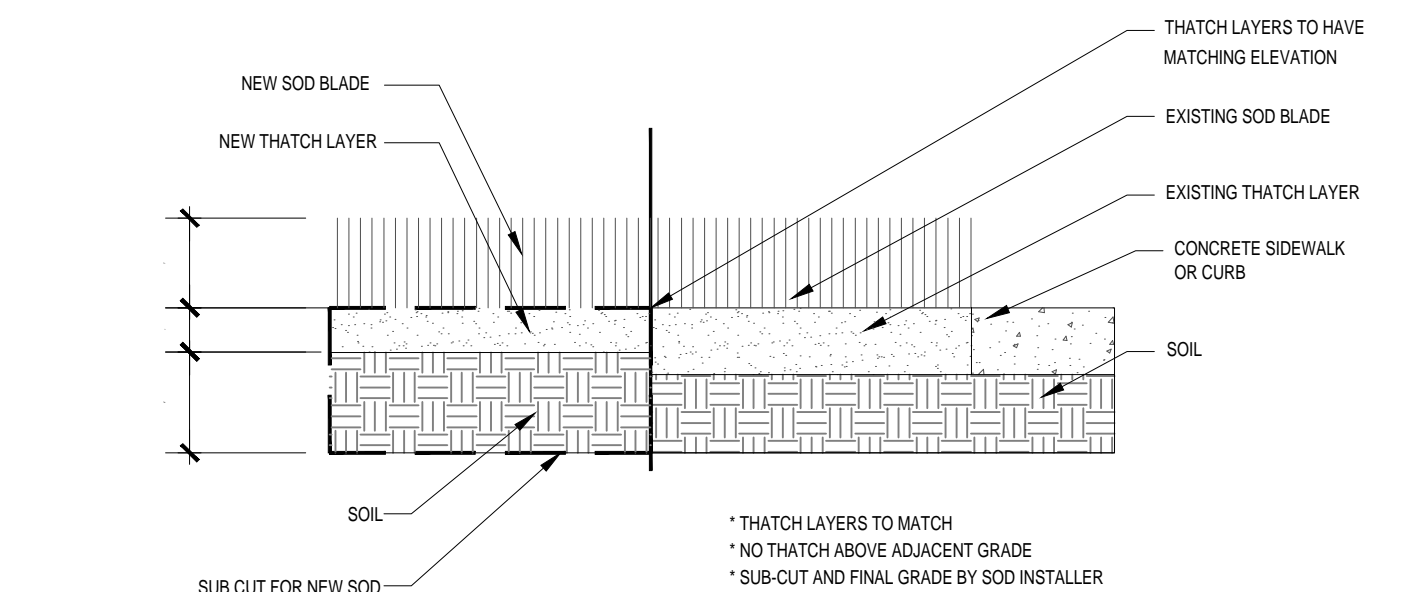
3 L200 NOT TO SCALE
CONIFEROUS TREE DEER & RODENT PROTECTION



5 L200 NOT TO SCALE
TYP. SHRUB & PERENNIAL PLANTING - SECTION



6 L200 NOT TO SCALE
TYP. PERENNIAL PLANTING - SECTION



7 L200 NOT TO SCALE
NEW SOD TO EXISTING SOD

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
EVERGREEN TREES							
	PD	<i>Picea glauca</i> 'Densata'	Black Hills Spruce	8' Hgt.	B&B	5	Calculated as 3" caliper
ORNAMENTAL TREES							
	AG	<i>Amelanchier grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' Hgt.	B&B	3	Clump, Calculated as 2" caliper
	SI	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2' Cal.	B&B	2	
OVERSTORY TREE							
	AR	<i>Acer rubrum</i>	Red Maple	3" Cal.	B&B	4	
	BR	<i>Betula nigra</i>	River Birch	3" Cal.	B&B	6	Single Stem
	CO	<i>Celtis occidentalis</i>	Common Hackberry	3" Cal.	B&B	6	
	GD	<i>Gleditsia triacanthos inermis</i> 'Draves'™	Street Keeper Honey Locust	3" Cal.	B&B	4	
	QB	<i>Quercus bicolor</i>	Swamp White Oak	3" Cal.	B&B	3	
SHRUBS							
	Cr	<i>Cornus alba</i> 'Regnzam'	Red Gnome Dogwood	5 gal.	Pot	20	
	DI	<i>Diervilla lonicera</i>	Dwarf Bush Honeysuckle	3 gal.	Pot	30	
	Ha	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Hydrangea	5 gal.	Pot	15	
	Ra2	<i>Ribes alpinum</i>	Alpine Currant	5 gal.	Pot	30	
	Tt2	<i>Thuja occidentalis</i> 'Techny Globe'	Techny Globe Arborvitae	5 gal. (Min. 18" Height)	Pot	15	
ANNUALS/PERENNIALS							
	Nr	<i>Nepeta racemosa</i> 'Walker's Low'	Catmint	1 gal.	Pot	4	
GRASSES							
	Cx2	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	1 gal.	Pot	88	

TOTAL TREE INCHES PROPOSED: 94 INCHES

LANDSCAPE DETAILS:

LANDSCAPE ARCHITECTURAL CONSULTANT:
CALYX DESIGN GROUP
 Landscape Architecture | Planning
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 St. Paul, MN 55104
 Phone: (651) 788-9018
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HILL INCORPORATED

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HANNAH M. LORING, RLA
 Hannah M. Loring
 Date: 07/16/2026 Reg. No. #03157

GLOBUS BUSINESS PARK
 LAKEVILLE, MINNESOTA
 LANDSCAPE DETAILS
 FOR
 GLOBUS TRANSPORT INC
 22000 HUMBOLDT ROAD, SUITE 200 LAKEVILLE, MN 55044

DRAWN BY
 HL

DATE
 03/06/2026

REVISIONS

2026-01-16 CITY SUBMITTAL
 2026-02-18 CITY RE-SUBMITTAL
 2026-03-06 CITY RE-SUBMITTAL

CAD FILE

PROJECT NO.
 24360

L200



FINISHED FLOOR
EL. = 100'-0"

PRECAST CONCRETE
WALL PANELS
(PAINTED 3 COLORS)

PREFINISHED METAL
CANOPY

ANODIZED ALUMINUM
STOREFRONT FRAMES

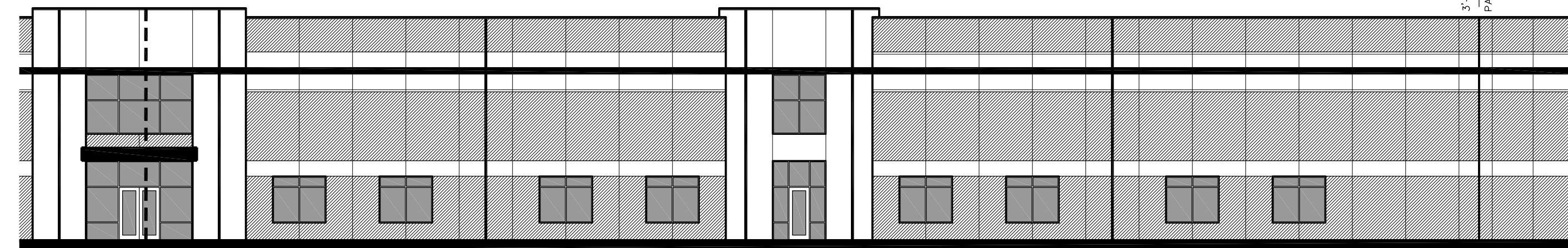
ARCHITECTURAL
RECESS IN PANEL

MATERIAL COMPOSITION
NORTH SIDE - 19,033 S.F.

GRADE A
PRECAST PANEL
(SMOOTH CAST WITH REVEAL) - 16,352 S.F.
GLASS - 2,576 S.F.
18,928 S.F. (99.4% > 65% MIN)

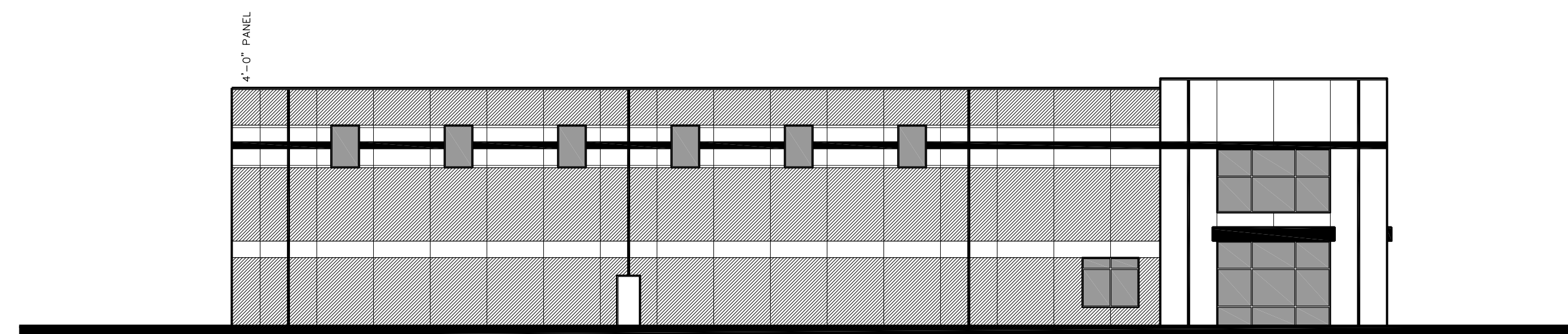
GRADE B
PREFIN METAL - 105 S.F.
105 S.F. (00.6% < 35% MAX)

1 PARTIAL NORTH ELEVATION
A3 SCALE: 1/16" = 1'-0"



SHOWN AT ANGLE
3'-0" PART PANEL

1 PARTIAL NORTH ELEVATION
A3 SCALE: 1/16" = 1'-0"

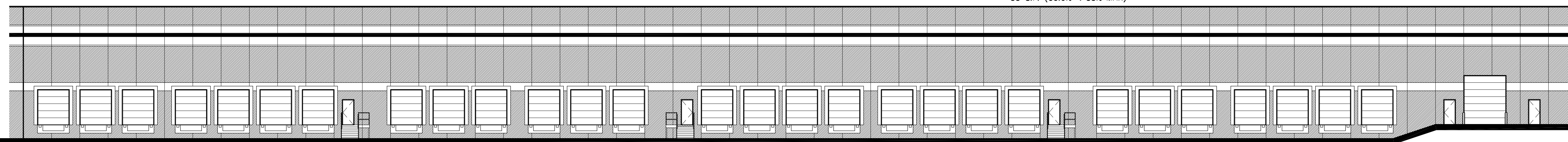


MATERIAL COMPOSITION
EAST SIDE - 5,476 S.F.

GRADE A
PRECAST PANEL
(SMOOTH CAST WITH REVEAL) - 4,940 S.F.
GLASS - 536 S.F.
5,441 S.F. (99.4% > 65% MIN)

GRADE B
PREFIN METAL - 35 S.F.
35 S.F. (00.6% < 35% MAX)

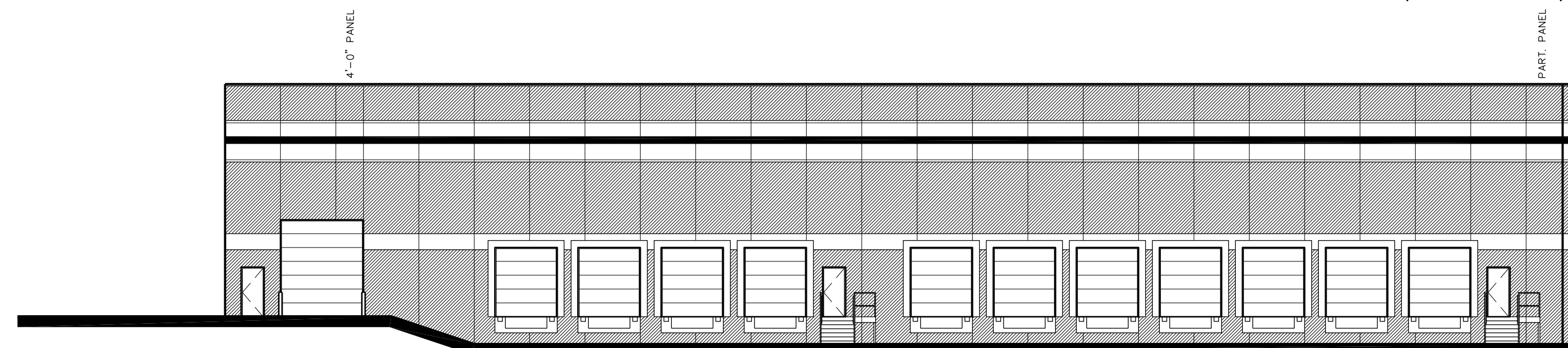
2 EAST ELEVATION
A3 SCALE: 1/16" = 1'-0"



MATERIAL COMPOSITION
SOUTH SIDE - 11,859 S.F.

GRADE A
PRECAST PANEL
(SMOOTH CAST WITH REVEAL) - 11,859 S.F.
11,859 S.F. (100.0% > 65% MIN)

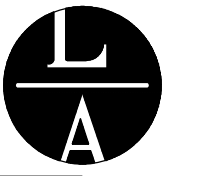
3 SOUTH ELEVATION
A3 SCALE: 1/16" = 1'-0"



MATERIAL COMPOSITION
WEST SIDE - 5,212 S.F.

GRADE A
PRECAST PANEL
(SMOOTH CAST WITH REVEAL) - 5,212 S.F.
5,212 S.F. (100.0% > 65% MIN)

4 WEST ELEVATION
A3 SCALE: 1/16" = 1'-0"



LAMPERT
ARCHITECTS

420 Summit Avenue
St. Paul, MN 55102
Phone: 763.755.1211 Fax: 763.757.2849
lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION OR REPORT WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED ARCHITECT UNDER THE
LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY
NOT FOR
CONSTRUCTION



RJRyan
Construction, Inc.

Commercial Design and Construction
1100 Mendota Heights Road Ph: 651-681-0200
Mendota Heights, MN 55120 Fax: 651-681-0230

GLOBUS TRANSPORT 2
Lakeville, Minnesota

Copyright 2025
Leonard Lampert Architects Inc.

Project Designer: JAMES B

Drawn By: JRB

Checked By: LL

Revisions

1/16/26 PRELIMINARY

NO.	DATE	DESCRIPTION

BUILDING ELEVATIONS

Sheet Number

A3

Project No. 250701-1



Dakota County Surveyor's Office

Western Service Center • 14955 Galaxie Avenue • Apple Valley, MN 55124
952.891-7087 • Fax 952.891-7127 • www.co.dakota.mn.us

April 9, 2026

City of Lakeville
20195 Holyoke Ave.
Lakeville, MN 55044

Re: **GLOBUS TRANSPORT**

The Dakota County Plat Commission met on April 8, 2026, to consider the preliminary plat of the above referenced plat. The plat is adjacent to CSAH 70 (Juniper Way) and is therefore subject to the Dakota County Contiguous Plat Ordinance.

The plat includes one lot for a commercial building site. The right-of-way guidelines along CSAH 70 as a 4-lane divided roadway are 75 feet of half right of way, which have been met. There is one access (right turns only) along CSAH 70, which would be allowed by the Plat Commission as shown on the site plan. Restricted access should be shown along all of CSAH 70 except for one access opening. A quit claim deed to Dakota County for restricted access is required with the recording of the plat mylars.

The right turn lane required for the CSAH 70 access will be reviewed during the permitting process after approval of the final plat, offsets for sightlines may be required during the review process.

The Plat Commission has approved the preliminary and final plat, provided that the described conditions are met, and will recommend approval to the County Board of Commissioners on May 5, 2026.

Traffic volumes on CSAH 70 are 13,300 ADT and are anticipated to be 16,800 ADT by the year 2040.

No work shall commence in the County right of way until a permit is obtained from the County Transportation Department and no permit will be issued until the plat has been filed with the County Recorder's Office. The Plat Commission does not review or approve the actual engineering design of proposed accesses or other improvements to be made in the right of way. Nothing herein is intended to restrict or limit Dakota County's rights with regards to Dakota County rights of way or property. The Plat Commission highly recommends early contact with the Transportation Department to discuss the permitting process which reviews the design and may require construction of highway improvements, including, but not limited to, turn lanes, drainage features, limitations on intersecting street widths, medians, etc. Please contact TJ Bentley regarding permitting questions at (952) 891-7115 or Todd Tollefson regarding Plat Commission or Plat Ordinance questions at (952) 891-7070.

Sincerely,

A handwritten signature in black ink that reads "Todd B. Tollefson". The signature is written in a cursive style with a prominent horizontal line above the first name.

Todd B. Tollefson
Secretary, Plat Commission

CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA

CONDITIONAL USE PERMIT
FINDINGS OF FACT AND RECOMMENDATION

On April 16, 2026, the Lakeville Planning Commission met at its regularly scheduled meeting to consider a conditional use permit to allow a warehouse building in the O-P, Office Park District to be located on the future Lot 1, Block 1, Globus Business Park. The Planning Commission conducted a public hearing on the proposed conditional use permit preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The property is located in Planning District No. 6 of the 2040 Comprehensive Land Use Plan, which guides the property for office park uses.
2. The property is currently zoned O-P, Office Park District.
3. The legal description at the time of final plat of the property will be:

Lot 1, Block 1, Globus Business Park, Dakota County, Minnesota

4. Section 11-4-3E of the City of Lakeville Zoning Ordinance provides that a conditional use permit may not be issued unless certain criteria are satisfied. The criteria and our findings regarding them are:

- a. **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.**

Finding: The proposed warehouse building is consistent with the 2040 Comprehensive Land Use Plan and the District 6 recommendations of the Comprehensive Plan.

- b. **The proposed use is or will be compatible with present and future land uses of the area.**

Finding: Provided compliance with the conditional use permit, the proposed office/warehouse use will be compatible with existing and planned land uses in the vicinity.

- c. **The proposed use conforms with all performance standards contained in the Zoning Ordinance.**

Finding: The site plan and exterior design of the industrial warehouse building conform to all performance standards contained in the Zoning Ordinance and the City Code.

- d. **The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.**

Finding: The subject property lies within the current MUSA. The property can be served with public sanitary sewer and water services. The use of the property as an industrial warehouse will have no impact on the City's service capacity.

- e. **Traffic generation by the proposed use is within capabilities of streets serving the property.**

Finding: Anticipated traffic generated by the industrial office-warehouse building is within the capabilities of all public streets serving the property. Dakota County Plat Commission has reviewed and approved the plat and planned land use.

- 5. The planning report dated April 8, 2026 prepared by Senior Planner Heather Botten is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the conditional use permit conditioned upon compliance with the planning report prepared by Senior Planner Heather Botten dated April 8, 2026.

DATED: April 16, 2026

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair



Memorandum

FYI

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: April 8, 2026
Subject: Future and Continued Planning Commission Agenda Items
Summary of City Council Actions on Planning Commission Items

The following is a list of possible agenda items to be considered at upcoming Planning Commission meetings:

- Interstate South Logistics Park Fourth Addition preliminary plat and conditional use permit for parking in excess of 125% of the minimum number of spaces required
- 7 Brew conditional use permit for convenience restaurant with a drive through service window and a commercial building less than 2,000 square feet in size
- Valvoline conditional use permit for minor auto repair

The following items were approved by the City Council at the March 16, 2026 City Council meeting.

- Preliminary plat of Dodd Commons
- Preliminary plat of Prime 35 Industrial

The following items were approved by the City Council at the April 6, 2026 City Council meeting.

- Final plat of Heritage Commons 12th Addition
- Final plat of Amelia Meadows 3rd Addition
- Final plat of Heritage Commons 11th Addition
- Final plat of Dodd Commons
- Preliminary plat of Lakeville 35 Logistics Center South Addition