



AGENDA
PLANNING COMMISSION MEETING
May 7, 2026 - 6:00 PM
City Hall Council Chambers

Members of the public can participate in person at Lakeville City Hall. The Planning Commission meeting can be viewed via web stream at Lakevillemn.gov/LiveTV or live on Spectrum cable channel 180. The Chair will allow for public comments and questions at the appropriate time.

1. Call to order and flag pledge
2. Roll Call
3. Approval of Minutes
 - a. April 16, 2026 Planning Commission minutes
4. Announcements
5. Public Hearing
 - a. Preliminary plat and conditional use permit for Interstate South Logistics Park Fourth Addition
 - b. Conditional use permit for Kueber Coffee Minnesota, LLC for a convenience restaurant with a drive-through and a commercial building less than 2,000 square feet in Marketplace at Cedar
6. Election of Officers
 - a. Election of Officers Memo
7. Staff Notices
 - a. The City Council meeting at which the above items may be considered will be held on May 18, 2026.
 - b. The next Planning Commission meeting is scheduled for May 21, 2026.
 - c. Planning Manager's memo

Planning Commission Meeting Agenda
May 7, 2026

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8. Adjourn

CITY OF LAKEVILLE
PLANNING COMMISSION MEETING MINUTES
April 16, 2026

Chair Zimmer called the meeting to order at 6:00 p.m. in the Council Chambers at City Hall. The Pledge of Allegiance to the flag was given.

Members Present: Chair Christine Zimmer, Vice Chair Scott Einck, Pat Kaluza, John Swaney, Jason Swenson, Mark Traffas, Ex-Officio Kelli Coughlin

Members Absent: Amanda Tinsley

Staff Present: Kris Jenson, Planning Manager; Heather Botten, Senior Planner; Jon Nelson, Assistant City Engineer; Dawn Erickson, Community Development Recorder

3. Approval of the Meeting Minutes

The March 19, 2026 Planning Commission meeting minutes were approved as presented.

4. Announcements

Planning Manager Kris Jenson stated that the motion from the April 15, 2026 Parks, Recreation & Natural Resources Committee meeting regarding their review of the Haven at Lake Marion preliminary plat was distributed to the Commissioners.

5a. Progressive, LLC

Chair Zimmer opened the public hearing to consider the application of Progressive, LLC for a preliminary plat of 51 detached townhomes and twin homes to be known as Haven at Lake Marion, in conjunction with the following applications that were tabled at the March 19, 2026 Planning Commission meeting: 1) Comprehensive land use amendment to re-guide property from Low Density Residential and Medium Density Residential to Low/Medium Density Residential, 2) Zoning map amendment to rezone property from RS-3, Single Family Residential District and RM-1, Medium Density Residential District to RST-2, Single- and Two-Family Residential District, 3) Conditional use permit for a Planned Shoreland Development within the shoreland Overlay District of Lake Marion, and 4) Vacation of public right of way.

Steve Sauber with Progressive, LLC introduced the project. Mr. Sauber stated there will be two builders in this development, Country Joe Homes and Bellepar Homes.

Daniel Licht with The Planning Company presented the staff report. Progressive, LLC is proposing development of 11 detached townhomes and 40 twinhomes on 21.3 acres of land located at the southwest corner of Kenwood Trail (CSAH 50) and Ipava Avenue. The property is bounded by single family homes and Lake Marion to the west, a rail line and Kenwood Trail (CSAH 50) to the

north, Ipava Avenue to east, and Antlers Park to the south. The proposed preliminary plat consists of 11 detached townhomes and 40 twin homes.

The developer hosted a neighborhood meeting on December 10, 2025 to provide information regarding the proposed development; City staff were also present at the neighborhood meeting.

The primary access is from Ipava Avenue, a major collector street. A connection to Itasca Lane to the north will also be constructed.

City staff's review is that the amendment of the Comprehensive Plan is consistent with the housing policies outlined therein, and the proposed Haven at Lake Marion preliminary plat is consistent with the land use and housing policies of the 2040 Lakeville Comprehensive Plan. Furthermore, with approval of the requested Comprehensive Plan amendment and Zoning Map amendment, the proposed preliminary plat complies with the requirements of the Zoning Ordinance and Subdivision Ordinance, including the criteria for approval of a Conditional Use Permit for a Planned Shoreland Development.

Chair Zimmer opened the hearing to the public for comment.

Jill Lawrence, 9715 201st Street West, expressed concern about how overflow parking from Antlers Park will be handled, and expressed support for the project.

Bob Erickson, 19081 Inndale Drive, inquired if the Ponderosa pines will be saved, if there will be an HOA governing the development, if guest parking would be required, and if there will be intersection improvements at 201st Street and Ipava Avenue.

Motion was made by Kaluza, seconded by Swenson to close the public hearing at 6:20 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Mr. Licht stated that city staff is aware of the need to evaluate the capacity for parking on Itasca Avenue and Italy Avenue. City staff will work with the developer on a parking plan for those streets as it moves forward to final plat. Parking restrictions are approved by resolution of the City Council. Guest parking is not a requirement in the RST-2 District. Sidewalks will be provided on Itasca Lane on the west and south sides. The zoning ordinance does require a homeowners' association for the development due to common open space and for the exterior maintenance of the twin home buildings. City staff's review is that there is adequate capacity within the road to accommodate traffic from this development. The tree preservation plan as presented complies with the requirements of the zoning ordinance.

Mr. Sauber stated he was not aware of the history of the pine trees on site; he noted that some of the pines at the intersection of Ipava Avenue and 201st Street are being saved. Jenni Thompson, landscape architect with Pioneer Engineering, stated the pine trees on the corner and the trees along the railroad track, unless they are in the right of way, will be saved.

Chair Zimmer asked for comments from the Planning Commission.

- Commissioner Kaluza expressed appreciation that City staff will be aware and watching the public parking in the area as this project develops.
- Commissioner Swenson asked what the street widths for Itasca Lane and the cul-de-sacs are. Mr. Licht stated the streets meet the standards specified by the subdivision ordinance. There is a 60-foot right-of-way with a 32 foot wide pavement section with a sidewalk on one side of Itasca Avenue; sidewalks aren't required on cul-de-sac streets.
- Commissioner Swenson stated that this will provide a second access to a large neighborhood that is currently only accessed by Jaguar Avenue. This will provide the ability for ingress and egress of emergency service vehicles, and he's grateful to see this connection being made.
- Commissioner Traffas inquired about whether the lawn chemicals used at these 51 homes would have a connection to Lake Marion. Mr. Licht stated this is addressed in the storm water management plan. It collects all the water runoff generated by the development, directs it to a storm basin that holds the water. It also provides treatment where sediment, chemicals, etc. can filter out of it before it's discharged downstream towards Lake Marion. The expectation is that the water is as clean, if not cleaner, and doesn't leave the site at a rate greater than it does today.
- Commissioner Einck asked if there is an additional pond, relating to retention, or if it will use the existing pond. Mr. Licht stated the development does have additional stormwater basins proposed in outlot C along Ipava Avenue and Kenwood Trail, and an additional basin along the north side of Outlot B.
- Commissioner Swenson asked whether the additional cul-de-sac at the north end of Italy Avenue would be built as part of this development. Jon Nelson, Assistant City Engineer, stated it is to be constructed with the development of the site.
- Commissioner Einck asked if the width of Itasca Lane will accommodate two cars at the same time with room for an emergency vehicle between. Mr. Nelson stated this will be the standard road width of 32 feet, consistent with other residential developments. Mr. Licht stated there will be adequate space for a vehicle or emergency vehicle to get down the road even if there are vehicles parked on both sides of the street.

Motion was made by Kaluza, seconded by Swenson to recommend to City Council approval of the preliminary plat to be known as Haven at Lake Marion, the comprehensive land use amendment, Zoning map amendment, conditional use permit and right of way vacation for Progressive, LLC and the findings of fact, subject to the following stipulations:

1. The preliminary plat shall be valid for a period of one year from the date of City Council approval unless an extension is granted in accordance with Section 10-2-2.D of the Subdivision Ordinance.
2. Platting of Outlot A as a buildable lot shall be subject to compliance with Title 11, Chapter 101 of the Zoning Ordinance.

3. All right of way dedication and street and sidewalk construction plans shall be subject to review and approval of the City Engineer.
4. All tree preservation issues shall be subject to review and approval of the City Forester.
5. All landscape plans shall be subject to review and approval of the City Forester including, but not limited to, the following:
 - a. Provide additional tree planting west of Lots 6 and 7, Block 2 to screen from existing houses.
 - b. The landscape plan shall be revised to provide residential buffer yard planting east of Lots 11-16, Block 1 as required by Section 11-21-9.E of the Zoning Ordinance.
6. All grading, drainage, stormwater management, erosion control, wetland, and floodplain issues shall be subject to review and approval of the City Engineer.
7. Outlot B and Outlot C (as shown on the preliminary plat) shall be deeded to the City for stormwater management purposes.
8. The final plat shall designate the outlots to be deeded to the City as Outlot A and Outlot B with the developer retained land designated as Outlot C.
9. All utility plans shall be subject to review and approval of the City Engineer.
10. The City Council shall consider a resolution approving vacation of existing public right of way and drainage and utility easements within the preliminary plat at the time of final plat application.
11. Park dedication requirements shall be satisfied as a cash fee in lieu of land dedication, subject to review of the Parks, Recreation, and Natural Resources Committee and approval of the City Council.
12. All existing encroachments of structures belonging to abutting property owners shall be removed from the subject property.

Ayes: Kaluza, Zimmer, Einck, Swaney, Swenson, Traffas

Nays: 0

5b. Globus Business Park

Chair Zimmer opened the public hearing to consider the application of Globus Transport for a preliminary plat and conditional use permit for a one lot subdivision to be known as Globus Business Park.

Muzaffar Gafurov, President of Globus Transport, introduced the project.

Senior Planner Heather Botten presented the staff report. The site includes two parent parcels totaling 10.08 acres. The site is located south of Juniper Way (CSAH 70) and at the terminus of Kenrick Court, east of Kenrick Avenue. The applicant is proposing an industrial office/warehouse

project with an approximate 81,100 square foot building. The property is zoned O-P, Office Park District. Warehouse use requires a conditional use permit within the O-P, Office Park District.

Community Development Department staff recommend approval of the Globus Business Park preliminary plat and conditional use permit with the stipulates listed in the planning and the engineering staff reports.

Chair Zimmer opened the hearing to the public for comment.

There was no public comment.

Motion was made by Einck, seconded by Swaney to close the public hearing at 6:44 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Chair Zimmer asked for comments from the Planning Commission.

- Chair Zimmer asked what would be stored outside. Mr. Gafurov stated tractor trailers would be stored outside.
- Commissioner Swenson asked if Globus would be expanding and keeping the other facility or moving to the new facility. Mr. Gafurov stated they are not sure what they will do with the current facility, but they will move the operation to the new facility. The current facility only allows for seven dock doors, and the new facility allows for 18 dock doors, which allows for more efficient flow of operation.
- Commissioner Swenson asked where the truck repairs are done. Mr. Gafurov stated many of their drivers are owner/operators who own their own tractor and take care of their own repairs. Some repairs are done at bigger facilities or local repair shops.
- Commissioner Swaney asked about parking, and what would happen if they run out of parking spaces. Mr. Gafurov stated that the trucks come and go and they believe there are adequate spaces for the current number of trailers that they own.
- Commissioner Traffas asked if Globus is the only occupant of this building. Mr. Gafurov stated they plan to occupy about 24,000 square feet of the building and plan to lease out the remainder of the building.

Motion was made by Swaney, seconded by Swenson to recommend to City Council approval of the preliminary plat and conditional use permit for Globus Business Park, and the findings of fact, subject to the following stipulations:

1. The final plat shall be in substantial conformance with the preliminary plans on file with the Community Development Department except as may be modified by the conditions herein.
2. A development contract and related agreements shall be approved by the City Council with the approval of the final plat.

3. Implementation of the recommendations listed in the engineering report dated April 8, 2026, and any subsequent correspondence.
4. The site and building shall be developed in accordance with the plans approved by the City Council.
5. The landscape and tree preservation plans shall be revised to comply with code requirements. A landscaping financial security shall be submitted with the final plat.
6. Snow storage shall not take place in required parking spaces. If there is not adequate space to store snow on site, snow must be removed from the site.

Ayes: Zimmer, Einck, Swaney, Swenson, Traffas, Kaluza

Nays: 0

There being no further business, the meeting was adjourned at 6:51 p.m.

Respectfully submitted,

Dawn Erickson, Community Development Recorder

DRAFT



Memorandum

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: April 28, 2026
Subject: Packet Material for the May 7, 2026 Planning Commission Meeting
Agenda Item: Interstate South Logistics Park Fourth Addition Preliminary plat and CUP
Application Action Deadline: July 8, 2026

BACKGROUND

Representatives of Scannell Properties #496, LLC have submitted applications for a preliminary plat and conditional use permit for a two lot, one outlot subdivision to be known as Interstate South Logistics Park Fourth Addition. The site is 37.9 acres in area and located south of 215th Street (CSAH 70), east of Jacquard Avenue, and north of 217th Street.

The applicant is proposing an approximately 75,000 square foot building with office, production, and warehouse space for a single tenant on Lot 2, Block 1. The conditional use permit is to allow the site to exceed 125% of the parking requirements based upon the uses proposed for the site.

The development of Lot 1, Block 1, will be reviewed under a separate application. The property is zoned I-1, Light Industrial District, where the proposed use is permitted.

The preliminary plat plans have been reviewed by Engineering, Environmental Resources, Forestry, and Parks and Recreation Department staff.

EXHIBITS:

- A. Aerial Location Map
- B. Zoning Map

- C. Preliminary Plat
- D. Existing Conditions
- E. Site Plan (3 pages)
- F. Grading Plan (2 pages)
- G. Utility Plan (2 pages)
- H. Storm Sewer Plan (2 pages)
- I. Landscape Plan (4 pages)
- J. Exterior Elevation and Floor Plans (2 pages)
- K. Parking Narrative (4 pages)
- L. Dakota County Plat Commission letter dated April 9, 2026

PLANNING ANALYSIS

PRELIMINARY PLAT

Existing Conditions. The property is undeveloped land that was graded as part of a previous phase of the Interstate South Logistics Park development.

Surrounding Land Uses. The site is surrounded by the following existing or planned land uses:

Direction	Existing Use	Land Use Plan	Zoning
North	215 th Street (CSAH 70), medical office, self storage, SF home	Office Park, Warehouse/Light Industrial	OP, Office Park I-1, Light Industrial
South	217 th Street, Amazon XL facility	Warehouse/Light Industrial	I-1, Light Industrial
East	Industrial office/warehouse buildings	Warehouse/Light Industrial	I-1, Light Industrial
West	Jacquard Avenue, City-owned stormwater pond	Office Park	OP, Office Park

Lots/Blocks. Two lots on one block are proposed with the preliminary plat along with one outlot for future development. Lot 1, Block 1 is 4.28 acres in area with over 300 feet of lot width while Lot 1, Block 2 is 12.72 acres in area and nearly 600 feet of lot width. Both lots exceed the minimum lot area (30,000 square feet) and lot width (100 feet) requirements of the I-1 District.

Streets. There are no public streets proposed to be constructed with the Interstate South Logistics Park Fourth Addition preliminary plat, but the site is adjacent to the following existing public streets:

215th Street (CSAH 70) abuts the proposed preliminary plat to the north and is identified as a principal arterial (four-lane divided) roadway in the City's

Transportation Plan. All required right-of-way for 215th Street was dedicated with previous plats. Access to and from the property will be from 217th Street via Jacquard Avenue or Dodd Boulevard (CSAH 9), both of which are currently provide for full access to 215th Street (CSAH 70).

217th Street is a 40 foot wide paved rural-section roadway that runs along the south side of the plat and will provide access for both lots and the outlot in the future.

Jacquard Avenue is identified as a major collector street in the City's Transportation Plan. It is constructed as a 40-foot-wide rural roadway within a 100-foot right-of-way and provides a full access to 215th Street (CSAH 70).

The Dakota County Plat Commission recommended approval of the preliminary plat at their April 8, 2026 meeting. The Plat Commission letter is attached to this memo.

Tree Preservation. There are no significant trees on the site.

Wetlands. There are no wetlands on the site. An earlier phase of the Interstate South Logistics Park development mitigated delineated wetlands on the site; no additional delineation is required.

Grading, Drainage, Erosion Control, Utilities. Grading, drainage, erosion control, and utility plans have been submitted with the preliminary plat and are discussed in more detail in the April 30, 2026 engineering report. A copy of the report is attached for your review. The Engineering Division recommends approval of Interstate South Logistics Park Fourth Addition preliminary plat and development plans subject to the comments outlined in the engineering report.

Park Dedication, Trails and Sidewalks. The City's Comprehensive Parks, Trails, and Open Space Plan does not identify any future park land needs in the area of the plat. Bituminous trails will be constructed on the south side of 215th Street with a future City and County project. Park dedication will be satisfied with a cash fee in effect at the time of final plat approval.

CUP/SITE PLAN ANALYSIS

Construction of more than 125% of the number of spaces required by section 11-19-13.A of the Zoning Ordinance requires a conditional use permit per Section 11-19-13.J of the Zoning Ordinance.

The site development and construction plans propose one approximately 75,000 square foot building with a proposed future expansion area of 25,000 square feet. The building is being constructed for a Domino's Pizza Distribution Supply Chain Center. Information provided by the applicant indicates that the building will be 10% office, 18% manufacturing, and 72% warehouse. The future

building expansion of approximately 25,000 square feet would be 100% warehouse space.

Parking. The applicant has provided a narrative that outlines the activities in the building relative to the parking needs on site. As noted above, about 10% of the building is office space, which will have the typical daytime weekday use. The manufacturing portion of the building runs 24 hours a day over three shifts, and the balance of the building is warehouse space. The building will also host regular training sessions that see an additional 25 vehicles on site. The table below shows the parking requirements for the various uses based on their portion of the building. It also shows what would be required for the future warehouse addition.

Building Use	Bldg area (SF)	90% Bldg area (SF)	Code Req.	# of parking stalls
Office	7,533	6,779.70	1:250 SF	27.12
Manufacturing	13,225	11,902.50	1:600 SF	19.84
Warehouse	53,673	48,305.7	1:1,000 SF	48.31
Total	74,431	66,987.90	-	95.27
Future warehouse	24,726	22,253.40	1:1,000 SF	22.25
Total	99,157	89,241.30	-	117.52=118

The table shows that based on the proposed building, 95 parking spaces are required. The applicant is proposing to construct 142 parking stalls at this time, which exceeds the 125% maximum allowed by the Zoning Ordinance, thus the request for a conditional use permit. If the future warehouse was being built at this time, 118 parking spaces would be required. The proposed 142 parking spaces would not exceed 125% of that total, meaning a CUP would not be required. The applicant has indicated their preference to construct all of the parking spaces with the initial construction, so as to not disrupt the parking area in the future to add spaces.

Building Setbacks. The I-1, Light Industrial District requires the following setback requirements:

	Front Yard (217 th St)	Side Yard	Rear Yard (215 th St /CSAH 70)
Minimum	40 feet	10 feet	30 feet
Proposed	350+ feet	250+ feet to the east, 100+ feet to the west	200 feet

Building Height/Exterior Materials. The proposed building will be one-story and 44 feet in height, in compliance with I-1 District requirements. The building will be constructed precast concrete panels with reveals (grade B), utilizing four colors to break up the large walls as well as glass windows and doors (grade A). The exterior building materials and design comply with Zoning Ordinance requirements for the I-1 District. The proposed building is compatible with the area in which it is proposed and consistent in design to other warehouse/office buildings in the I-1 District, as allowed by the Zoning Ordinance.

Site Access. The property will have two access points to 217th Street, on the south side of the site. Direct access to 215th Street (CSAH 70) is not permitted.

Circulation. All drive aisles and parking stalls comply with the required aisle width and parking stall dimensions for 90-degree vehicle parking. The site has been designed to allow vehicle circulation around the entire building. Parking for employee and visitor vehicles is on the south side of the building with semi-trucks and trailer parking available on the east side of the building, opposite the loading docks.

Landscaping/Screening. The landscape plan proposes 63 evergreen trees and 31 overstory trees as well as a variety of shrubs and perennials. Zoning Ordinance 11-21-9.B requires industrial and commercial properties to include perimeter plantings, including along the right-of-way of the proposed preliminary plat. Prior to City Council consideration of the preliminary plat and CUP, the landscape plan must be revised to add overstory and/or evergreen trees along the north property line to meet this screening requirement, as well as to screen mechanical equipment on the west side of the building. Due to the stormwater pond on the south side of the site adjacent to 217th Street, landscaping is proposed between the pond and the parking area for screening.

All of the landscaped areas within and adjacent to the parking lot, including landscaped islands, shall be irrigated in compliance with the Zoning Ordinance. The City Forester has reviewed the landscape plan and has approved the proposed mix of species for the site. A financial security will be required with the final plat to guarantee installation of the approved landscaping.

Fencing. The site plan indicates that an integral-color vinyl coated eight-foot tall (8') chain link fence will be installed around the sides and rear of the building to enclose the loading and truck parking areas of the site. The height and style of the proposed fence comply with Zoning Ordinance requirements. The entrance gate to the truck loading area is set sufficiently back from 217th Street so as to not cause congestion on the public street. A lockbox issued by the Fire Department for emergency access is required.

Trailer Parking. There are 60 proposed trailer parking spaces along the east side of the building, all of which are located within the fenced area of the site. The parking narrative provided as part of the CUP request includes information about trailers on site. The narrative notes that there are several different types of trailers used for the business and that the total number of various trailers on site in a typical day is 43-46 trailers. The site plan indicates a 15-foot-wide rock mulch strip along the east property line. Trailers parked in these spaces typically overhang the parking spaces and the rock mulch helps to maintain groundcover in that area.

Signage. Signage is not shown on the plans at this time. The Zoning Ordinance for the I-1 District allows one freestanding sign to a maximum area of 100 square feet and 10 feet in height. The sign shall be located at least 15 feet from the property line abutting right-of-way and five feet from a side property line. All wall signs shall comply with Chapter 11-23 of the City Code. A sign permit shall be issued by the Community Development Department prior to the installation of any signs.

Site Lighting. The submitted lighting plan shows that the proposed lighting on site meets the Zoning Ordinance requirement of light levels not exceeding one foot candle at the property line along right-of-way. The light pole height may not exceed 35 feet and the fixture style shall be downcast to meet the ordinance requirements. Wall mounted lights shall be downcast fixtures only. The light fixtures shall meet Zoning Ordinance requirements and shall be reviewed by staff prior to issuance of an electrical permit.

Waste Enclosure. There is no exterior trash enclosure on the plans. If trash is kept outdoors in an enclosure, the structure must meet the requirements of Section 11-18-11, including exterior materials, location, and screening. All outdoor trash enclosures must be screened with a structure that is a minimum of six feet in height or one foot taller than the containers and must be constructed of materials that match the architecture of the principal building.

Mechanical Equipment. Mechanical equipment proposed along the front (south) side of the building is proposed to be screened with ornamental grasses. As previously noted in this report, prior to City Council consideration of the preliminary plat and CUP, the landscape plan must be revised to add overstory and/or evergreen trees along the north property line to screen two exterior silos on the west side of the building. Screening may be required on the roof if mechanical equipment will be visible from public right of way. All rooftop and ground mounted mechanical equipment shall comply with Section 11-21-13 of city code. Screening materials must be aesthetically harmonious and compatible with the building.

Snow Storage. Snow storage may not take place in required parking spaces.

RECOMMENDATION

Community Development Department staff has determined that Interstate South Logistics Park Fourth Addition preliminary plat, development plans, and conditional use permit comply with Subdivision and Zoning Ordinance requirements for the I-1 district. Staff recommends approval of the preliminary plat and conditional use permit subject to the following stipulations:

1. The recommendations listed in the Engineering Division memorandum dated April 30, 2026.
2. The site and building shall be developed and constructed consistent with the site development plans approved by the City Council.
3. Snow storage shall not take place in required parking spaces. If there is not adequate space to store snow on site, snow must be removed from the site.
4. A lockbox issued by the Fire Department for emergency access is required for each gate on site.
5. Prior to City Council consideration of the preliminary plat and CUP, the landscape plan must be revised to include overstory and/or evergreen trees along the north property line.

Findings of fact for the conditional use permit are attached to this report for consideration.



JACQUARD AVE

215TH ST (CSAH 70)

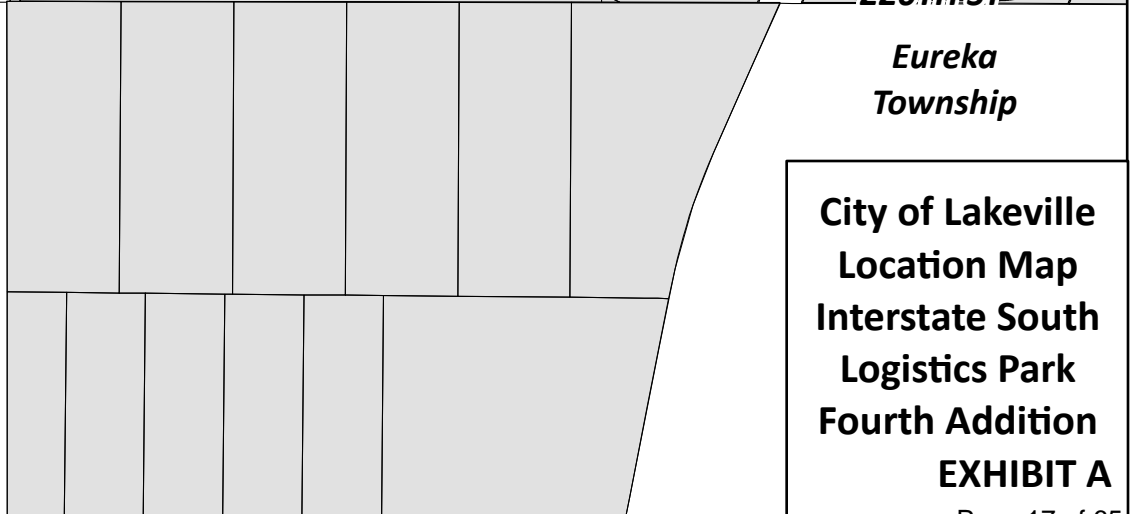
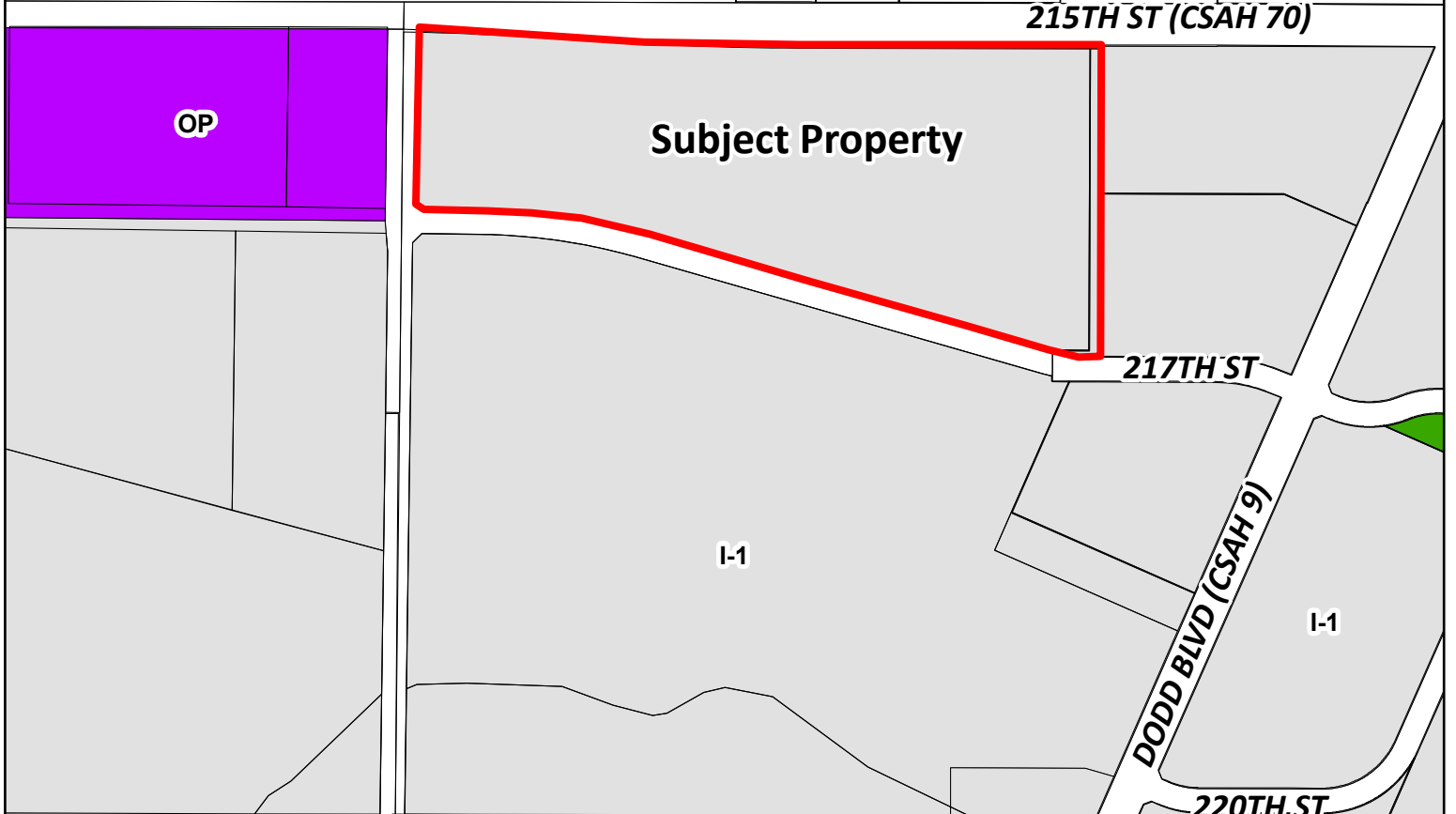
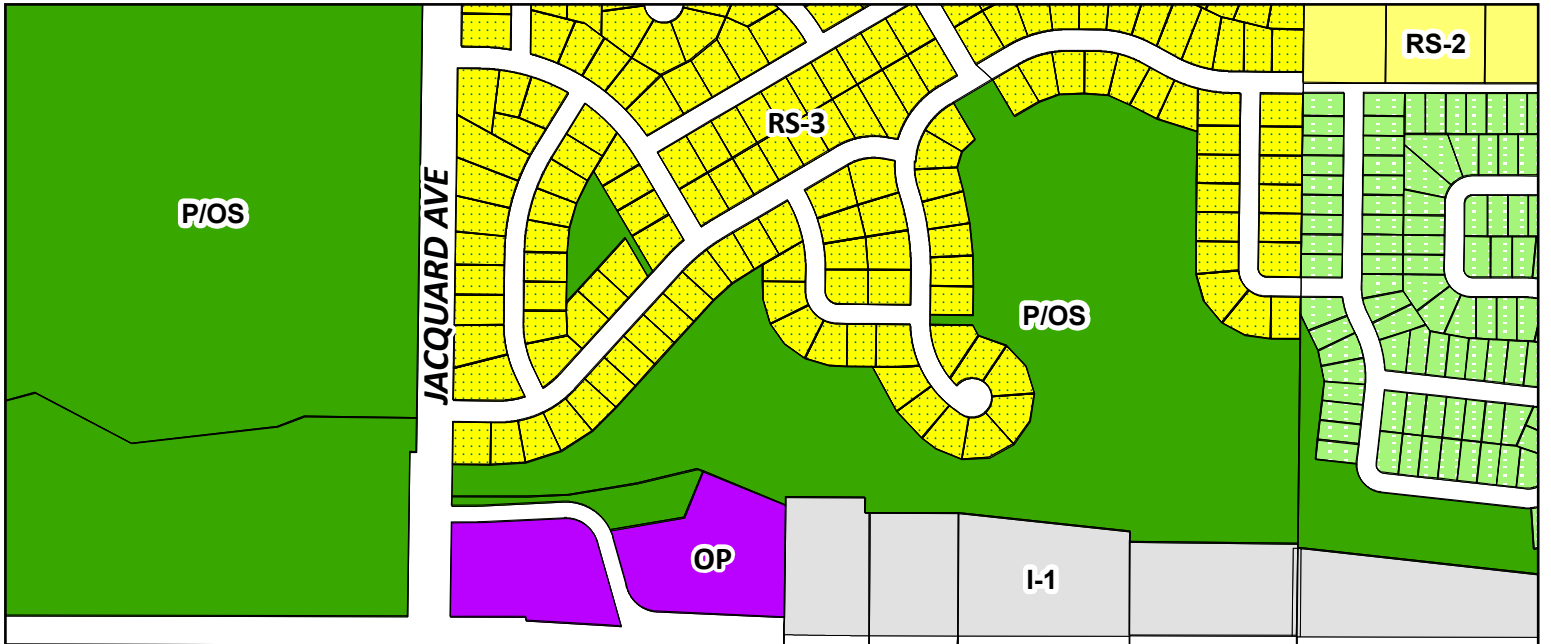
Subject Property

217TH ST

DODD BLVD (CSAH 9)

N

City of Lakeville
Location Map
Interstate South
Logistics Park
Fourth Addition
EXHIBIT A



PRELIMINARY PLAT OF INTERSTATE SOUTH LOGISTICS PARK FOURTH ADDITION

LEGAL DESCRIPTION OF PROPERTY TO BE PLATTED

OUTLOT A, INTERSTATE SOUTH LOGISTICS PARK THIRD ADDITION, according to the recorded plat thereof, Dakota County, Minnesota.

OUTLOT B, INTERSTATE SOUTH LOGISTICS PARK, according to the recorded plat thereof, Dakota County, Minnesota.

OUTLOT A, INTERSTATE SOUTH LOGISTICS PARK, according to the recorded plat thereof, Dakota County, Minnesota.

PRESENT ADDRESS

THE SUBJECT PROPERTY ADDRESS:
9875 217TH ST W, LAKEVILLE, MN
PROPERTY ID - 223751200010

TAXPAYER / PROPERTY OWNER

SCANNELL PROPERTIES, LLC

LAND SURVEYOR

STANTEC
2080 WOODALE DRIVE, SUITE 100
WOODBURY, MN 55125
KYLE A. DOMEK
MN LICENSE NUMBER 62734

DATE OF PRELIMINARY PLAT

FEBRUARY 17, 2026

PLATTED AREAS

GROSS LAND AREA TO BE PLATTED = 1,651,126.60 S.F. OR 37.90 ACRES ±

OUTLOT A = 910,240.56 S.F. OR 20.90 ACRES ±
LOT 1, BLOCK 1 = 186,609.56 S.F. OR 4.28 ACRES ±
LOT 2, BLOCK 1 = 554,276.49 S.F. OR 12.72 ACRES ±

SURVEYORS CERTIFICATION

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota

DRAFT COPY 2/17/2026

Kyle A. Domek Date
MN License No. 62734

LEGEND

- DENOTES IRON MONUMENT MARKED WITH PLASTIC CAP RLS NO. 46563
- DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET WITH PLASTIC CAP MARKED RLS NO. 62734 UNLESS OTHERWISE INDICATED
- ⊙ SANITARY SEWER MANHOLE
- ⊚ STORM SEWER INLET
- △ FLARED END SECTION
- ⊕ HYDRANT
- ⊖ WATER VALVE
- ⊗ GAS VALVE
- ⊘ TRAFFIC SIGN
- BOLLARD/POST
- ⊙ UTILITY POLE
- >—> STORM SEWER
- >—> SANITARY SEWER
- |— WATERMAIN
- OU— OVERHEAD UTILITY LINE
- 1010— EXISTING GROUND CONTOUR

VINICITY MAP

SECTION 31, TOWNSHIP 114, RANGE 20

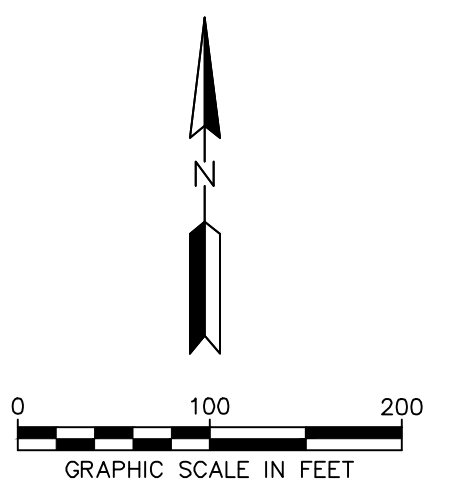
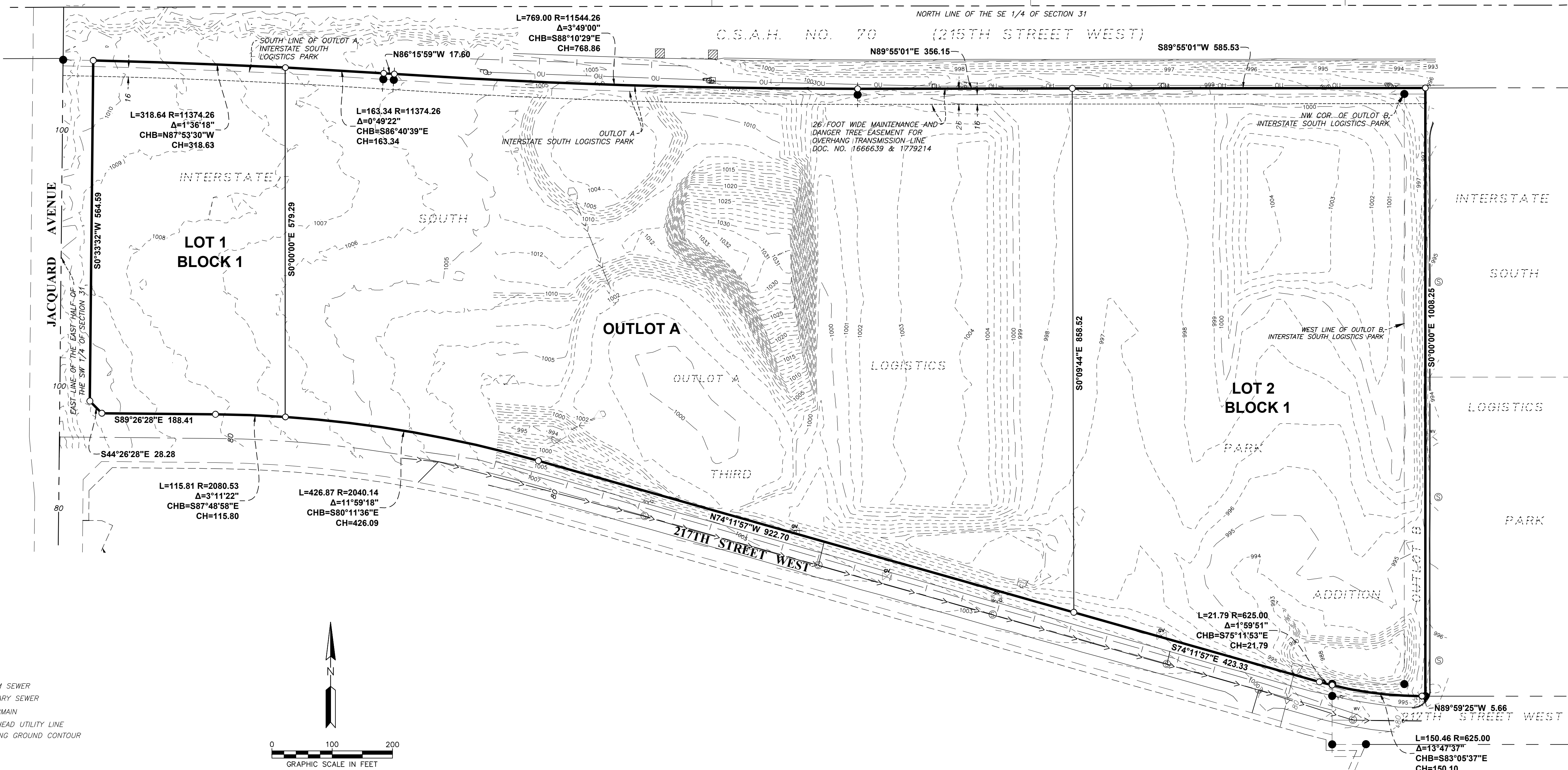
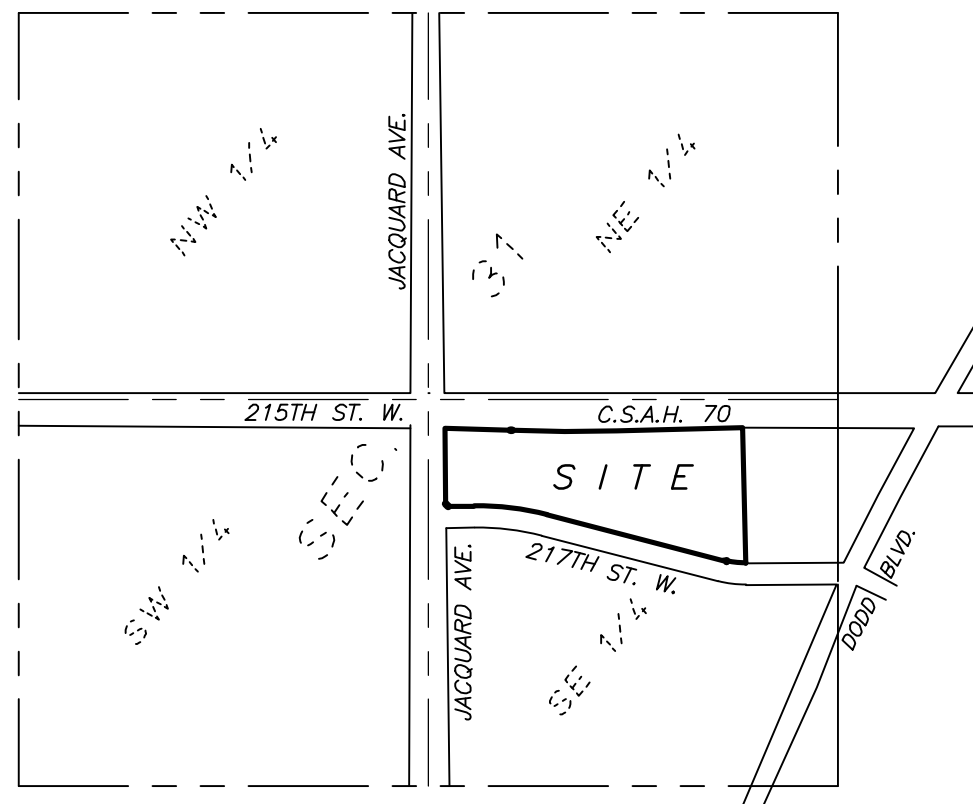
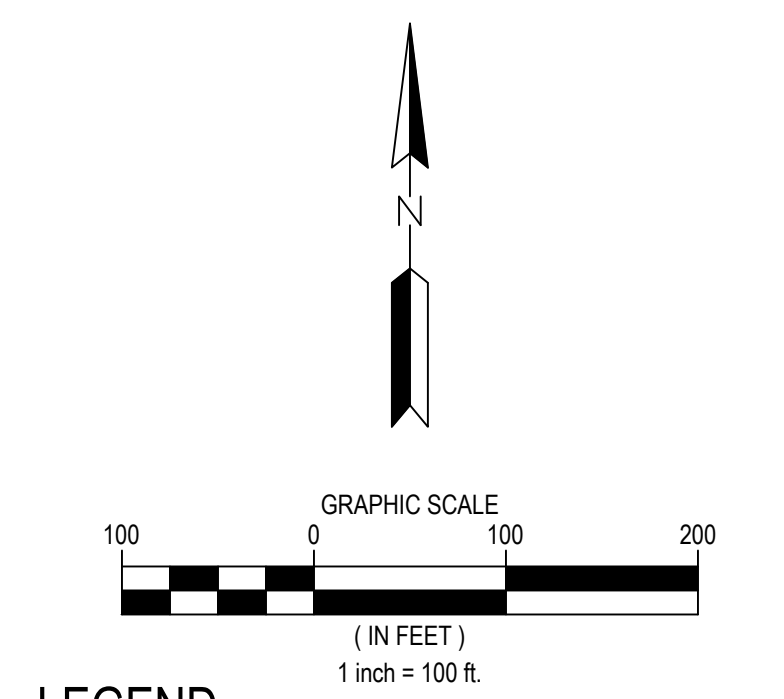


EXHIBIT C

	CLIENT NAME	PRELIMINARY PLAT			
	SCANNELL PROPERTIES, LLC	DWN BY	CHK'D	APP'D	DWG DATE
		RWN	KAD	KAD	SCALE SEE SCALE BAR
	PROJECT NO.	SHEET NO.		SEE CERT.	
	190300673	1 OF 1			



LEGEND

	PROPERTY BOUNDARY
	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	RIGHT OF WAY LINE
	SECTION LINE
	QUARTER LINE
	EXISTING EASEMENT LINE
	EXISTING PROPERTY LINE
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING UNDERGROUND GAS LINE
	EXISTING UNDERGROUND COMMUNICATION LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING OVERHEAD UTILITY LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING CURB AND GUTTER
	EXISTING WETLAND BOUNDARY
	EXISTING WETLAND
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING SANITARY MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER INLET
	EXISTING FLARED END SECTION
	EXISTING HYDRANT
	EXISTING WATER WELL
	EXISTING WATER VALVE
	EXISTING SIGN
	EXISTING BOLLARD/POST
	EXISTING LIGHT POLE
	EXISTING HANDICAP PARKING SPACE

- NOTES**
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 - EXISTING UTILITY SERVICE LINES MAY NOT BE SHOWN IN THEIR ENTIRETY ON PLANS. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITY SERVICE LINES WITHIN THE LIMITS OF DISTURBANCE AND REMOVE EXISTING INFRASTRUCTURE AS NECESSARY PER CITY REQUIREMENTS TO INSTALL PROPOSED IMPROVEMENTS.

WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE (NOT EXCLUDING THE DAY OF THE REQUEST AND EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG
GOPHER STATE ONE CALL
TWIN CITY AREA: 651-454-0002 TOLL FREE 1-800-252-1166

EXHIBIT D

PROJECT TITLE: PROJECT BLACK BEAR

DATE:	DESCRIPTION:	ISSUE NO.:
03/02/2026	CITY SUBMITTAL	1
03/18/2026	PRELIMINARY BID SET	2
04/03/2026	CITY RESUBMITTAL	3

CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: 04/03/2026

PROJECT NO.: 190300673

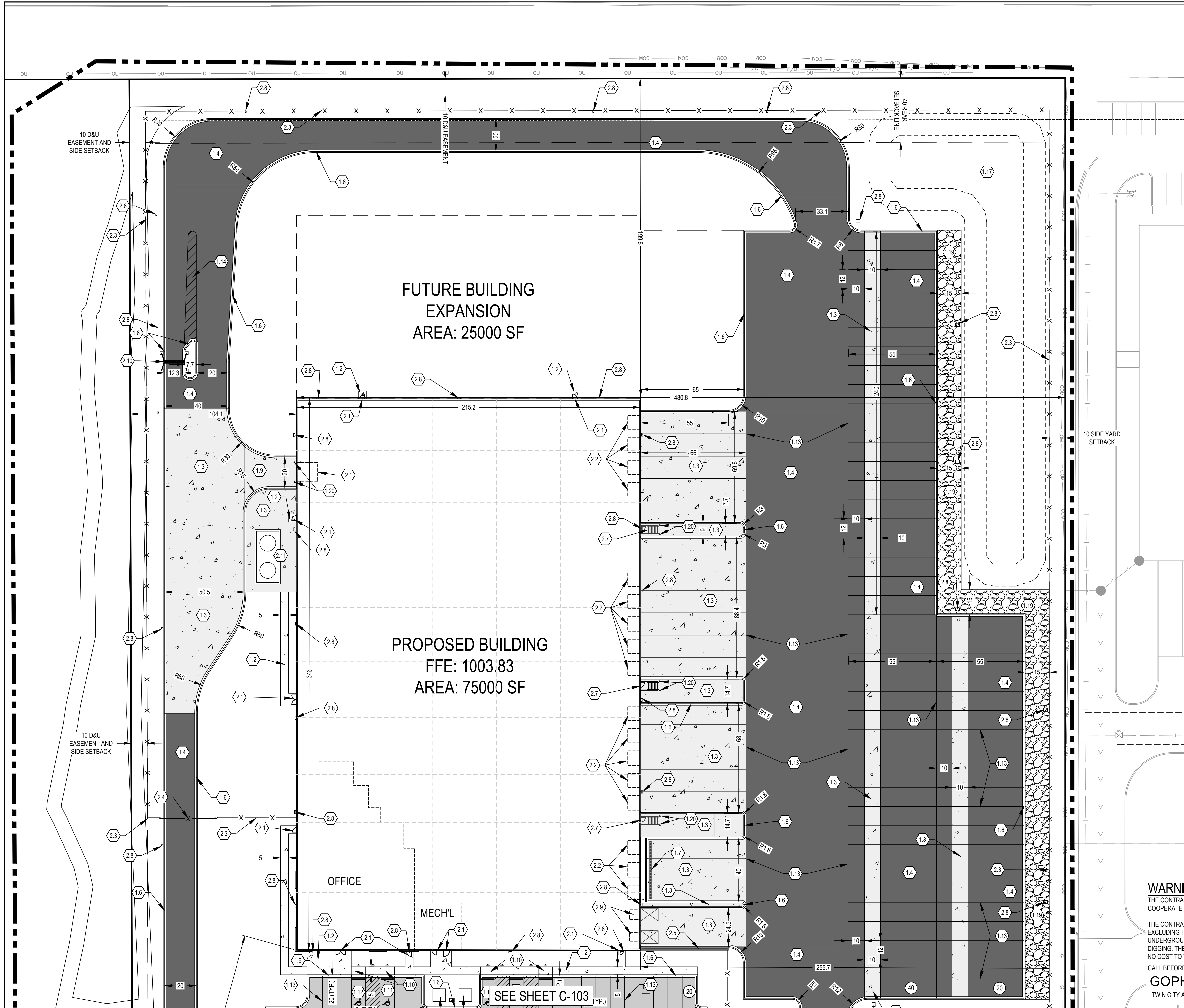
DWN BY:	CHKD BY:	APPD BY:
JRL	YMK	PWS

ISSUE DATE: 04/03/2026

ISSUE NO.: 3

SHEET TITLE: EXISTING CONDITIONS

SHEET NO.: **CG-004**



LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- EASEMENT LINE
- SETBACK LINE
- RIGHT OF WAY LINE
- CURB AND GUTTER
- CONSTRUCTION LIMITS
- HEAVY DUTY BITUMINOUS PAVEMENT
- LIGHT DUTY BITUMINOUS PAVEMENT
- MATCH EXISTING BITUMINOUS PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- PROPOSED PARKING COUNT
- FENCE
- RETAINING WALL (BY OTHERS)
- ROCK MULCH

NOTES

1. SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. DESIGN BY OTHER ITEMS SHOWN FOR REFERENCE ONLY. EXACT LOCATION, DETAIL, AND DESIGN BY OTHERS. COORDINATE WITH PROJECT PARTNERS TO OBTAIN RELATED CONSTRUCTION DOCUMENTS/DRAWINGS.

KEYNOTES

1. ITEMS BY STANTEC
 - 1.1. MATCH EXISTING
 - 1.2. 4" CONCRETE SIDEWALK - SEE DETAIL 1/C-804
 - 1.3. 6" FIBER REINFORCED CONCRETE PAVEMENT WITH 3.5 LBS/CY - SEE DETAIL 2/C-804
 - 1.4. HEAVY DUTY BITUMINOUS PAVEMENT - SEE DETAIL 7/C-804
 - 1.5. LIGHT DUTY BITUMINOUS PAVEMENT - MATCH EXISTING SECTION
 - 1.6. B612 CURB AND GUTTER - SEE DETAIL 4/C-804
 - 1.7. TRENCH DRAIN - SEE DETAIL 11/C-804
 - 1.8. CURB TRANSITION
 - 1.9. CONCRETE DRIVEWAY APRON - SEE DETAIL 10/C-804
 - 1.10. PEDESTRIAN CURB RAMP - SEE STANDARD PLAN 5-297.250/C-801
 - 1.11. HANDICAP ACCESSIBLE PARKING STALL - SEE DETAIL SHEET C-803
 - 1.12. VAN ACCESSIBLE PARKING STALL WITH ACCESS AISLE AND SIGN - SEE DETAILS 3/C-803
 - 1.13. 4" WHITE PAINT STRIPE (TYP.) - SEE DETAIL 6/C-803
 - 1.14. NO PARKING STRIPING - SEE DETAIL 6/C-803
 - 1.15. CONCRETE VALLEY GUTTER - SEE DETAIL 9/C-804
 - 1.16. MATCH EXISTING PAVEMENT
 - 1.17. STORMWATER BASIN - SEE DETAIL 4/C-805
 - 1.18. STOP SIGN - SEE DETAIL 2.8/C-803
 - 1.19. ROCK MULCH - SEE LANDSCAPE PLANS
 - 1.20. BOLLARDS - SEE DETAIL 1/C-803
2. ITEMS BY OTHERS
 - 2.1. DOOR LOCATION WITH STOOP
 - 2.2. DOCK DOOR LOCATION
 - 2.3. 8" CHAIN LINK FENCE COATED WITH INTEGRAL COLOR VINYL
 - 2.4. SECURITY GATE
 - 2.5. RETAINING WALL
 - 2.6. EQUIPMENT
 - 2.7. STAIRS
 - 2.8. LIGHT POLE LOCATION/OUTDOOR LIGHTING
 - 2.9. TRASH COMPACTOR DOOR
 - 2.10. SNOW SCRAPER
 - 2.11. SILO PAD FOOTING

WARNING:

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CALL BEFORE YOU DIG

GOPHER STATE ONE CALL
TWIN CITY AREA: 651-454-0002 TOLL FREE 1-800-252-1166

EXHIBIT E

Stantec

733 MARQUETTE AVE
SUITE 1000
MINNEAPOLIS, MN 55402
PHONE: 612-712-2000
WWW.STANTEC.COM

CLIENT:

SCANNELL PROPERTIES

PROJECT BLACK BEAR

CITY OF LAKEVILLE, DAKOTA COUNTY
MINNESOTA

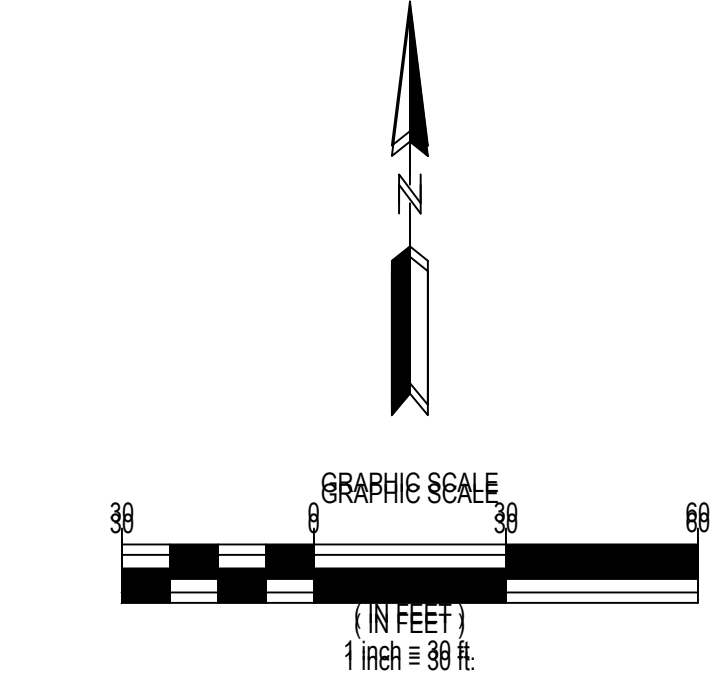
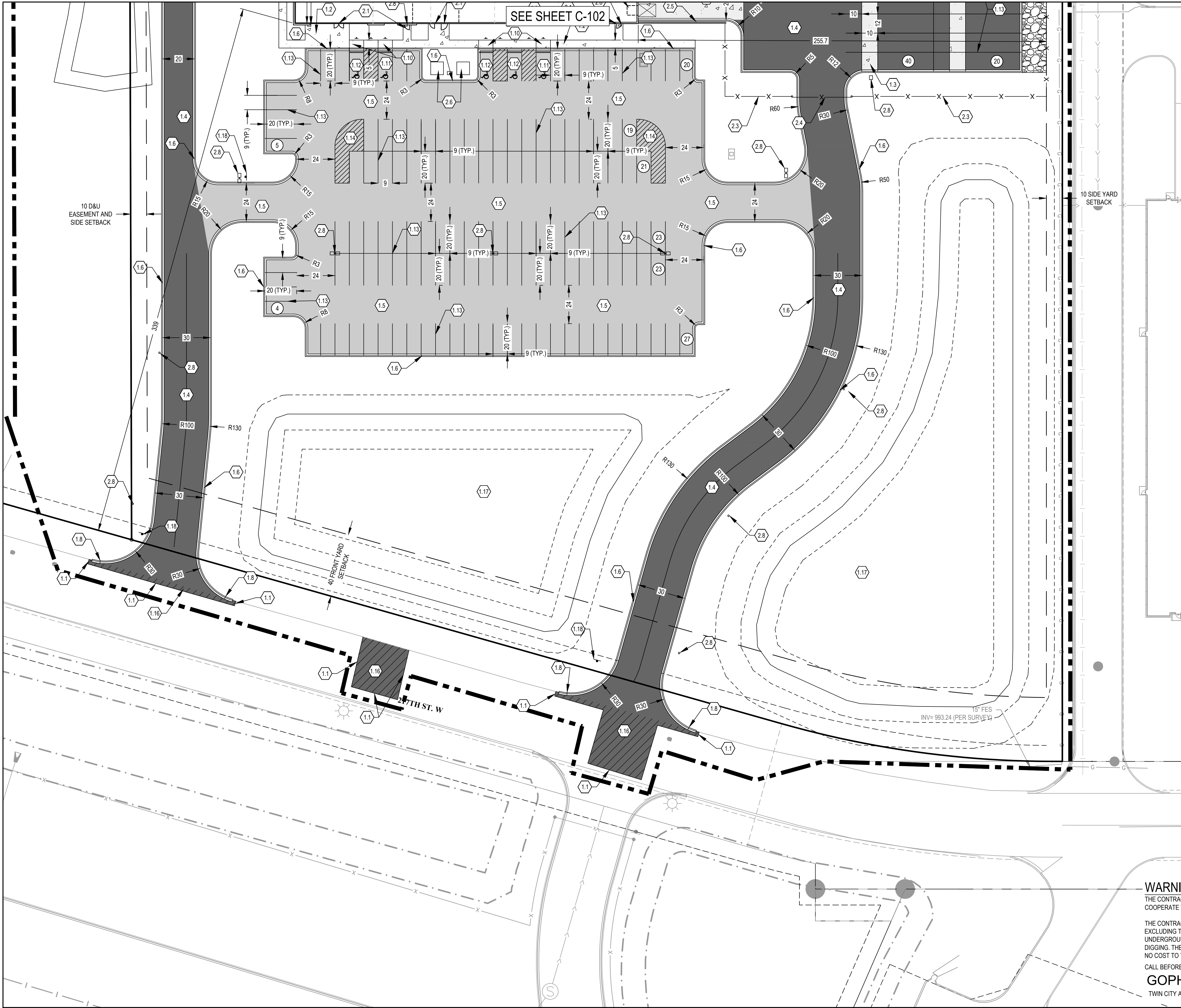
ISSUE NO.	DESCRIPTION	DATE
1	CITY SUBMITTAL	03/02/2026
2	PRELIMINARY BID SET	03/18/2026
3	CITY RESUBMITTAL	04/03/2026
4	CITY RESUBMITTAL	04/24/2026

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

[Signature]

LIC. NO.: 54244
DATE: 04/24/2026
PROJECT NO.: 190300673
DWN BY: JRL CHKD BY: YMK APPD BY: PWS
ISSUE DATE: 04/21/2026
ISSUE NO.: 3
SHEET TITLE: ENLARGED SITE PLAN
SHEET NO.: C-102



- ### LEGEND
- PROPERTY BOUNDARY
 - LOT LINE
 - EASEMENT LINE
 - SETBACK LINE
 - RIGHT OF WAY LINE
 - CURB AND GUTTER
 - CONSTRUCTION LIMITS
 - HEAVY DUTY BITUMINOUS PAVEMENT
 - LIGHT DUTY BITUMINOUS PAVEMENT
 - MATCH EXISTING BITUMINOUS PAVEMENT
 - CONCRETE SIDEWALK
 - CONCRETE PAVEMENT
 - PROPOSED PARKING COUNT
 - FENCE
 - RETAINING WALL (BY OTHERS)
 - ROCK MULCH
- ### NOTES
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
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- ### KEYNOTES
- ITEMS BY STANTEC
 - MATCH EXISTING
 - 4" CONCRETE SIDEWALK - SEE DETAIL 1/C-804
 - 6" FIBER REINFORCED CONCRETE PAVEMENT WITH 3.5 LBS/CY - SEE DETAIL 2/C-804
 - HEAVY DUTY BITUMINOUS PAVEMENT - SEE DETAIL 7/C-804
 - LIGHT DUTY BITUMINOUS PAVEMENT - MATCH EXISTING SECTION
 - B612 CURB AND GUTTER - SEE DETAIL 4/C-804
 - TRENCH DRAIN - SEE DETAIL 11/C-804
 - CURB TRANSITION
 - CONCRETE DRIVEWAY APRON - SEE DETAIL 10/C-804
 - PEDESTRIAN CURB RAMP - SEE STANDARD PLAN 5-297.250/C-801
 - HANDICAP ACCESSIBLE PARKING STALL - SEE DETAIL SHEET C-803
 - VAN ACCESSIBLE PARKING STALL WITH ACCESS AISLE AND SIGN - SEE DETAILS 3/C-803
 - 4" WHITE PAINT STRIPE (TYP.) - SEE DETAIL 6/C-803
 - NO PARKING STRIPING - SEE DETAIL 6/C-803
 - CONCRETE VALLEY GUTTER - SEE DETAIL 9/C-804
 - MATCH EXISTING PAVEMENT
 - STORMWATER BASIN - SEE DETAIL 4/C-805
 - STOP SIGN - SEE DETAIL 2.8/C-803
 - ROCK MULCH - SEE LANDSCAPE PLANS
 - BOLLARDS - SEE DETAIL 1/C-803
 - ITEMS BY OTHERS
 - DOOR LOCATION WITH STOOP
 - DOCK DOOR LOCATION
 - 8" CHAIN LINK FENCE COATED WITH INTEGRAL COLOR VINYL
 - SECURITY GATE
 - RETAINING WALL
 - EQUIPMENT
 - STAIRS
 - LIGHT POLE LOCATION/OUTDOOR LIGHTING
 - TRASH COMPACTOR DOOR
 - SNOW SCRAPER
 - SILO PAD FOOTING

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CALL BEFORE YOU DIG
GOPHER STATE ONE CALL
TWIN CITY AREA: 651-454-0002 TOLL FREE 1-800-252-1166

Stantec

733 MARQUETTE AVE
SUITE 1000
MINNEAPOLIS, MN 55402
PHONE: 612-712-2000
WWW.STANTEC.COM

CLIENT:

SCANNELL PROPERTIES

PROJECT BLACK BEAR

CITY OF LAKEVILLE, DAKOTA COUNTY
MINNESOTA

ISSUE NO.	DESCRIPTION	DATE
1	CITY SUBMITTAL	03/02/2026
2	PRELIMINARY BID SET	03/18/2026
3	CITY RESUBMITTAL	04/03/2026
4	CITY RESUBMITTAL	04/24/2026

CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: 04/24/2026

LIC. NO.: 54244

PROJECT NO.: 190300673

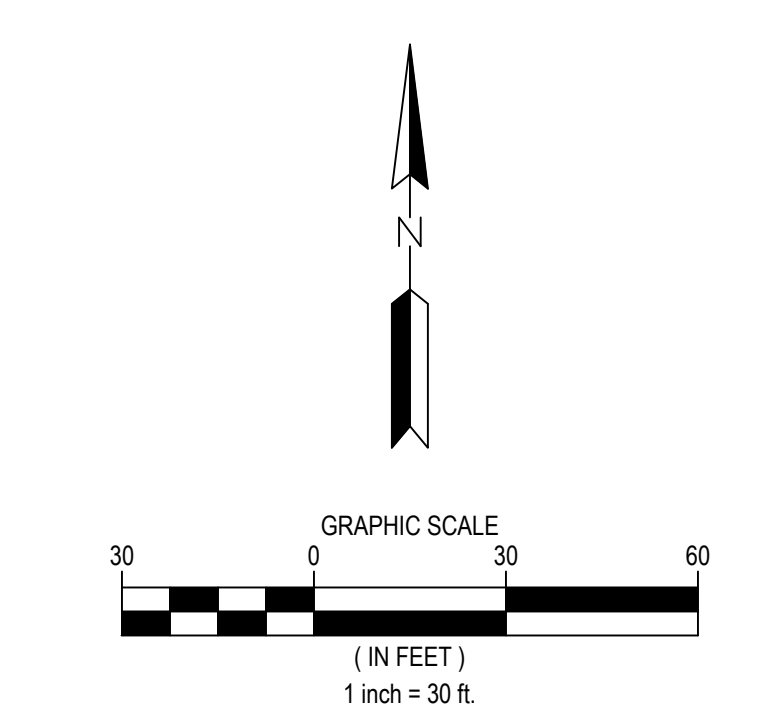
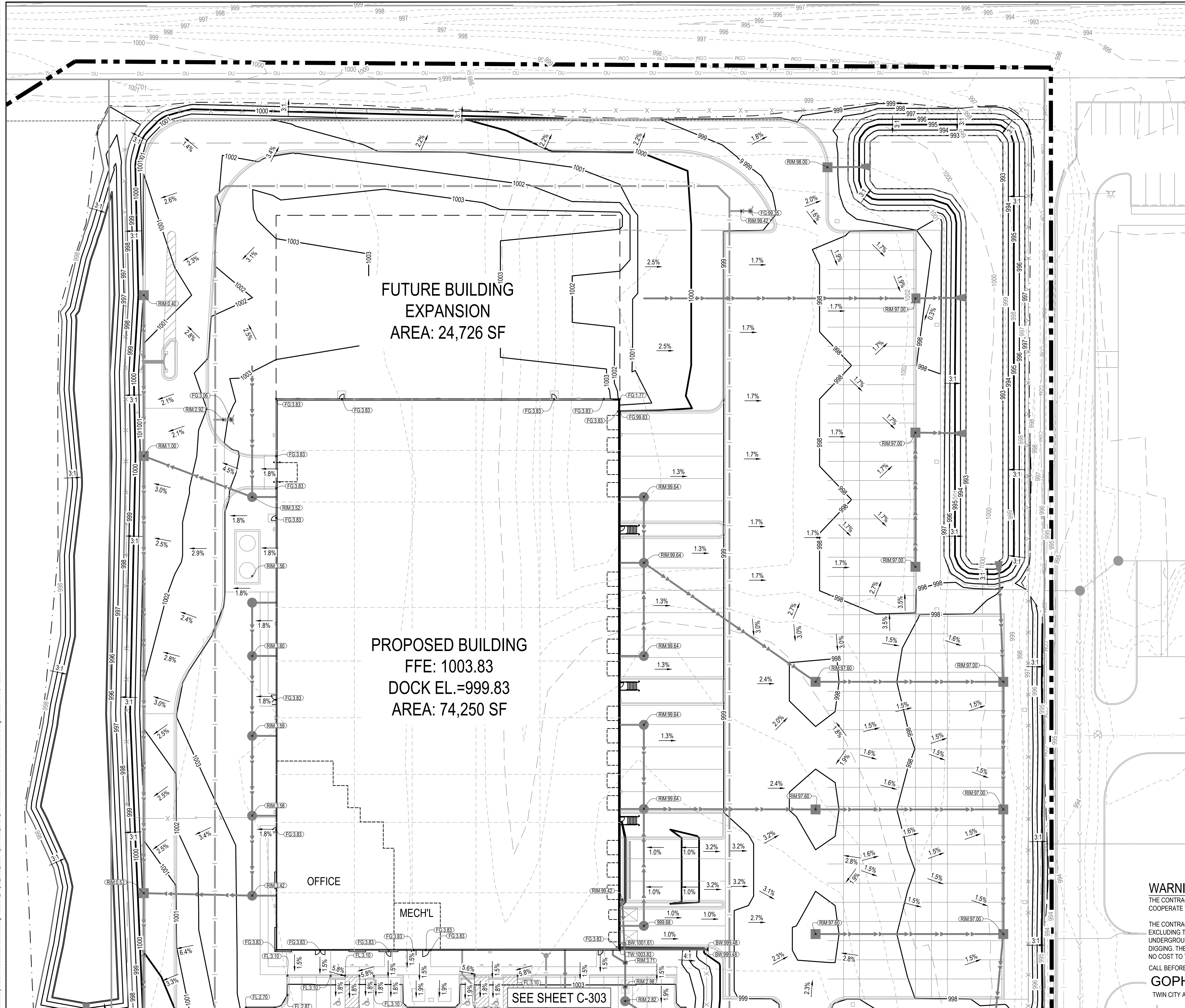
DWN BY: JRL CHK'D BY: YMK APP'D BY: PWS

ISSUE DATE: 04/24/2026

ISSUE NO.: 3

SHEET TITLE:
ENLARGED SITE PLAN

SHEET NO.:
C-103



LEGEND

	PROPERTY BOUNDARY
	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	RIGHT OF WAY LINE
	SECTION LINE
	QUARTER LINE
	EXISTING EASEMENT LINE
	EXISTING PROPERTY LINE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	GRADING LIMITS
	CONSTRUCTION LIMITS
	FLOW LINE ELEVATION
	FINISHED GRADE ELEVATION
	MATCH EXISTING ELEVATION
	SIDEWALK ELEVATION
	PAVEMENT ELEVATION
	EMERGENCY OVERTFLOW ELEVATION
	HIGH POINT SPOT ELEVATION
	LOW POINT SPOT ELEVATION
	STRUCTURE RIM SPOT ELEVATION
	SURFACE GRADE & FLOW DIRECTION
	SURFACE SLOPE (H:V) & FLOW DIRECTION

- NOTES**
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 - EXISTING SPOT ELEVATIONS AT MATCH POINTS ARE BASED ON POINT TO POINT SURVEY DATA. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONNECTION POINTS PRIOR TO INSTALLATION OF IMPROVEMENTS AND FOR MAKING NECESSARY ADJUSTMENTS IN THE FIELD FOR CONSTRUCTABILITY AND TO ENSURE SMOOTH TRANSITIONS TO FIELD CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING OF ANY FIELD DISCREPANCIES. CONTRACTOR IS RESPONSIBLE FOR REWORK OF ANY UNCOMMUNICATED DISCREPANCIES.
 - CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER IN WRITING OF DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER. FAILURE TO NOTIFY OWNER AND ENGINEER OF AN IDENTIFIABLE CONFLICT BEFORE PROCEEDING WITH INSTALLATION RELIEVES OWNER AND ENGINEER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

EXHIBIT F

WARNING:
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CALL BEFORE YOU DIG
GOPHER STATE ONE CALL
TWIN CITY AREA: 651-454-0002 TOLL FREE 1-800-252-1166

Stantec

733 MARQUETTE AVE
SUITE 1000
MINNEAPOLIS, MN 55402
PHONE: 612-712-2000
WWW.STANTEC.COM

CLIENT:

SCANNELL PROPERTIES

PROJECT BLACK BEAR

CITY OF LAKEVILLE, DAKOTA COUNTY
MINNESOTA

PROJECT TITLE:

ISSUE NO.	DESCRIPTION	DATE
1	CITY SUBMITTAL	03/02/2026
2	PRELIMINARY BID SET	03/18/2026
3	CITY RESUBMITTAL	04/03/2026

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER THE DIRECT SUPERVISION AND CONTROL OF A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: 04/03/2026

PROJECT NO.: 190300673

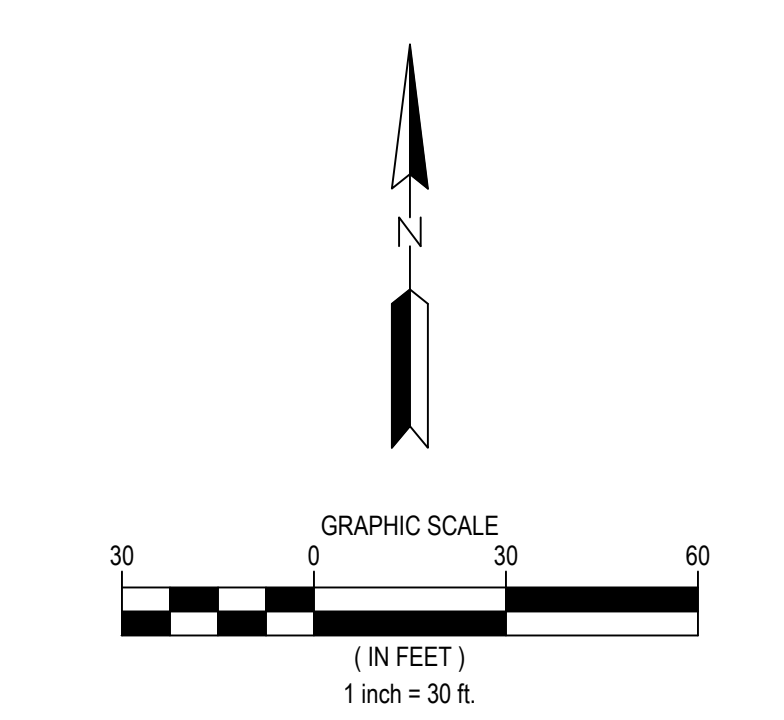
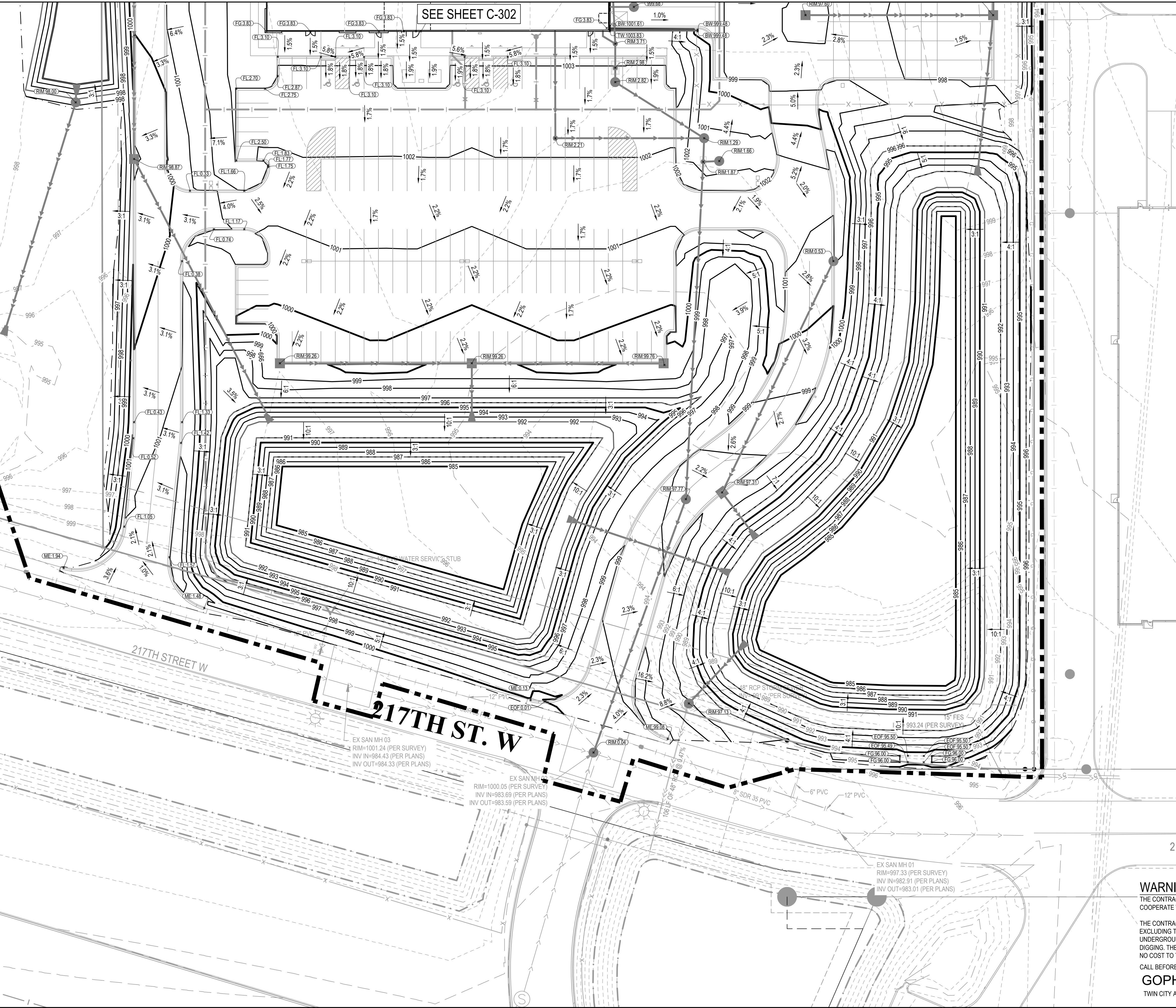
DWN BY: JRL CHKD BY: YMK APPD BY: PWS

ISSUE DATE: 04/03/2026

ISSUE NO.: 3

SHEET TITLE: ENLARGED GRADING PLAN

SHEET NO.: **C-302**



LEGEND

	PROPERTY BOUNDARY
	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	RIGHT OF WAY LINE
	SECTION LINE
	QUARTER LINE
	EXISTING EASEMENT LINE
	EXISTING PROPERTY LINE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	GRADING LIMITS
	CONSTRUCTION LIMITS
	FLOW LINE ELEVATION
	FINISHED GRADE ELEVATION
	MATCH EXISTING ELEVATION
	SIDEWALK ELEVATION
	PAVEMENT ELEVATION
	EMERGENCY OVERFLOW ELEVATION
	HIGH POINT SPOT ELEVATION
	LOW POINT SPOT ELEVATION
	STRUCTURE RIM SPOT ELEVATION
	SURFACE GRADE & FLOW DIRECTION
	SURFACE SLOPE (H:V) & FLOW DIRECTION

- NOTES**
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CALL BEFORE YOU DIG
GOPHER STATE ONE CALL
 TWIN CITY AREA: 651-454-0002 TOLL FREE 1-800-252-1166

Stantec

733 MARQUETTE AVE
 SUITE 1000
 MINNEAPOLIS, MN 55402
 PHONE: 612-712-2000
 WWW.STANTEC.COM

CLIENT:

SCANNELL PROPERTIES

PROJECT BLACK BEAR

CITY OF LAKEVILLE, DAKOTA COUNTY
 MINNESOTA

PROJECT TITLE

ISSUE NO.	1	2	3
DESCRIPTION:	CITY SUBMITTAL	PRELIMINARY BID SET	CITY RESUBMITTAL
DATE:	03/02/2026	03/18/2026	04/03/2026

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PROJECT NO.: 190300673

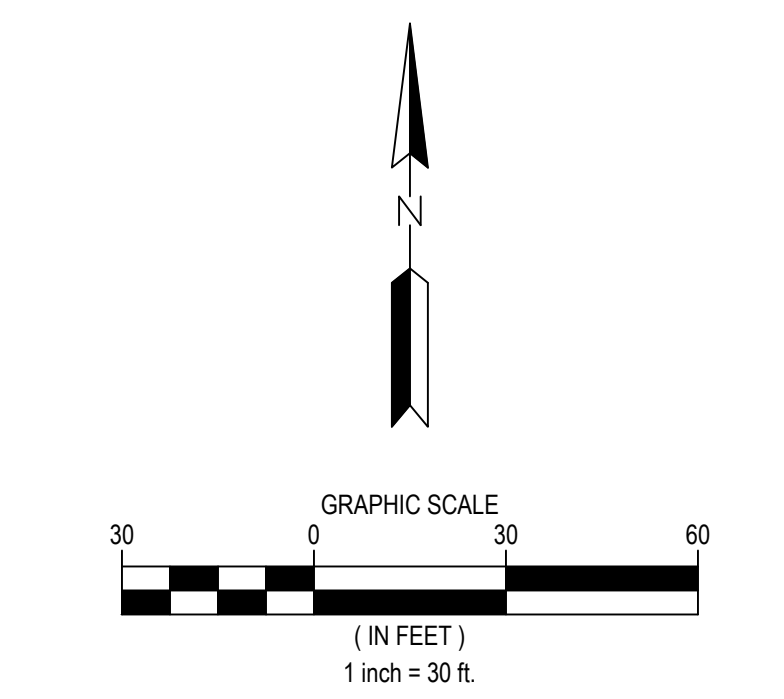
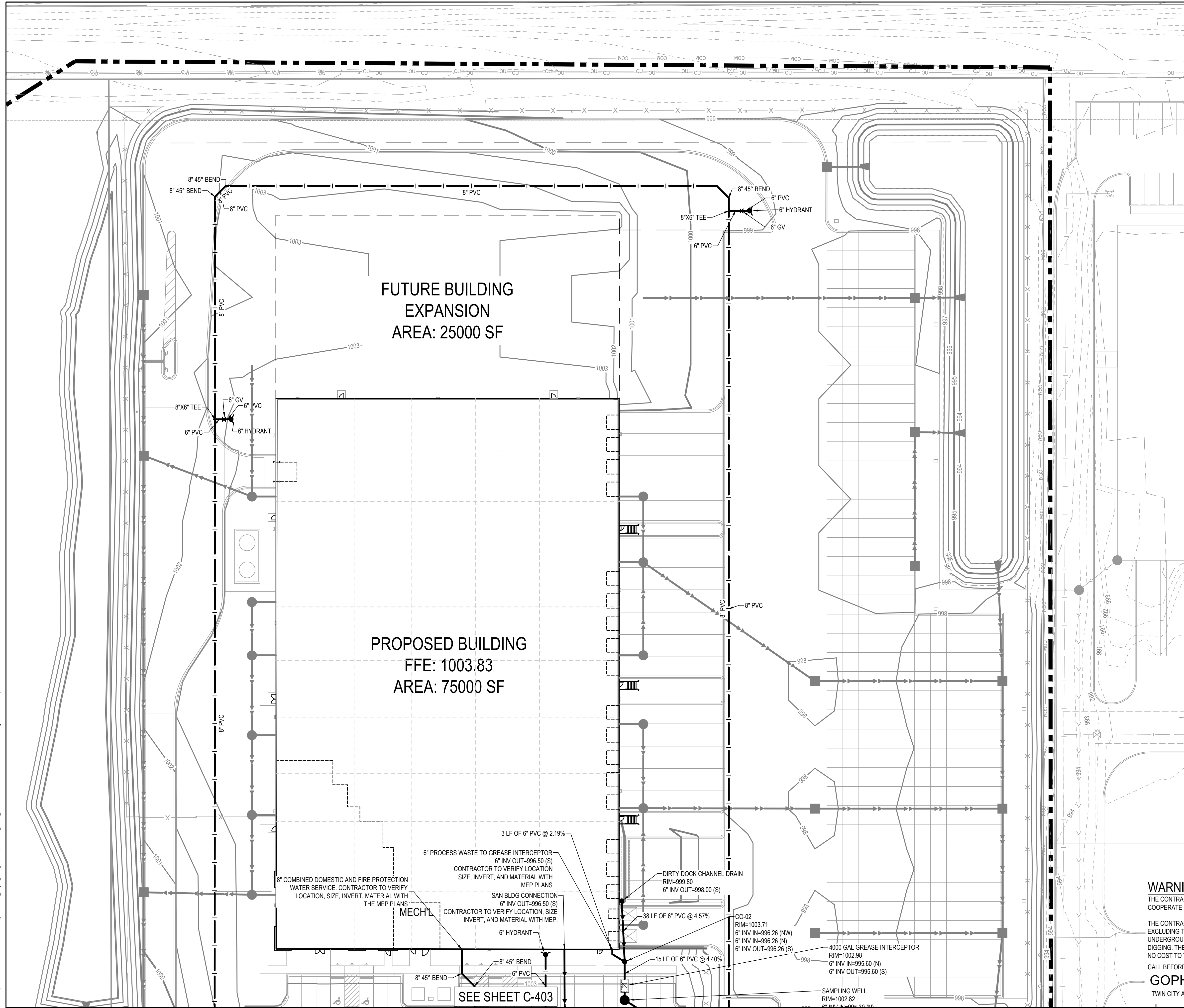
DWN BY: JRL CHKD BY: YMK APPD BY: PWS

ISSUE DATE: 04/03/2026

ISSUE NO.: 3

SHEET TITLE: ENLARGED GRADING PLAN

SHEET NO.: **C-303**



LEGEND

	PROPERTY BOUNDARY
	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	RIGHT OF WAY LINE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	GRADING LIMITS
	STORM SEWER
	STORMWATER FORCEMAIN
	SANITARY SEWER
	WATERMAIN
	SANITARY MANHOLE
	CLEANOUT
	HYDRANT
	GATE VALVE
	CURB STOP
	REDUCER
	FIRE DEPARTMENT CONNECTION

- NOTES**
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 - CONTRACTOR SHALL VERIFY LOCATION, SIZE, INVERT AND MATERIAL OF ALL UTILITY CONNECTIONS TO UTILITY MAINS.
 - WATERMAIN WILL BE INSTALLED IN STRICT ACCORDANCE WITH THE MOST CURRENT EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) SPECIFICATIONS.

EXHIBIT G

WARNING:
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CALL BEFORE YOU DIG
GOPHER STATE ONE CALL
TWIN CITY AREA: 651-454-0002 TOLL FREE 1-800-252-1166

733 MARQUETTE AVE
SUITE 1000
MINNEAPOLIS, MN 55402
PHONE: 612-712-2000
WWW.STANTEC.COM

CLIENT:

SCANNELL
PROPERTIES

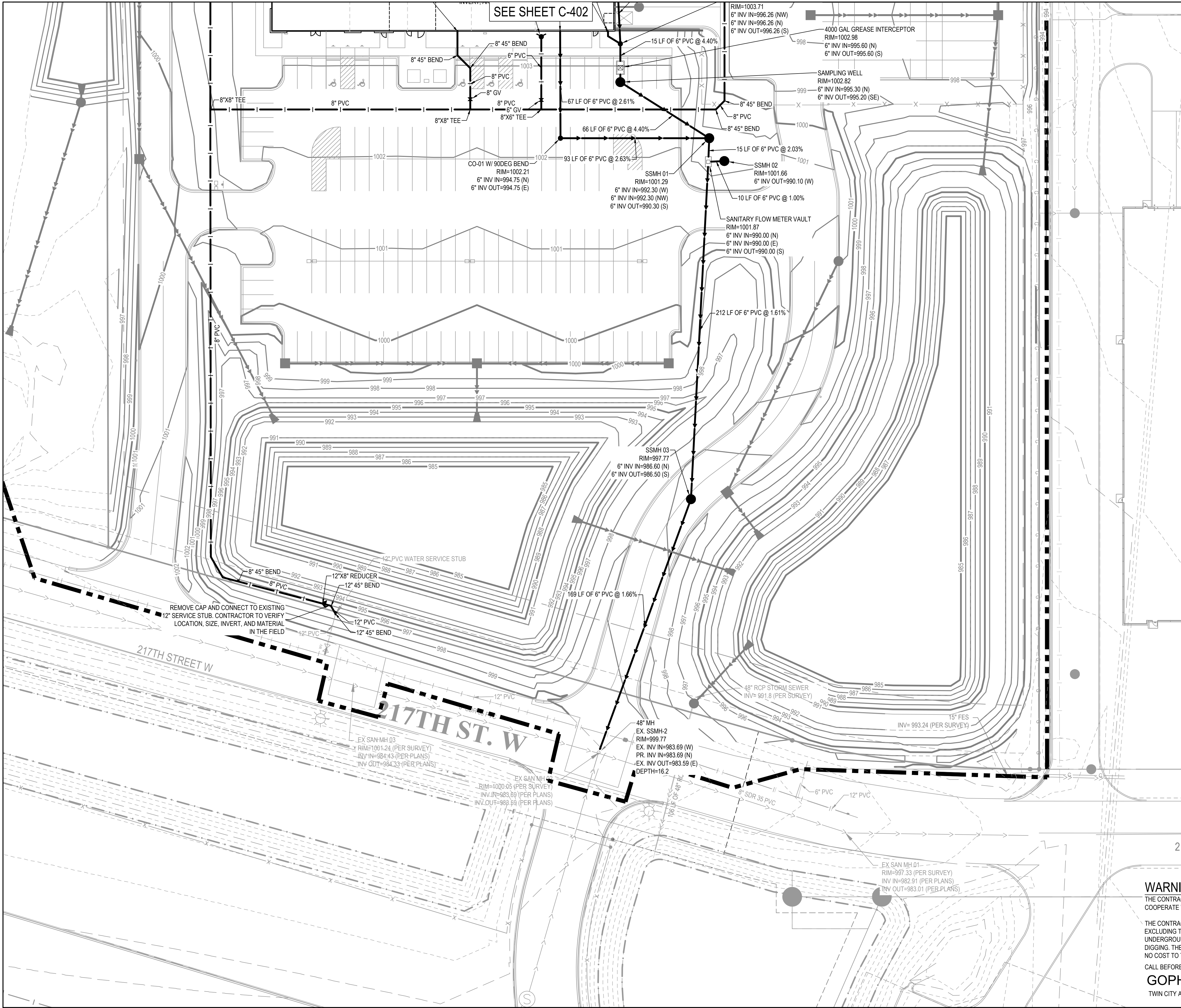
PROJECT TITLE: **PROJECT BLACK BEAR**

CITY OF LAKEVILLE, DAKOTA COUNTY
MINNESOTA

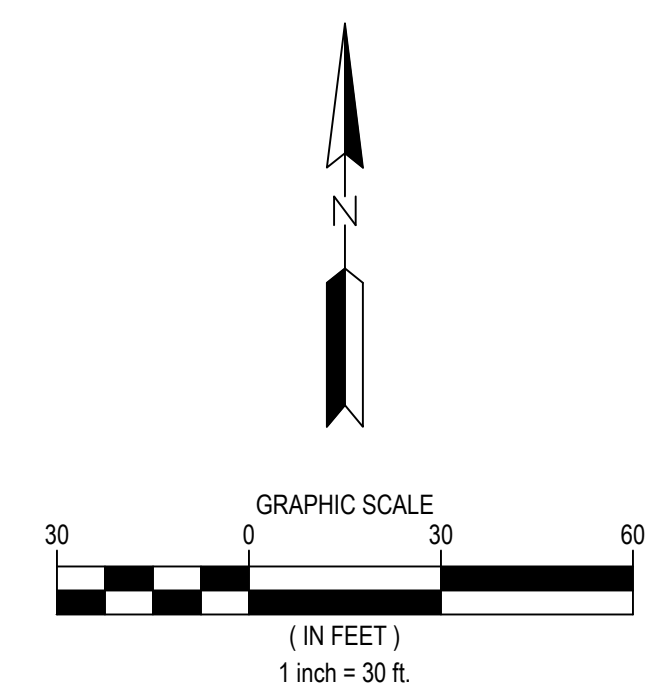
ISSUE NO.	DESCRIPTION	DATE
1	CITY SUBMITTAL	03/02/2026
2	PRELIMINARY BID SET	03/18/2026
3	CITY RESUBMITTAL	04/03/2026

CERTIFICATION:
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LIC. NO.:	54244
DATE:	04/03/2026
PROJECT NO.:	190300673
DWN BY:	JRL
CHKD BY:	YMK
APPD BY:	PWS
ISSUE DATE:	04/03/2026
ISSUE NO.:	3
SHEET TITLE:	ENLARGED UTILITY PLAN
SHEET NO.:	C-402



SEE SHEET C-402



LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- EASEMENT LINE
- SETBACK LINE
- RIGHT OF WAY LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- GRADING LIMITS
- STORM SEWER
- STORMWATER FORCEMAIN
- SANITARY SEWER
- WATERMAIN
- SANITARY MANHOLE
- CLEANOUT
- HYDRANT
- GATE VALVE
- CURB STOP
- REDUCER
- FIRE DEPARTMENT CONNECTION

NOTES

1. SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
2. CONTRACTOR SHALL VERIFY LOCATION, SIZE, INVERT AND MATERIAL OF ALL UTILITY CONNECTIONS TO UTILITY MAINS.
3. WATERMAIN WILL BE INSTALLED IN STRICT ACCORDANCE WITH THE MOST CURRENT EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) SPECIFICATIONS.

WARNING:

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THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE (NOT EXCLUDING THE DAY OF THE REQUEST AND EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

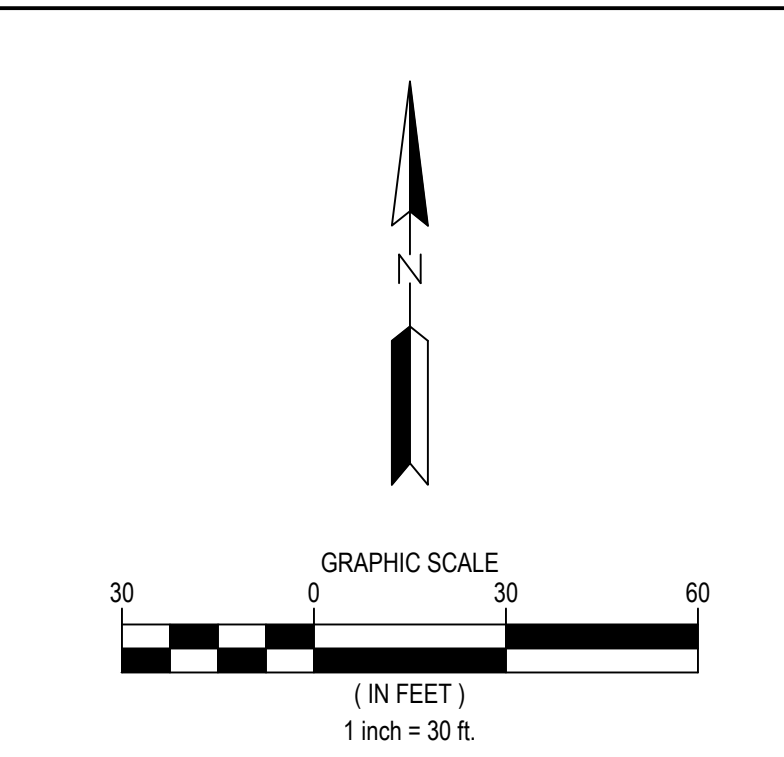
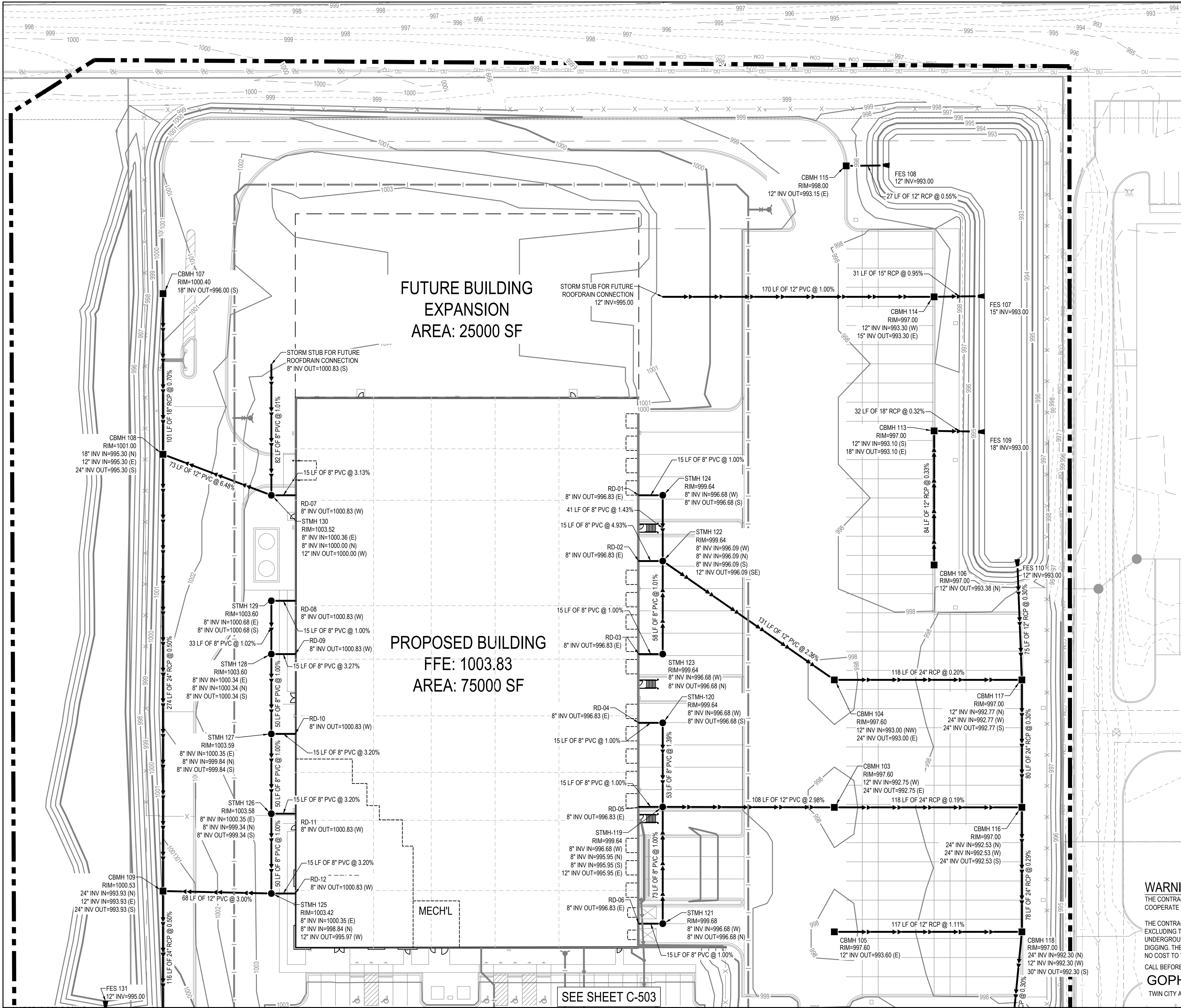
CALL BEFORE YOU DIG

GOPHER STATE ONE CALL
 TWIN CITY AREA: 651-454-0002 TOLL FREE 1-800-252-1166

DATE	DESCRIPTION	ISSUE NO.
03/02/2026	CITY SUBMITTAL	1
03/18/2026	PRELIMINARY BID SET	2
04/03/2026	CITY RESUBMITTAL	3

CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER THE DIRECT SUPERVISION AND IN MY FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

LIC. NO.:	54244
DATE:	04/03/2026
PROJECT NO.:	190300673
DWN BY:	JRL
CHKD BY:	YMK
APPD BY:	PWS
ISSUE DATE:	04/03/2026
ISSUE NO.:	3
SHEET TITLE:	ENLARGED UTILITY PLAN
SHEET NO.:	C-403



LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- EASEMENT LINE
- SETBACK LINE
- RIGHT OF WAY LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- STORM SEWER
- DRAIN TILE
- SANITARY SEWER
- WATER MAIN
- STORM MANHOLE
- STORM CATCH BASIN
- FLARED END SECTION
- STORM CLEANOUT

- NOTES**
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 - FOR EACH ROOF DRAIN CONNECTION, CONTRACTOR TO COORDINATE WITH MEPIARCH PLANS FOR LOCATION, SIZE, MATERIAL, AND INVERT. CONTRACTOR TO FIELD FIT ROOF DRAIN RISER CONNECTION/FITTING TO VERTICAL SQUARE DOWNSPOUT (TYP. ALL ROOF DRAINS)

EXHIBIT H

PROJECT BLACK BEAR BMP SUMMARY TABLE

BMP	BOTTOM	NWL	HVIL	RIM	EOF
1 PP-01 (CELL-01)	985.0	992.0	995.0	996.0	995.5
2 PP-02 (CELL-02)	985.0	992.0	995.0	998.0	998.0
3 PP-03 (NE)	993.0	993.0	995.4	997.0	997.0
4 TDD8-01	995.0	995.0	997.1	998.0	998.0

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CALL BEFORE YOU DIG

GOPHER STATE ONE CALL
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Stantec

733 MARQUETTE AVE
 SUITE 1000
 MINNEAPOLIS, MN 55402
 PHONE: 612-712-2000
 WWW.STANTEC.COM

CLIENT:

SCANNELL PROPERTIES

PROJECT BLACK BEAR

CITY OF LAKEVILLE, DAKOTA COUNTY
 MINNESOTA

PROJECT TITLE

ISSUE NO.	DESCRIPTION	DATE
1	CITY SUBMITTAL	03/02/2026
2	PRELIMINARY BID SET	03/18/2026
3	CITY RESUBMITTAL	04/03/2026

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PROJECT NO.: 190300673

DATE: 04/03/2026

PROJECT NO.: 190300673

DWN BY: JRL CHKD BY: YMK APPD BY: PWS

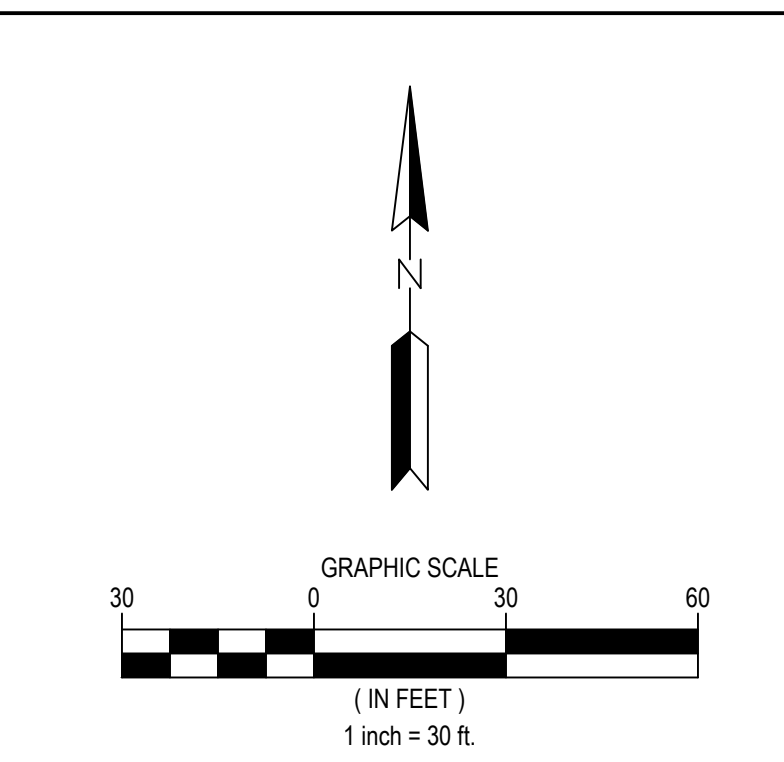
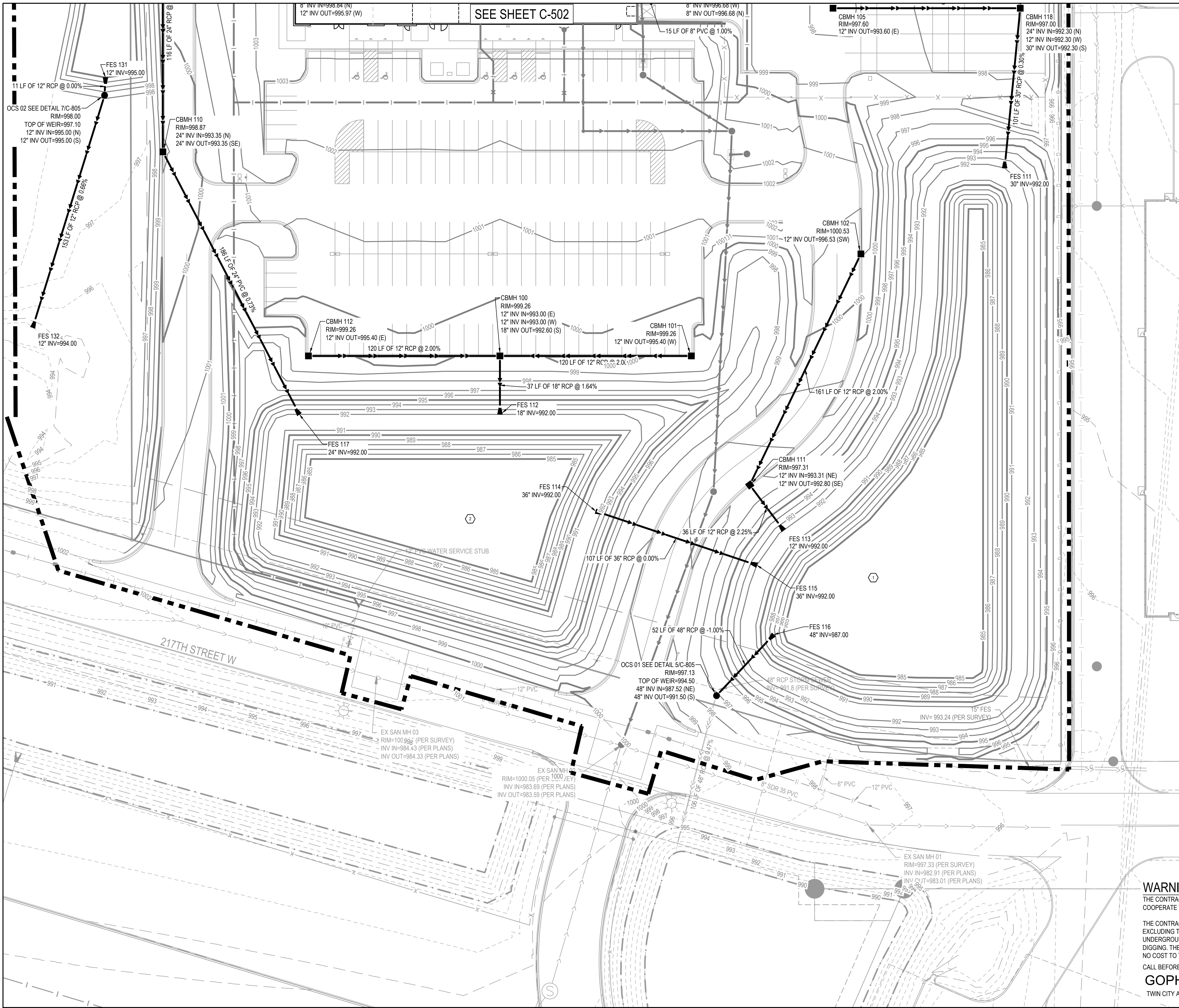
ISSUE DATE: 04/03/2026

ISSUE NO.: 3

SHEET TITLE: ENLARGED STORM SEWER PLAN

SHEET NO.: C-502

SEE SHEET C-503



LEGEND

	PROPERTY BOUNDARY
	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	RIGHT OF WAY LINE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	STORM SEWER
	DRAIN TILE
	SANITARY SEWER
	WATERMAIN
	STORM MANHOLE
	STORM CATCH BASIN
	FLARED END SECTION
	STORM CLEANOUT

- NOTES**
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PROJECT BLACK BEAR BMP SUMMARY TABLE

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4 TDDB-01	995.0	995.0	997.1	998.0	998.0

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 PHONE: 612-712-2000
 WWW.STANTEC.COM

CLIENT:

SCANNELL PROPERTIES

PROJECT BLACK BEAR

CITY OF LAKEVILLE, DAKOTA COUNTY
 MINNESOTA

PROJECT TITLE

ISSUE NO.	DESCRIPTION	DATE
1	CITY SUBMITTAL	03/02/2026
2	PRELIMINARY BID SET	03/18/2026
3	CITY RESUBMITTAL	04/03/2026

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[Signature]

PROJECT NO.: 190300673

DATE: 04/03/2026

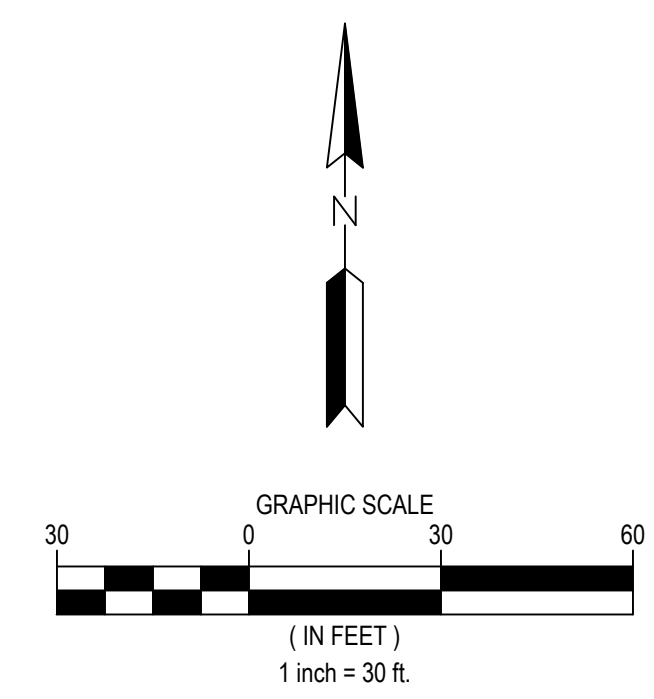
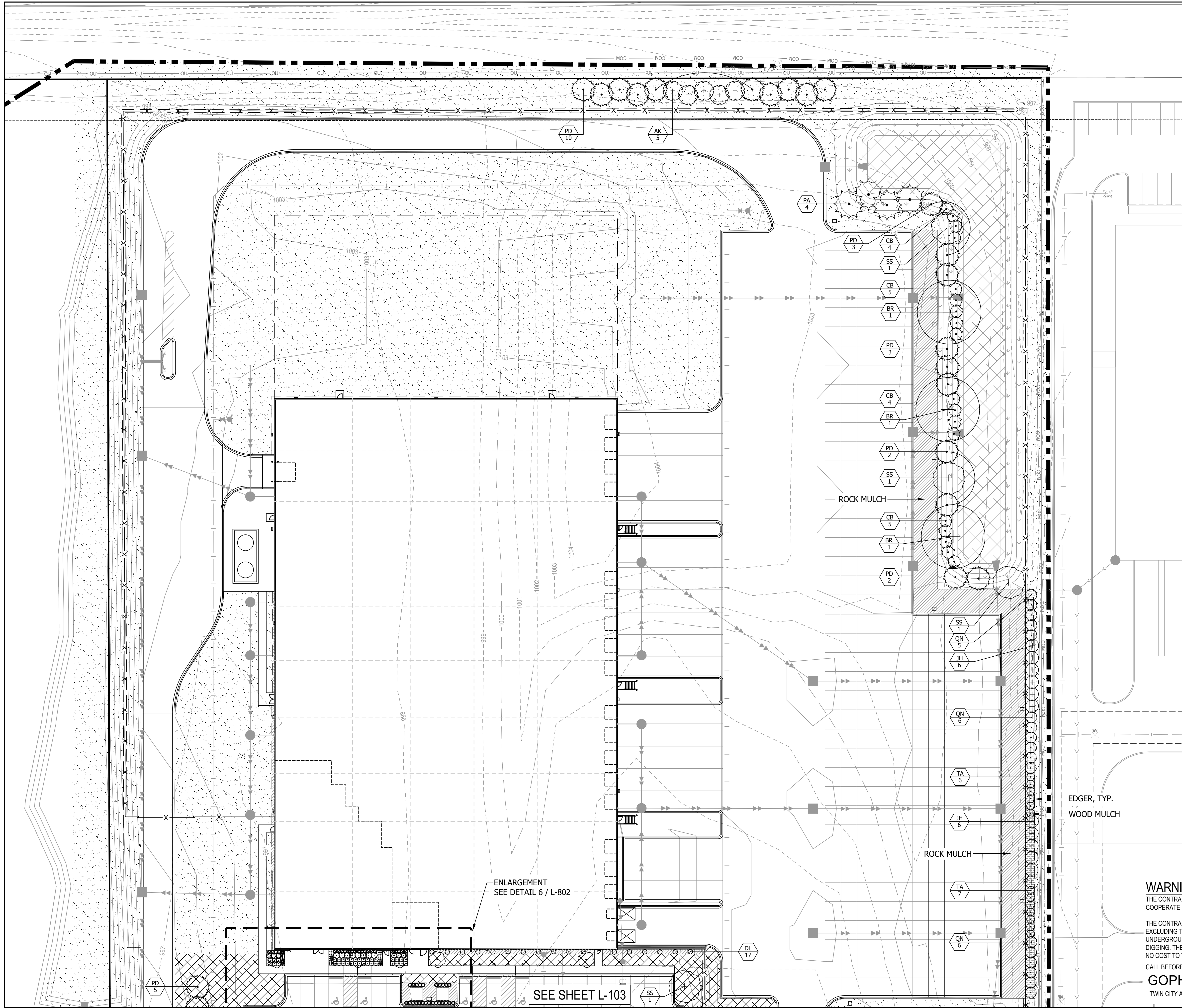
DWN BY:	CHKD BY:	APPD BY:
JRL	YMK	PWS

ISSUE DATE: 04/03/2026

ISSUE NO.: 3

SHEET TITLE:
ENLARGED STORM SEWER PLAN

SHEET NO.:
C-503



LEGEND

	PROPERTY BOUNDARY
	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	RIGHT OF WAY LINE
	CURB AND GUTTER
	CONSTRUCTION LIMITS
	FENCE
	RETAINING WALL (BY OTHERS)
	TURF SEED
	TURF SOD
	ROCK MULCH
	WOOD MULCH
	SEED TYPE A
	SEED TYPE B
	AGGREGATE MAINTENANCE STRIP. SEE LANDSCAPE DETAILS
	EDGER

PLANT PALETTE

SYMBOL	CODE	COMMON NAME
EVERGREEN TREES		
	PD	BLACK HILLS SPRUCE
	AK	KOREAN FIR
	PA	NORWAY SPRUCE
OVERSTORY TREES		
	AB	APOLLO'S SUGAR MAPLE
	CO2	COMMON HACKBERRY
	QN	KINDRED SPIRITS OAK
	BR	RIVER BIRCH CLUMP
UNDERSTORY TREES		
	SS	COPPER CURLS® PEKING LILAC
SHRUBS		
	HA	ANNABELLE HYDRANGEA
	CB	BAYLEY'S RED TWIG DOGWOOD
	DL	DWARF BUSH HONEYSUCKLE
	JH	HETZL COLUMN JUNIPER
	HL	LITTLE QUICK FIRE® PANICLE HYDRANGEA
	TA	NORTH POLE® ARBORVITAE
	JF	SEA GREEN JUNIPER
ORNAMENTAL GRASSES		
	CO	OVERDAM FEATHER REED GRASS
	SH	PRAIRIE DROPSIED
PERENNIALS		
	HO	STELLA DE ORO DAYLILY

* SEE SHEET L-801 FOR PLANT SCHEDULE

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SUITE 1000
MINNEAPOLIS, MN 55402
PHONE: 612-712-2000
WWW.STANTEC.COM

CLIENT:

SCANNELL
PROPERTIES

PROJECT TITLE: **PROJECT BLACK BEAR**

CITY OF LAKEVILLE, DAKOTA COUNTY
MINNESOTA

ISSUE NO.	DESCRIPTION	DATE
1	CITY SUBMITTAL	03/02/2026
2	PRELIMINARY BID SET	03/18/2026
3	CITY RESUBMITTAL	04/03/2026
4	CITY RESUBMITTAL	04/24/2026

CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Mark P. Winters
MARK P. WINTERS
LICENSE NO.: 56541
DATE: 02/26/2026

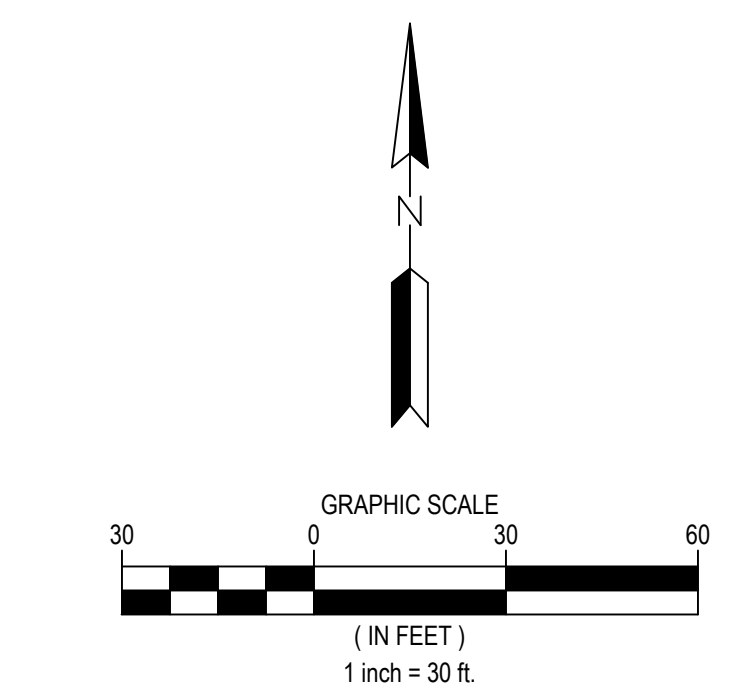
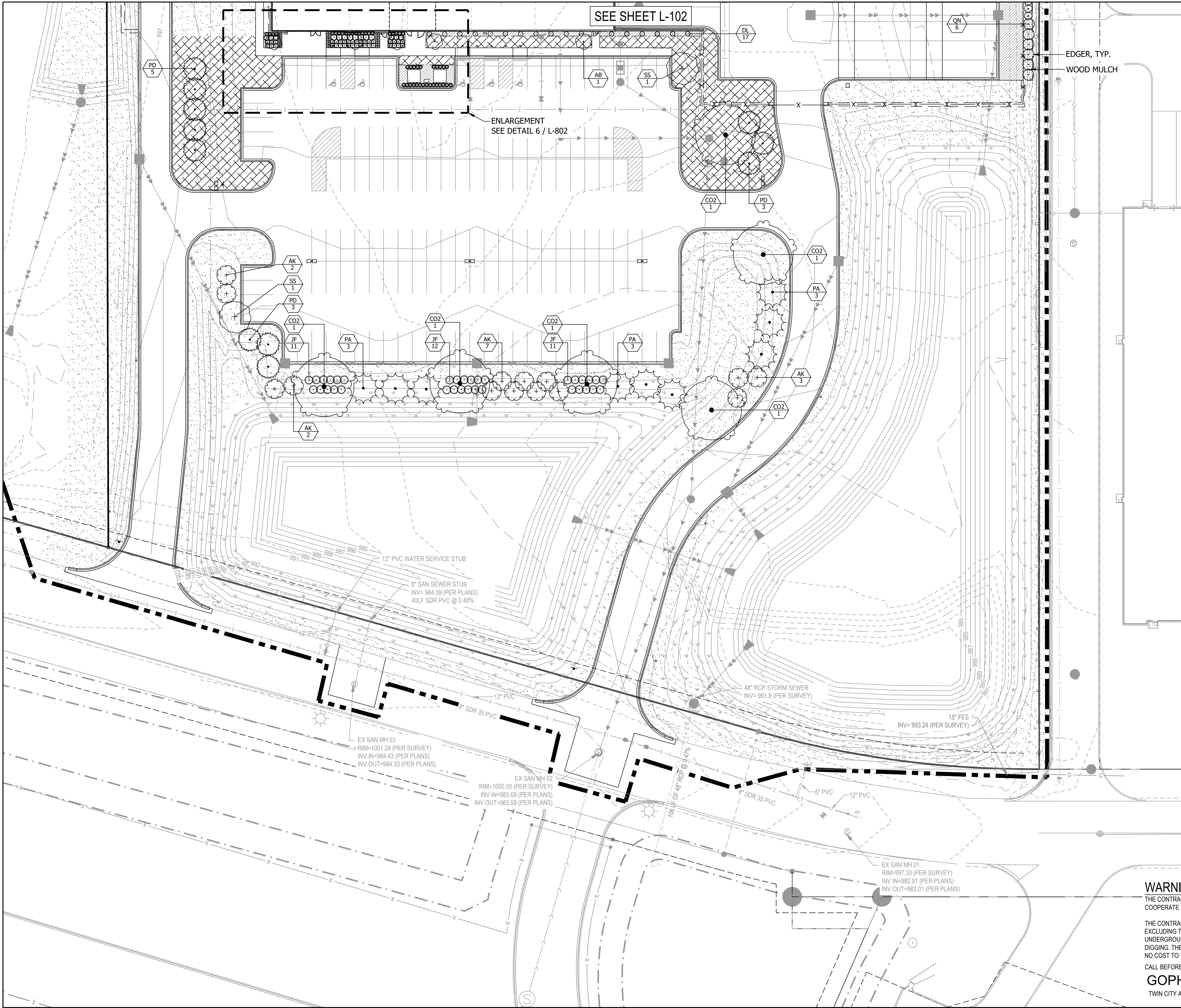
PROJECT NO.: 190300673

DWN BY: JRL CHK'D BY: YMK APP'D BY: PWS
ISSUE DATE: 04/24/2026

ISSUE NO.: 3

SHEET TITLE: **LANDSCAPE PLAN**

SHEET NO.: **L-102**



LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- EASEMENT LINE
- SETBACK LINE
- RIGHT OF WAY LINE
- CURB AND GUTTER
- CONSTRUCTION LIMITS
- FENCE
- RETAINING WALL (BY OTHERS)
- TURF SEED
- TURF SOD
- ROCK MULCH
- WOOD MULCH
- SEED TYPE A
- SEED TYPE B
- AGGREGATE MAINTENANCE STRIP. SEE LANDSCAPE DETAILS
- EDGER

PLANT PALETTE

SYMBOL	CODE	COMMON NAME
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	HL	LITTLE QUICK FIRE PANICLE HYDRANGEA
	JA	NORTH POLE ARBORVITAE
	JF	SEA GREEN JUNIPER
ORNAMENTAL GRASSES		
	CO	OVERDAM FEATHER REED GRASS
	SH	PRAIRIE DROPSOED
PERENNIALS		
	HO	STELLA DE ORO DAYLILY

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CLIENT:

SCANNELL PROPERTIES

PROJECT TITLE: **PROJECT BLACK BEAR**

CITY OF LAKEVILLE, DAKOTA COUNTY
MINNESOTA

ISSUE NO.	DESCRIPTION	DATE
1	CITY SUBMITTAL	03/02/2026
2	PRELIMINARY BID SET	03/18/2026
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4	CITY RESUBMITTAL	04/24/2026

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Mark P. Winters
MARK P. WINTERS
LICENSE NO.: 56541
DATE: 02/26/2026

PROJECT NO.:	190300673
DWN BY:	JRL
CHKD BY:	YMK
APPD BY:	PWS
ISSUE DATE:	04/24/2026
ISSUE NO.:	3
SHEET TITLE:	LANDSCAPE PLAN
SHEET NO.:	L-103

INSPECTION AND ACCEPTANCE

- LANDSCAPE WORK WILL BE INSPECTED FOR ACCEPTANCE IN PARTS AGREEABLE TO THE OWNER, PROVIDED WORK OFFERED FOR INSPECTION IS COMPLETE, INCLUDING MAINTENANCE, FOR THE PORTION IN QUESTION.
- AT THE CONCLUSION OF THE ESTABLISHMENT PERIOD, WHICH WILL BE ONE YEAR FOLLOWING INITIAL INSTALLATION A FINAL INSPECTION OF PLANTING WILL BE MADE TO DETERMINE THE CONDITIONS OF AREAS SPECIFIED FOR LANDSCAPING.
- WHEN INSPECTED LANDSCAPE WORK DOES NOT COMPLY WITH REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL RE-INSPECTED BY OWNER AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS FROM SITE.

PLANTING NOTES

- UPON APPROVAL OF STAKING LOCATIONS CONTRACTOR SHALL EXCAVATE PLANTING HOLES CENTERED AT STAKED LOCATIONS.
- DIG HOLES AS DETAILED AND TO A DIAMETER A MINIMUM OF TWO TIMES THE DIAMETER OF THE ROOT BALL OR CONTAINER.
- REMOVE STICKS, RUBBISH, FOREIGN MATERIALS AND UNDESIRABLE PLANTS AND THEIR ROOTS. REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSIONS.
- SET BALLED AND BURLAPPED (B&B) STOCK ON LAYER OF COMPACTED PLANTING SOIL MIXTURE, PLUMB AND IN CENTER OF PIT OR TRENCH WITH TOP OF ALL AT SAME ELEVATION AS ADJACENT FINISHED LANDSCAPE GRADES.
- ROOT FLARE OF THE TREE MUST BE ABOVE FINISHED GRADE.
- CUT ALL CORDS AND TWIN AND REMOVE WIRE BASKET AND BURLAP FROM TOP AND SIDES OF BALLS; RETAIN BURLAP ON BOTTOMS.
- WHEN SET, PLACE ADDITIONAL PLANTING SOIL BACKFILL AROUND BASE AND SIDES OF BALL, AND WORK EACH LAYER TO SETTLE BACKFILL AND ELIMINATE VOIDS AND AIR POCKETS.
- WHEN EXCAVATION IS APPROXIMATELY 2/3 FULL, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL.
- REPEAT WATERING UNTIL NO MORE IS ABSORBED. WATER AGAIN AFTER PLACING FINAL LAYER OF BACKFILL.
- FOR CONTAINER GROWN STOCK, SAME AS FOR BALLED AND BURLAPPED STOCK, EXCEPT CUT CONTAINERS ON SIDES INTO QUARTERS WITH SHEAR. REMOVE CONTAINER BEFORE SETTING PLANT SO AS NOT TO DAMAGE ROOT BALLS.
- WATER EACH PLANT WITHIN 2 HOURS OF PLANTING.
- ALL PLANTINGS TO BE MULCHED UNLESS OTHERWISE NOTED ON THE PLAN.
- PLACE 3-INCH THICKNESS OF MULCH AROUND TREES AND SHRUBS WITHIN A PERIOD OF 48 HOURS AFTER THE SECOND WATERING. DO NOT PLACE MULCH IN DIRECT CONTACT WITH TRUNKS OR STEMS.
- PLACE 3-INCH THICKNESS LOCALLY AVAILABLE DOUBLE SHRED HARD WOOD MULCH AROUND ALL TREES OUTSIDE OF PLANT BEDS.
- WHERE NOTED / INDICATED, PLANT BEDS AND MAINTENANCE STRIPS SHALL RECEIVE LOCALLY AVAILABLE 3" DEPTH OF 1"-1" DIA. RIVER ROCK MULCH OVER WEED BARRIER FABRIC. SUBMIT MULCH SAMPLE FOR OWNER APPROVAL.
- WHERE NOTED / INDICATED, PLANT BEDS SHALL RECEIVE LOCALLY AVAILABLE 3" DEPTH OF SHREDDED HARDWOOD WOOD MULCH. SUBMIT MULCH SAMPLE FOR OWNER APPROVAL.

MAINTENANCE NOTES

- WHEN INSPECTED LANDSCAPE WORK DOES NOT COMPLY WITH REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL RE-INSPECTED BY OWNER AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS FROM SITE.
- BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING.
- MAINTAIN TREES AND BUSHES INCLUDING WATERING FOR ONE YEAR AFTER ACCEPTANCE BY OWNER. IT IS CONTRACTORS RESPONSIBILITY FOR COORDINATE WATERING.
- TRIM, PRUNE, REMOVE CLIPPINGS AND DEAD OR BROKEN BRANCHES, AND TREAT PRUNED AREAS AND OTHER WOUNDS.
- IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE TREES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT POSITION THROUGHOUT THE ONE-YEAR GUARANTEE PERIOD.

GUARANTEE AND REPLACEMENTS

- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER OWNER ACCEPTANCE AND SHALL BE ALIVE AND IN SATISFACTORY CONDITION AT THE END OF THE GUARANTEE PERIOD. SUCH GUARANTEE EXCLUDES VANDALISM.
- AT THE END OF THE ONE-YEAR GUARANTEE PERIOD, INSPECTION WILL BE MADE BY THE OWNER UPON WRITTEN NOTICE BY THE CONTRACTOR AT LEAST FIVE DAYS BEFORE THE ANTICIPATED DATE. ANY PLANT MATERIAL REQUIRED UNDER THE CONTRACT THAT IS DEAD OR NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE OWNER, SHALL BE REMOVED FROM THE SITE, AND SHALL BE REPLACED AS SOON AS CONDITIONS PERMIT DURING THE NORMAL PLANTING SEASONS.
- THE OPINION OF THE OWNER SHALL GOVERN IN ANY AND ALL DISPUTES BY THE CONTRACTOR REGARDING THE CONDITION AND DISPOSITION OF UNSATISFACTORY MAINTENANCE PROCEDURES OR REJECTED PLANTS.
- ALL REPLACEMENTS SHALL BE PLANT MATERIAL OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. REPLACEMENT COSTS SHALL BE BORNE BY THE CONTRACTOR.
- REPLACEMENT PLANTINGS REQUIRED AT THE END OF THE GUARANTEE PERIOD ARE NOT TO BE GUARANTEED. THE PLANT MATERIAL IS SUBJECT TO INSPECTION AND REJECTION BY THE OWNER BEFORE AND AFTER PLANTING.

LANDSCAPE NOTES

- TREES AND SHRUBS SHALL BE PROVIDED IN THE QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY AS CHOSEN BY THE OWNER/OWNER AS LISTED ON THE PLANT SCHEDULE.
- TREES AND SHRUBS SHALL BE HEALTHY, VIGOROUS STOCK, GROWN IN RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS.
- OWNER RETAINS THE RIGHT TO INSPECT TREES AND SHRUBS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK.
- NURSERY STOCK SHALL BE DELIVERED DIRECTLY FROM NURSERY. HEEL IN IMMEDIATELY UPON DELIVERY IF NOT TO BE PLANTED WITHIN FOUR HOURS, COVERING WITH MOIST SOIL OR MULCH TO PROTECT FROM DRYING. STORE PLANTS IN SHADE AND PROTECT FROM WEATHER.
- PROTECTION FROM EXTREMES IN EXPOSURE AND ROUGH HANDLING SHALL BE PROVIDED FOR ALL PLANT MATERIALS DURING TRANSPORT AND STORAGE.
- THE CONTRACTOR SHALL NOTIFY THE OWNER 48 HOURS PRIOR TO PLANTING SO THAT A MUTUALLY AGREEABLE TIME MAY BE ARRANGED FOR INSPECTION.
- LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS WITH STAKES CENTERED AT PROPOSED PLANTING LOCATIONS FOR APPROVAL BY OWNER.
- DO NOT START PLANTING WORK UNTIL LAYOUT IS APPROVED BY THE OWNER.
- TO ENSURE PROPER INFILTRATION THE LANDSCAPE CONTRACTOR MUST PROVE THE OPEN SUB-GRADE OF ALL PLANTING AREAS AFTER THEIR EXCAVATION IS COMPACTED LESS THAN 200 PSI. THE OWNER OR OWNER'S REPRESENTATIVE MUST BE ONSITE DURING COMPACTION TESTING.
- ALL GRADED AREAS OF THE SITE THAT ARE DESIGNATED FOR SHRUBS, TREES AND PERENNIALS SHALL HAVE NO LESS THAN 12" OF SALVAGED TOPSOIL. IF ADDITIONAL TOPSOIL NEEDS TO BE IMPORTED IT SHALL BE TOPSOIL BORROW.
- TOPSOIL SHALL BE SALVAGED. LANDSCAPE CONTRACTOR TO COORDINATE WITH THE GENERAL CONTRACTOR AND EARTHWORK SUB-CONTRACTOR TO VERIFY TOPSOIL CONDITION. SEE TURF RESTORATION NOTES.

TURF RESTORATION NOTES

- EDGE RESTRAINT BETWEEN PLANTING BEDS AND TURF SHALL BE SURE-LOC STEEL EDGING OR APPROVED EQUAL, 3/16" X 4" X 16".
- THE ESTABLISHMENT PERIOD FOR SEED SHALL BEGIN IMMEDIATELY AFTER INSTALLATION, WITH THE APPROVAL OF THE OWNER, AND CONTINUE UNTIL THE DATE THAT THE OWNER PERFORMS A FINAL INSPECTION.
- TURF SEED SHALL BE OF A LOW MAINTENANCE VARIETY CONSISTING OF 60% FESCUE AND 40% KENTUCKY BLUEGRASS OR EQUAL. SUBMIT SEED MIX TYPE FOR OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- SEED TYPE A SHALL BE MNDOT SOUTHERN SHORTGRASS ROADSIDE (SSR) (35-221), APPLIED AT A RATE OF 20 LBS/AC. CONTRACTOR SHALL ADDITIONALLY APPLY MNDOT 21-111 OATS COVER CROP AT A RATE OF 20 LBS/AC.
- SEED TYPE B SHALL BE MNDOT WET DITCH MIX (33-261), APPLIED AT A RATE OF 20 LBS/AC. CONTRACTOR SHALL ADDITIONALLY APPLY MNDOT 21-11 OATS COVER CROP AT A RATE OF 20 LBS/AC.
- SEED SHALL BE MECHANICALLY DRILLED IN TWO OPPOSING DIRECTIONS.
- TURF SEED SHALL BE COVERED WITH A WEED FREE HYDROMULCH CONTAINING TACKIFIER.
- FERTILIZER SHALL HAVE A FORMULA (N-P-K) AS DETERMINED BY THE RESULTS OF A SOIL TEST.
- CONTRACTOR TO CONDUCT SOIL TEST AND PROVIDE RESULTS ALONG WITH RECOMMENDED FERTILIZER FORMULA TO OWNER FOR REVIEW AND APPROVAL PRIOR TO APPLICATION.
- TOPSOIL SHALL BE SALVAGED, IF ADDITIONAL TOP SOIL NEEDS TO BE IMPORTED, IT SHALL BE TOPSOIL BORROW.
- INSTALLATION OF SEED SHALL OCCUR WITHIN ONE (1) WEEK OF COMPLETING THE GRADING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR WATER DURING THE PLANTING ESTABLISHMENT PERIOD.
- 6" OF TOP SOIL SHALL BE PLACED IN ALL SEEDED AREAS (SIDE SLOPES AND BOTTOM OF STORM BASINS PER CIVIL PLANS). SEE LANDSCAPE NOTES FOR PLANTING AREAS. LANDSCAPE CONTRACTOR TO COORDINATE WITH THE GENERAL CONTRACTOR AND EARTHWORK SUB-CONTRACTOR TO VERIFY TOPSOIL CONDITION. ENSURE TOPSOIL CONFORMS TO ASTM D 5268, WITH A PH RANGE OF 5.5 TO 7.2, A MINIMUM OF 10 PERCENT ORGANIC MATERIAL CONTENT AND LESS THAN 30% CLAY; FREE OF STONE 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEIOUS MATERIAL HARMFUL TO PLANT GROWTH. CERTIFY THAT SOIL USED IS WITHIN ALLOWABLE TOLERANCES FOR SAFE PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND PULVERIZED BY A HARLEY RAKE OR EQUAL PRIOR TO PLANT INSTALLATION. IF IMPORTED SOIL IS NEEDED, IT SHALL BE TOPSOIL BORROW. GRADING AND EROSION CONTROL PER CIVIL PLANS AND SPECIFICATIONS.

IRRIGATION

THE IRRIGATION SYSTEM CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:

- COORDINATION WITH ALL OTHER TRADES.
- DETAILED DESIGN OF AN IRRIGATION SYSTEM TO INCLUDE ALL TURF SOD AND PLANT BED AREAS. DESIGN SHALL INCLUDE PIPE SIZING, HEAD SELECTION, LOCATIONS OF HEADS, ZONING, AND CONTROL SYSTEMS. DESIGN SHALL PROVIDE NO OVERSPRAY ONTO WALKS. IRRIGATION PLAN, DESIGN DETAILS AND PRODUCT SHEETS SHALL BE SUBMITTED TO THE ENGINEER AND OWNER FOR REVIEW AND APPROVAL PRIOR TO PURCHASING ANY MATERIALS.
- LABOR AND MATERIALS NECESSARY TO INSTALL A NEW IRRIGATION SYSTEM. THE IRRIGATION CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR FURNISHING AND INSTALLING THE IRRIGATION CONTROL SYSTEM ALONG WITH ANY CONNECTIONS MADE TO THE WATER SERVICE.
- TESTING OF THE COMPLETE IRRIGATION SYSTEM.
- STARTUP AND ADJUSTMENT OF THE SYSTEM.
- PROVIDE OWNER'S EMPLOYEES WITH OPERATIONAL TRAINING ONSITE AND SUBMIT OPERATION AND MAINTENANCE MANUALS FOR ALL COMPONENTS.
- AS-BUILT DRAWINGS SHOWING THE LOCATION AND FEATURES OF ALL IRRIGATION COMPONENTS.

CODES AND INSPECTION

- THE ENTIRE INSTALLATION SHALL FULLY COMPLY WITH ALL LOCAL AND STATE LAWS AND ORDINANCES AND WITH THE ESTABLISHED CODES ALLOCABLE THERETO.
- THE CONTRACTOR SHALL TAKE OUT ALL REQUIRED PERMITS, ARRANGE FOR ALL NECESSARY INSPECTION, AND PAY ANY FEES AND EXPENSES IN CONJUNCTION WITH THE SAME AS PART OF THE WORK UNDER THIS CONTRACT.

QUALITY ASSURANCE

- ALL WORK AND MATERIALS TO BE IN FULL ACCORDANCE WITH LATEST RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY, THE UNIFORM PLUMBING CODE, NATIONAL ELECTRIC CODE, AMERICANS WITH DISABILITIES, AND OTHER APPLICABLE LAWS OR REGULATION.
- NOTHING IN THESE DRAWINGS OR SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
- FURNISH, WITHOUT EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR AS REQUIRED TO COMPLY WITH THESE RULES AND REGULATIONS, THOUGH THE WORK IS NOT MENTIONED IN THESE PARTICULAR CONSTRUCTION DOCUMENTS.

COORDINATION

- SCHEDULE AND COORDINATE WORK WITH OTHER TRADES TO FACILITATE WORK AND AVOID CONFLICTS IN CONSTRUCTION SEQUENCE AND EQUIPMENT INSTALLATION.
- REVIEW ENTIRE PLAN SET AND COORDINATE WITH OTHER TRADES AS REQUIRED BY SEQUENCE OF CONSTRUCTION TO ENSURE PROVISION OF MAINLINE AND ELECTRICAL CONDUIT STUB-OUTS AT ALL REQUIRED LOCATIONS.

SEED TYPE A & B - NATIVE SEED REQUIRED MAINTENANCE - 3 YEARS

- ESTABLISHMENT (SPRING SEEDING):
- PREPARE SITE - LATE APRIL - MAY.
 - SEED - MAY 1 - JUNE 1
- MAINTENANCE:
- MOW (TO 6-8 INCHES) - EVERY 30 DAYS AFTER PLANTING UNTIL SEPTEMBER 30.
 - WEED CONTROL - MOWING SHOULD HELP CONTROL ANNUAL WEEDS. SPOT SPRAY THISTLES ETC.
- ESTABLISHMENT (FALL SEEDING):
- PREPARE SITE - LATE AUGUST - EARLY SEPTEMBER.
 - SEED - LATE SEPTEMBER TO FREEZE-UP.
- MAINTENANCE (FOLLOWING SEASON):
- MOW (TO 6-8") - ONCE IN MAY, JUNE AND JULY.
 - WEED CONTROL - MOWING SHOULD KEEP ANNUAL WEEDS DOWN. SPOT SPRAY THISTLES ETC.

- EVALUATION:
- COVER CROP GROWING WITHIN 2 WEEKS OF PLANTING (EXCEPT DORMANT PLANTINGS).
 - SEEDLINGS SPACED 1-6 INCHES APART IN DRILL ROWS.
 - GENERAL GRASS AND FORB SEEDLINGS MAY ONLY BE 4-6 INCHES TALL.
 - IF THERE IS A FLUSH OF GROWTH FROM FOXTAIL ETC., MOW AS NECESSARY TO KEEP LIGHT TO GROUND FOR GENERAL SEEDLINGS.
- YEAR 2 - MAINTENANCE:
- MOW (TO 6-8 INCHES) ONE TIME BETWEEN JUNE 1 - AUGUST 15 BEFORE WEEDS SET SEED.
 - WEED CONTROL - SPOT MOWING SHOULD KEEP ANNUAL WEEDS DOWN. SPOT SPRAY THISTLES ETC.
 - SOME SITES MAY NOT REQUIRE MUCH MAINTENANCE THE SECOND YEAR.
- EVALUATION:
- COVER CROP WILL BE GONE UNLESS WINTER WHEAT WAS USED IN A FALL PLANTING.
 - GRASSES FORMING CLUMPS 1-6 INCHES APART IN DRILL ROWS, BUT STILL SHORT. AT LEAST 1 SEEDED GENERAL PLANT ESTABLISHED PER SQUARE FOOT.
 - SOME FLOWERS SHOULD BE BLOOMING (BLACK EYED SUSANS, BERGAMOT ETC.).
 - IF THERE IS A FLUSH OF GROWTH FROM FOXTAIL ETC., MOW SITE.
- YEAR 3 - MAINTENANCE:
- MOW ONLY IF NECESSARY FOR WEED CONTROL.
 - WEED CONTROL - SPOT SPRAY THISTLES, WEED TREE SEEDLINGS, ETC.
 - SITES USUALLY DO NOT REQUIRE MUCH MAINTENANCE THE THIRD YEAR.
- EVALUATION:
- PLANTING SHOULD BEGIN LOOKING LIKE A PRAIRIE - TALL GRASSES, FLOWERS ETC.
- LONG-TERM -MAINTENANCE:
- WEED CONTROL - SPOT SPRAY THISTLES, WEED TREE SEEDLINGS, ETC.
 - DORMANT MOW (3-4 YEAR ROTATION) LATE SPRING.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
EVERGREEN TREES						
	AK	19	ABIES KOREANA	KOREAN FIR	B&B	6' HT.
	PA	13	PICEA ABIES	NORWAY SPRUCE	B&B	6' HT.
	PD	31	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B&B	6' HT.
OVERSTORY TREES						
	AR2	5	ACER RUBRUM 'RED ROCKET'	RED ROCKET MAPLE	B&B	2.5"
	BR	3	BETULA NIGRA	RIVER BIRCH CLUMP	B&B	2.5"
	CO2	6	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B&B	2.5"
	QN	17	QUERCUS ROBUR X BICOLOR 'NADLER'	KINDRED SPIRIT® OAK	15 GAL	2.5"
UNDERSTORY TREES						
	SS	5	SYRINGA RETICULATA PEKINENSIS 'SUNDAK'	COPPER CURLS® PEKING LILAC	B&B	2"
SHRUBS						
	CB	18	CORNUS SERICEA 'BAILEY'	BAYLEY'S RED TWIG DOGWOOD	3 GAL	
	DL	17	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	3 GAL	
	HA	8	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	3 GAL	
	HL	6	HYDRANGEA PANICULATA 'SMPHLPQ'	LITTLE QUICK FIRE® PANICLE HYDRANGEA	3 GAL	
	JH	12	JUNIPERUS CHINENSIS 'HETZII COLUMNARIS'	HETZI COLUMN JUNIPER	10 GAL	
	JF	34	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL	
	TA	13	THUJA OCCIDENTALIS 'ART BOE'	NORTH POLE® ARBORVITAE	10 GAL	
ORNAMENTAL GRASSES						
	CO	47	CALAMAGROSTIS X ACUTIFLORA 'OVERDAM'	OVERDAM FEATHER REED GRASS	1 GAL	
	SH	44	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	1 GAL	
PERENNIALS						
	HO	42	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL	

* SHRUBS SHALL BE A MINIMUM OF 24" HEIGHT AT TIME OF INSTALLATION.



733 MARQUETTE AVE
SUITE 1000
MINNEAPOLIS, MN 55402
PHONE: 612-712-2000
WWW.STANTEC.COM

CLIENT:



PROJECT BLACK BEAR
CITY OF LAKEVILLE, DAKOTA COUNTY
MINNESOTA

PROJECT TITLE

DATE	DESCRIPTION	ISSUE NO.
03/02/2026	CITY SUBMITTAL	1
03/18/2026	PRELIMINARY BID SET	2
04/03/2026	CITY RESUBMITTAL	3

CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Mark P. Wisker
MARK P. WISKER
LICENSE NO.: 56541
EXPIRES: 02/26/2026

PROJECT NO.: 190300673

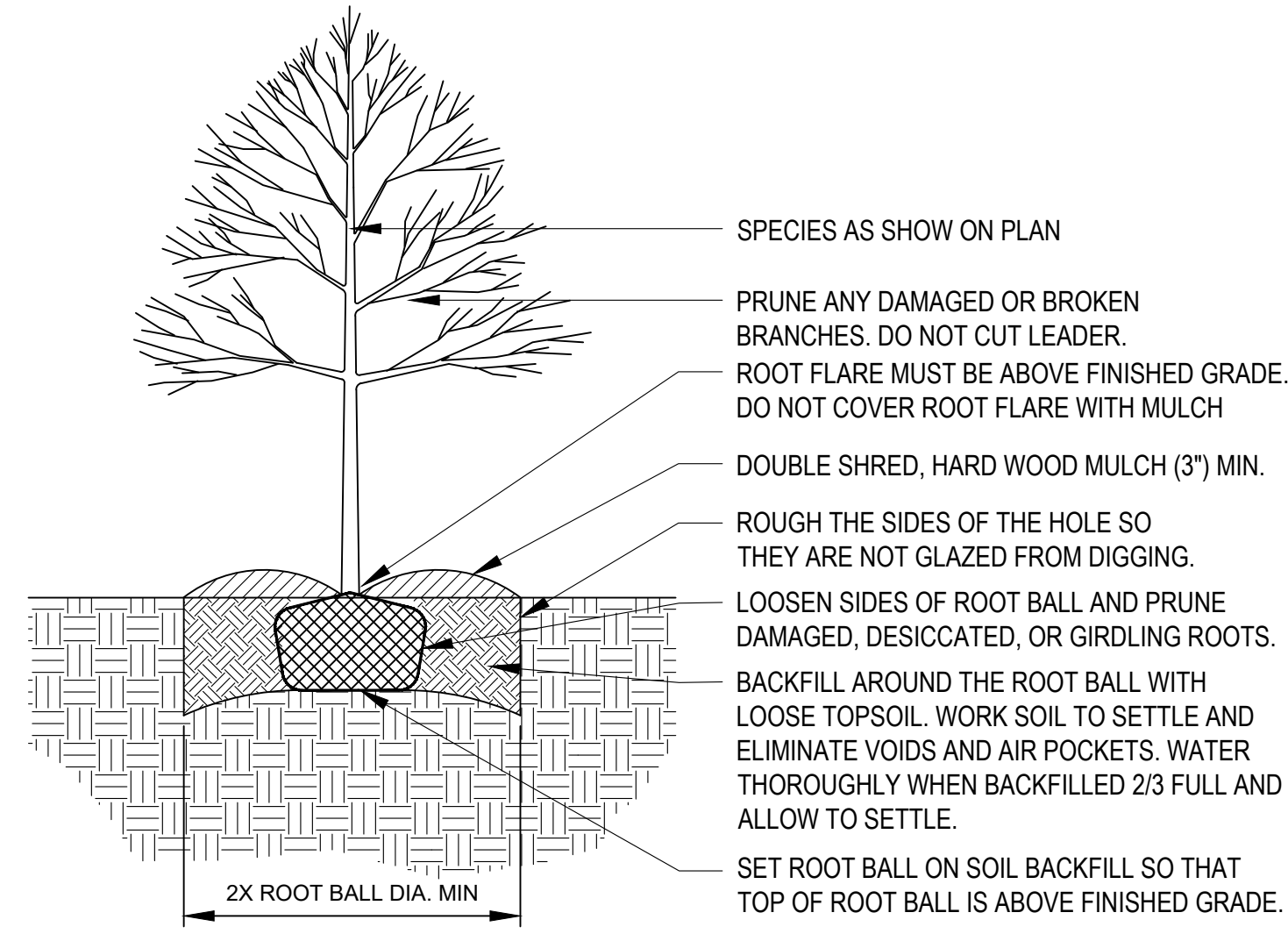
DWN BY: JRL CHK'D BY: YMK APP'D BY: PWS

ISSUE DATE: 04/03/2026

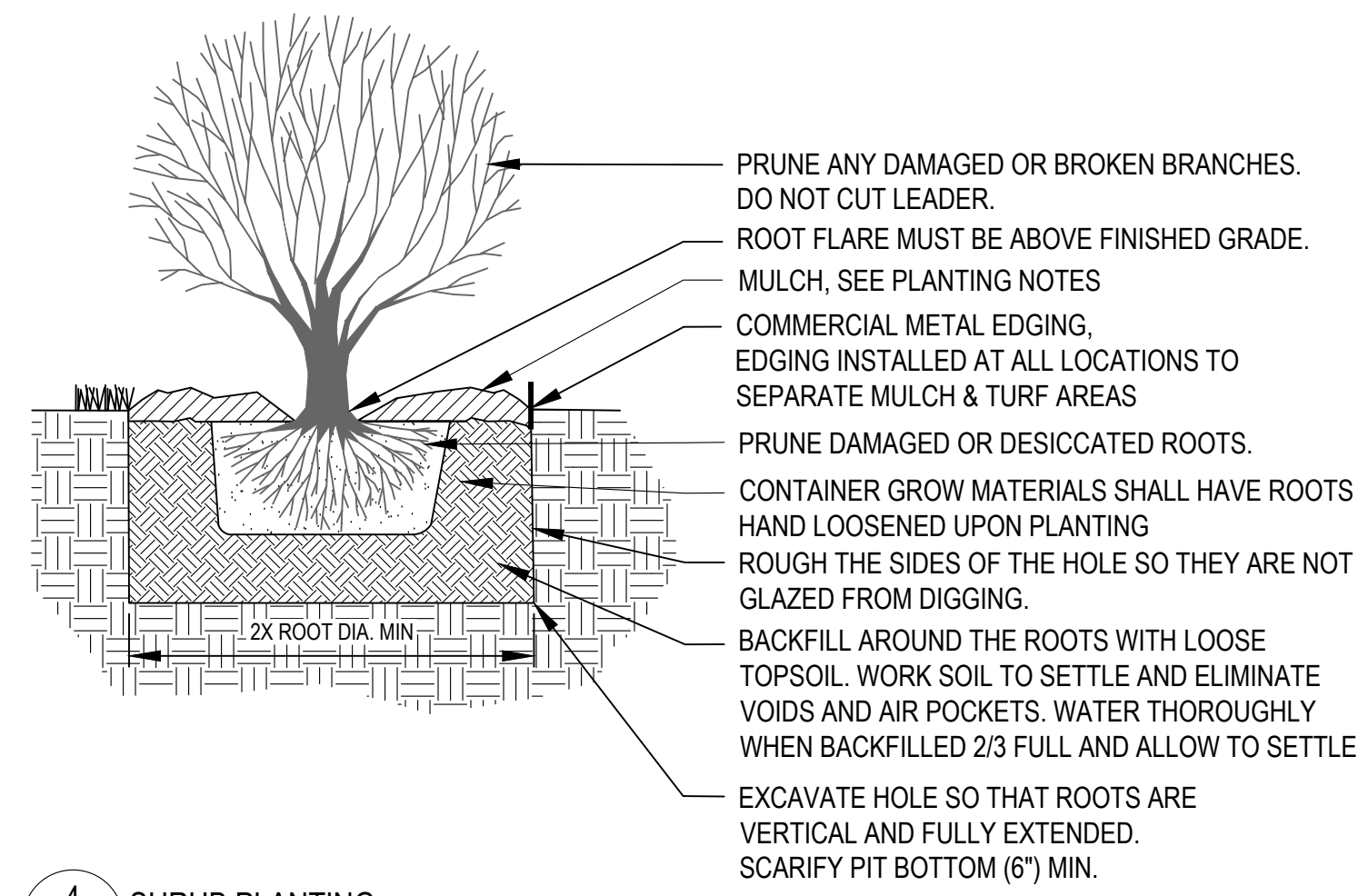
ISSUE NO.: 3

SHEET TITLE:
LANDSCAPE DETAILS

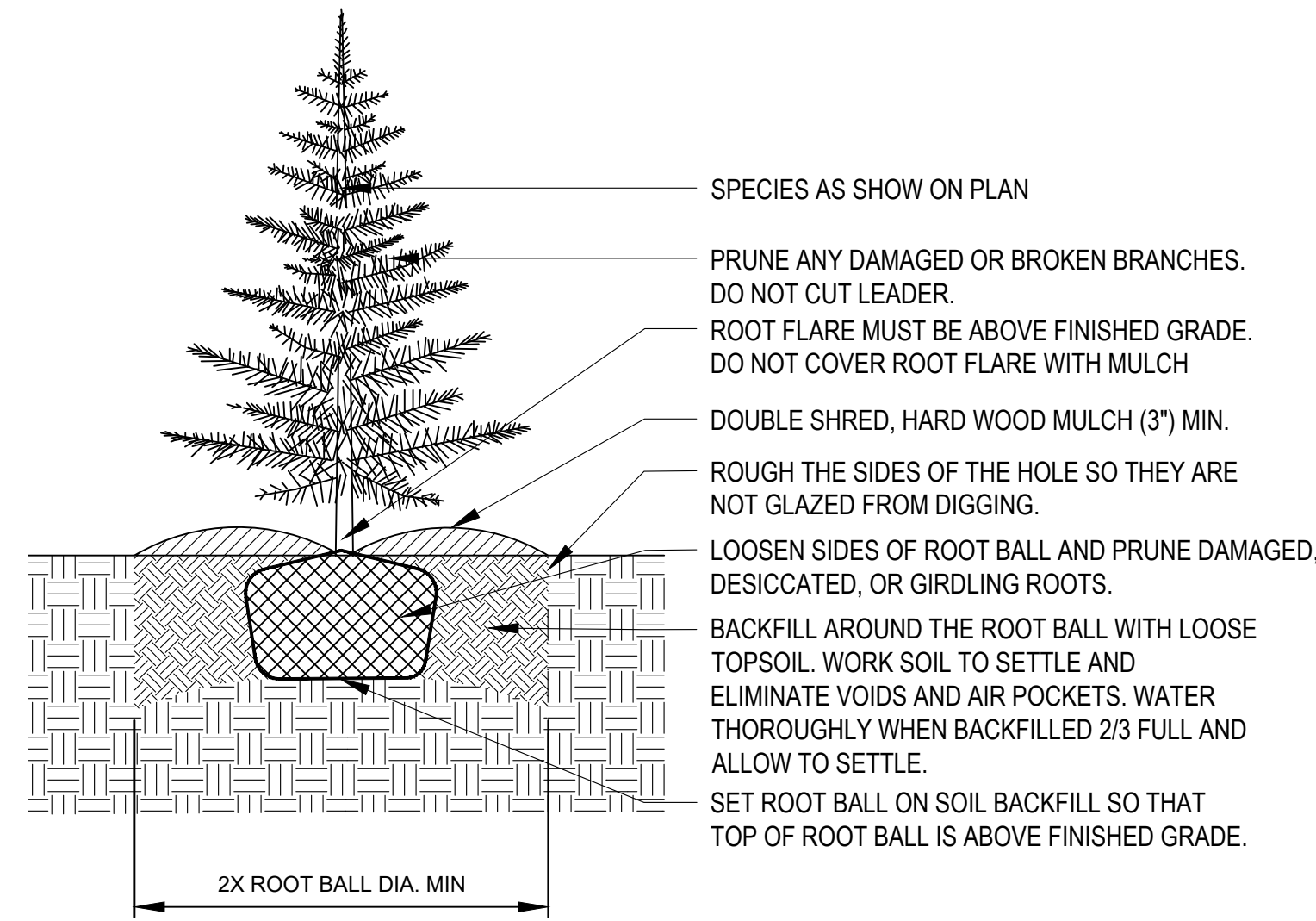
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L-801



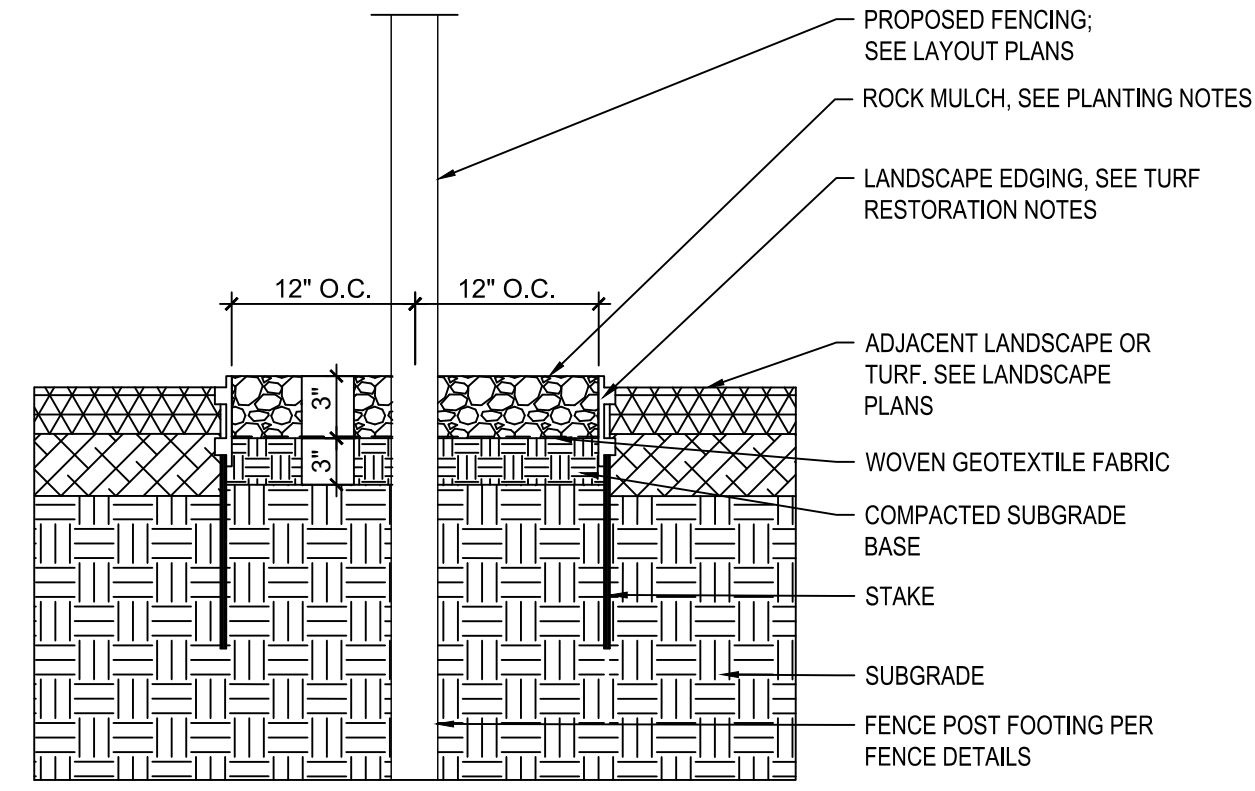
1 DECIDUOUS TREE PLANTING
L-802 NOT TO SCALE



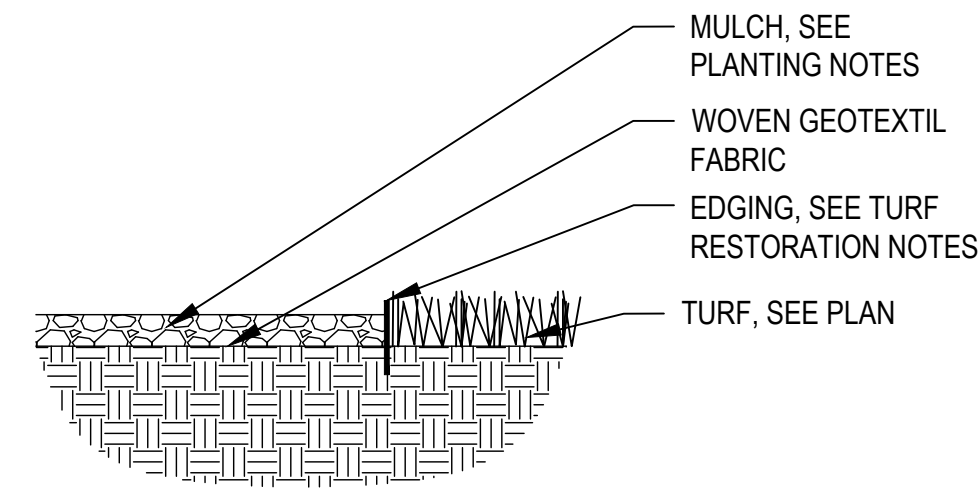
4 SHRUB PLANTING
L-802 NOT TO SCALE



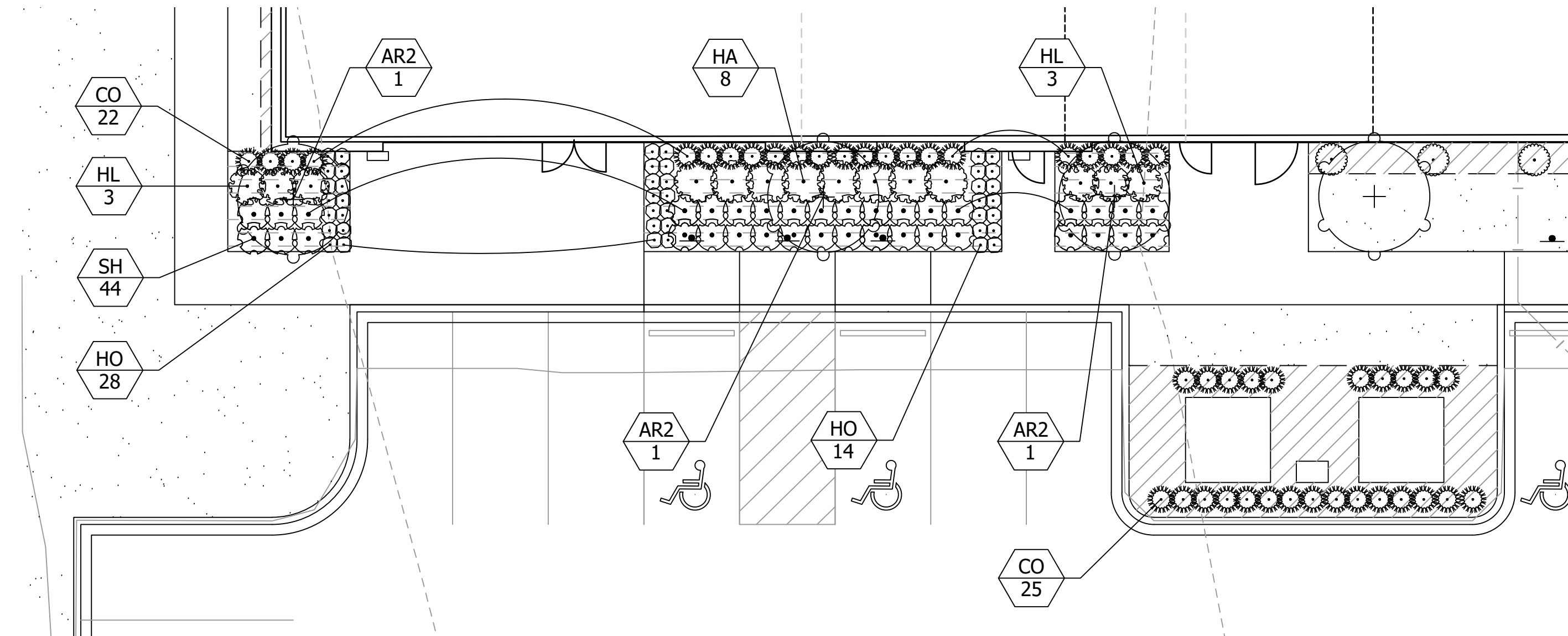
2 CONIFEROUS TREE PLANTING
L-802 NOT TO SCALE



5 AGGREGATE MAINTENANCE STRIP AT FENCELINE
L-802 NOT TO SCALE



3 MULCH WITH EDGER
L-802 NOT TO SCALE



6 LANDSCAPE PLAN ENLARGEMENT
L-802 1"=10'

CLIENT:

PROJECT TITLE

ISSUE NO.:

1

2

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DATE:

03/02/2026

03/18/2026

04/03/2026

CITY SUBMITTAL

PRELIMINARY BID SET

CITY RESUBMITTAL

CITY SUBMITTAL

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MARK P. J. [Signature]

MARK P. J.

LICENSE NO.: 56541

DATE: 02/26/2026

PROJECT NO.: 190300673

DWN BY: JRL

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APP'D BY: PWS

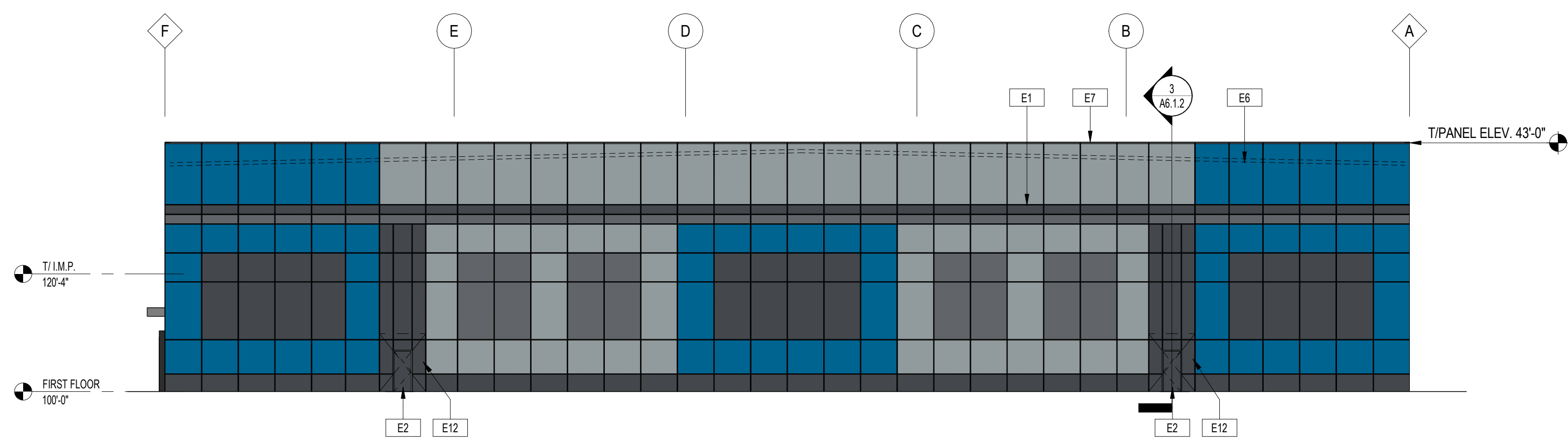
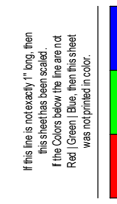
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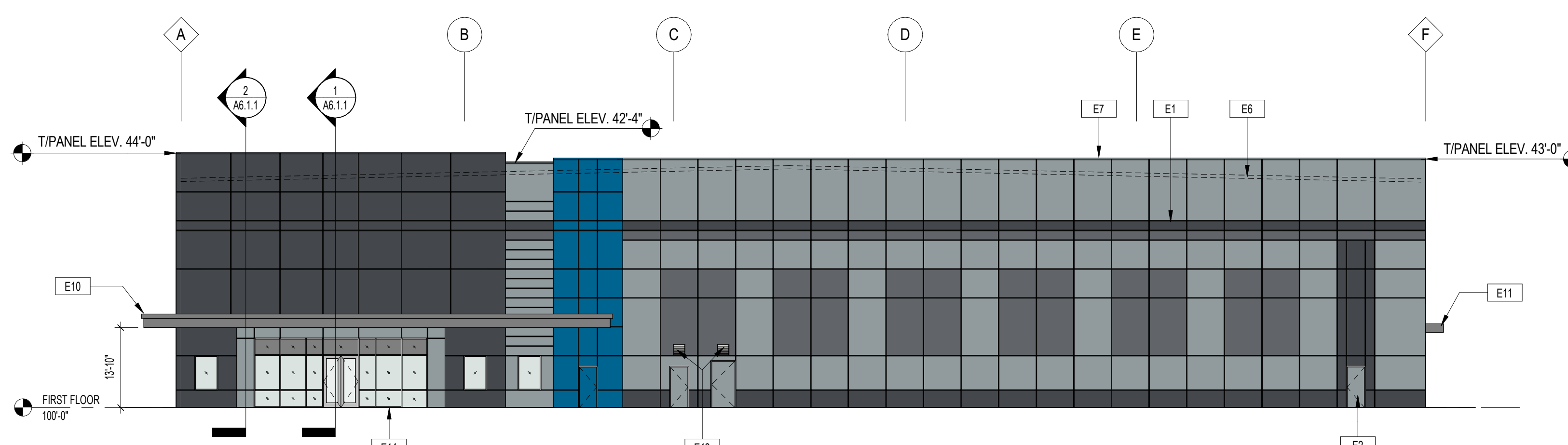
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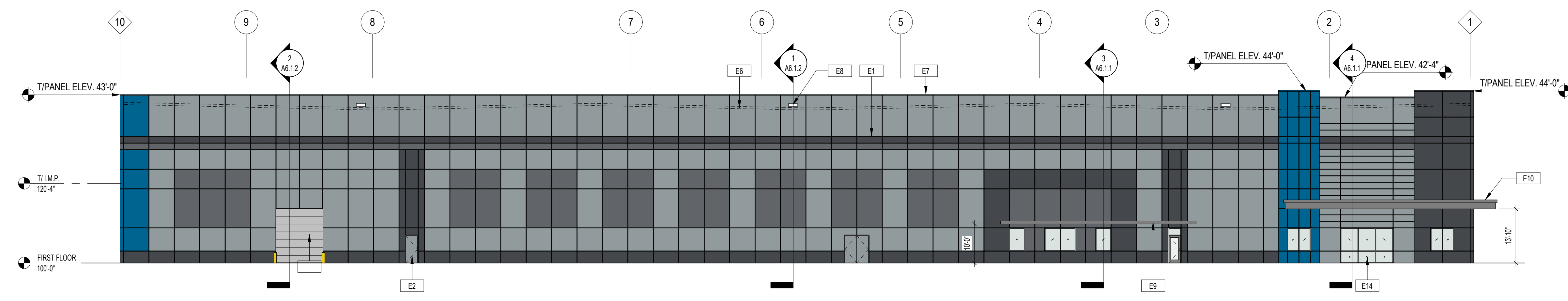
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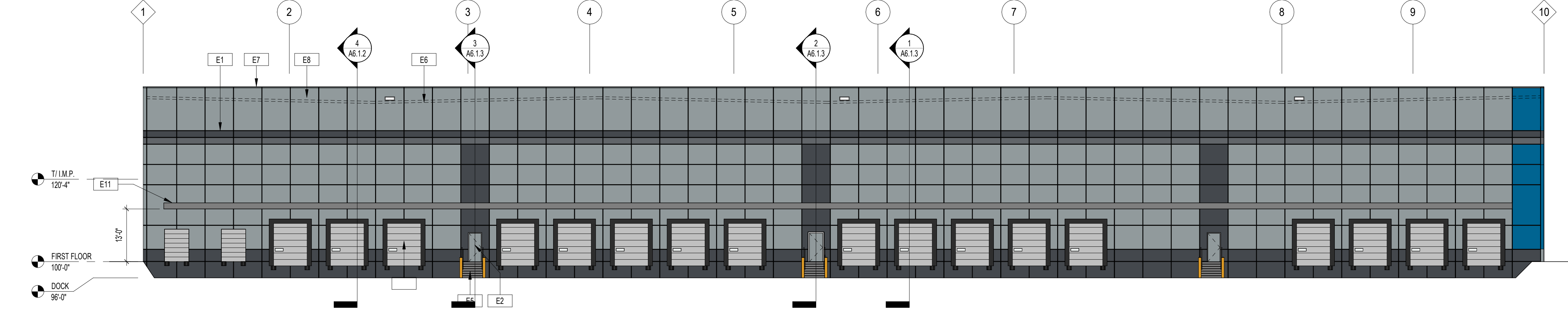
3 NORTH ELEVATION
A5.1.1 1/16" = 1'-0"



4 SOUTH ELEVATION
A5.1.1 1/16" = 1'-0"



1 WEST ELEVATION
A5.1.1 1/16" = 1'-0"



2 EAST ELEVATION
A5.1.1 1/16" = 1'-0"

- ### ELEVATION GENERAL NOTES
- HEIGHT OF ALL WALLS, ROOFS, AND PARAPETS SHOWN ON ELEVATIONS ARE TAKEN FROM THE BUILDING FINISH FLOOR (ELEVATION 100'-0").
 - ALL ELEVATION HEIGHTS ARE SHOWN TO TOP OF CONCRETE PANEL / BOTTOM OF WOOD BLOCKING.
 - VERIFY GRADES AND BUILDING LINE WITH CIVIL DRAWINGS.
 - PAINT ALL EXTERIOR ELECTRICAL EQUIPMENT, BOXES, AND CONDUIT TO MATCH ADJACENT WALL SURFACE.
 - PAINT ALL EXTERIOR HOLLOW METAL DOORS AND FRAMES TO MATCH ADJACENT WALL SURFACE.
 - DO NOT PAINT ANY EXTERIOR PREFINISHED MATERIAL.
 - GENERAL CONTRACTOR TO VERIFY AND COORDINATE ALL DOCK EQUIPMENT AND SIGNAGE WITH OWNER.

ELEVATION COLOR LEGEND

ALL MANUFACTURERS LISTED BELOW ARE A BASIS OF DESIGN. ALTERNATE MANUFACTURER AND COLORS WILL BE ACCEPTED IF APPROVED BY OWNER AND ARCHITECT.

EPT-1	PAINTED CONCRETE WALL PANEL MEDIUM TEXTURED SHERWIN WILLIAMS - SW9143 - CADET
EPT-2	PAINTED CONCRETE WALL PANEL MEDIUM TEXTURED SHERWIN WILLIAMS - SW7075 - WEB GRAY
EPT-3	PAINTED CONCRETE WALL PANEL MEDIUM TEXTURED SHERWIN WILLIAMS - SW7076 - CYBERSPACE
EPT-4	PAINTED CONCRETE WALL PANEL MEDIUM TEXTURED BLUE ACCENT (RGB: 0,100,145) EXACT COLOR TO BE PROVIDED BY OWNER
///	1" INSULATED TINTED, VISION GLASS
///	1" INSULATED SPANDREL GLASS

KEYNOTE LEGEND

E1	INSULATED PRECAST CONCRETE PANELS WITH REVEALS (PAINTED)
E2	PERSONNEL DOOR AND FRAME
E5	DOCK STAIR WITH HANDRAILS AND GUARDRAILS, ALL EXPOSED STEEL TO BE GALVANIZED
E6	DASHED LINE REPRESENTS ROOF BEYOND - SHOWN FOR REFERENCE ONLY
E7	PREFINISHED METAL COPING CAP - COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD COLOR OPTIONS
E8	PREFINISHED GALVANIZED METAL OVERFLOW SCUPPER
E9	PREMANUFACTURED METAL CANOPY
E10	ENTRANCE CANOPY - ALUMINUM COMPOSITE ACCENT PANEL "ALUCOBOND - DUSTY CHARCOAL II" AS BASIS OF DESIGN
E11	PREMANUFACTURED DOCK CANOPY (DEPTH NOT TO EXCEED 3'-11")
E12	KNOCKOUT PANEL FOR FUTURE OPENING
E13	PREFINISHED METAL LOUVER, ROUGH OPENING TO BE 1" LARGER THAN OVERALL DIMENSION OF LOUVER (TYP.)
E14	GLAZING IN PREFINISHED, THERMALLY-BROKEN STOREFRONT SYSTEM

GMA
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CIVIL
Santec Consulting Services
733 Marquette Ave, Suite 1000
Minneapolis, MN 55402

STRUCTURAL
Richard Adams Engineers
7930 Clayton Road, Suite 300
Richmond, Heights, MO 63117

PROJECT
PROJECT BLACKBEAR
215th Street West
Lakeville, MN 55044

NOT FOR
CONSTRUCTION

GMA JOB NO: GA1972
ARCO JOB NO: N694
DRAWN BY: AB
ISSUE DATE:

REVISIONS:

#	DESCRIPTION	DATE

SHEET NUMBER
A5.1.1
OVERALL EXTERIOR ELEVATIONS

EXHIBIT J

To: Kris Jenson
 20195 Holyoke Avenue, Lakeville, MN,
 55044

From: Patrick Sveum
 Minneapolis

Project/File: 190300673 Date: April 3, 2026

Reference: Project Blackbear City Submittal Package Application (REV-1)

The proposed development supports a 24-hour operational facility with multiple overlapping shifts, centralized Team Member parking, internal training functions, and high-volume logistics activity. Parking demand is driven by peak shift overlap, daytime leadership presence, periodic training events, and future staffing growth associated with planned building expansion, rather than a single-shift or traditional office use. The following narrative and tables quantify and justify the required auto and trailer parking supply.

Operational Staffing and Peak Auto Parking Demand

The facility operates continuously with three primary work shifts and rotating site leadership. While total staffing is distributed across the day, overlap between shifts results in peak parking demand during daytime hours. In addition to shift-based staff, approximately 10 site leaders rotate among shifts but are predominantly onsite during the 8:00 AM daytime window.

Shift Start Time	Shift Duration	Team Members per Shift
12:00 AM-10:00 AM	10 hours	20
8:00 AM-6:00 PM	8–10 hours	30
3:00 PM-1:00 AM	8–10 hours	18
Subtotal	—	68

Peak Shift Overlap and Auto Parking Demand (No Training Event)

The highest parking demand occurs during daytime overlap periods, when incoming, outgoing, and leadership staff are present concurrently. This condition represents a realistic worst-case daily scenario for auto parking and is used as the baseline for determining required stall counts.

Category	Estimated Vehicles
8:00 AM-6:00 PM Shift Staff	30
Site Leadership	10
Partial Overlap – Overnight Shift	5
Partial Overlap – Afternoon Shift	5
Estimated Peak Demand	50 vehicles

Internal Training Events and Temporary Parking Surge

The site hosts quarterly internal training sessions that temporarily increase parking demand. These training courses are operationally necessary and occur onsite for efficiency. They include up to 25 team members for a duration of 1-5 business days and primarily occur during daytime operations. Although training-related demand is temporary, parking must be available onsite to prevent overflow into truck circulation areas or off-site locations.

Category	Estimated Vehicles
Baseline Peak Demand	50
Training Participants	25
Total Peak Demand During Training	75 vehicles

Future Building Expansion and Long-Term Parking Needs

A future 25,000-square-foot building expansion is planned and is anticipated to consist of additional warehousing space. This expansion will result in incremental hiring of Team Members, and therefore increased parking demand beyond initial the needs. Providing these stalls now ensures long-term site functionality and avoids future operational impacts. Although all the parking for the future expansion is not required on Day 1, it is preferred to be constructed as part of the initial development due to:

- Centralized parking requirements for safety and security
- Avoidance of phased construction in active operational areas
- Minimizing disruption to Team Members and site circulation

Item	Assumption
Expansion Area	25,000 SF
Use Type	Warehouse / Operations
Estimated Additional Staff	15–25 Team Members
Additional Auto Parking Demand	15–25 stalls
Total Peak Demand During Training	100 vehicles

Trailer Parking Supply and Daily Utilization

Trailer parking is an essential component of daily operations and must be fully accommodated onsite to maintain safe circulation and efficient loading activities. Dedicated trailer stalls prevent encroachment into drive aisles and employee parking areas and are necessary to support ongoing logistics operations. Industry-standard design practices include offsetting perimeter fencing from the back of curb to allow for

Reference: Project Blackbear City Submittal Package Application

trailer overhang when drivers back wheels to the curb, avoiding fence conflicts. Given the industrial setting and the long-term storage of trailers, a gravel surface is more appropriate and maintainable than turf. The area behind the back of curb will not be used by vehicles or pedestrians and is not intended for storage.

Trailer Type	Quantity	Rotation Frequency
Cart Trailers (Permanent)	8	Remain onsite
Pallet Trailers	2	Rotate ~2x/week
Box Trailers	2	Daily rotation
Domino's Trailers	24	Daily rotation
Vendor Inbound Trailers	7-10	Daily rotation
Total Trailers Onsite (Typical Day)	43-46	—
Future growth/demand	14-17	
Total Proposed	60	

As demonstrated above, the proposed number of auto and trailer parking is based on operational demand, including:

- Peak shift overlap conditions
- Leadership staffing patterns
- Periodic internal training events
- Centralized parking for safety
- High-volume trailer activity
- Anticipated future staffing from planned expansion

The requested number of auto and trailer parking stalls is necessary and appropriate for the proposed use and represents a proactive approach to operational safety, efficiency, and long-term site functionality. Constructing the full parking buildout as part of the initial development minimizes future disruption and ensures the site operates as intended from both a short-term and long-term perspective.

Reference: Project Blackbear City Submittal Package Application

Parking Requirements based on building use

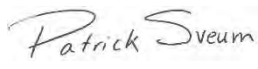
BUILDING USE	TOTAL BLDG AREA (SF)	90% BLDG AREA (SF)	CODE REQ.	# OF PARKING STALLS
OFFICE	7,533.00	6,779.70	4 SPACES/1,000 SF	27.12
MANUFACTURING	13,225.00	11,902.50	1 SPACE/600 SF	19.84
WAREHOUSE	53,673.00	48,305.70	1 SPACE/2,000 SF	24.15
FUTURE WAREHOUSE	24,726.00	22,253.40	1 SPACE/2,000 SF	11.13
TOTAL	99,157.00	89,241.30	-	82.24

The project design is proposing a total of 142 employee parking spaces, which consists of 137 standard spaces and 5 ADA accessible spaces. This results in a 171.1% of the calculated code minimum requirement and 39 parking spaces over the 125% code maximum which is triggering the CUP application.

PROPOSED CUP APPLICATION DESIGN			
PARKING CALCULATIONS	REQUIRED SPACES	PROPOSED	PERCENT
STANDARD SPACES	79	137	-
ADA SPACES	4	5	-
TOTAL SPACES	83	142	171.1%
CODE MAX WITHOUT CUP (125%)	83	103	124.1%
DELTA OF SPACES OVER 125%	-	39	47.0%

Best regards,

Stantec Consulting Services Inc.



Patrick Sveum P.E. (MN)
 Senior Associate, Civil Engineer
 Phone: 952-334-3933
 patrick.sveum@stantec.com

stantec.com



Dakota County Surveyor's Office

Western Service Center • 14955 Galaxie Avenue • Apple Valley, MN 55124
952.891-7087 • Fax 952.891-7127 • www.co.dakota.mn.us

April 9, 2026

City of Lakeville
20195 Holyoke Ave.
Lakeville, MN 55044

Re: **INTERSTATE SOUTH LOGISTICS PARK FOURTH ADDITION**

The Dakota County Plat Commission met on April 8, 2026, to consider the preliminary plat of the above referenced plat. The plat is adjacent to CSAH 70 (215th St.) and is therefore subject to the Dakota County Contiguous Plat Ordinance.

The proposed plat is a replat for two lots and one outlot. The eastern lot is an industrial building, and the western lot along Jacquard Avenue is planned for a Kwik Trip site. The right-of-way needs are 75 feet of half right of way along CSAH 70 for a 4-lane divided roadway, which have been met. Access spacing along CSAH 70 for a future principal arterial roadway are ½ mile full access and ¼-mile access for restricted access locations. Access to site will be from Jacquard Avenue and 217th Street West. Restricted access should be shown along all of Lots 1 and 2 along CSAH 70. A quit claim deed to Dakota County for restricted access is required with the recording of the plat mylars. As noted, a city sidewalk is recommended along Jacquard to the CSAH 70 intersection for the Kwik Trip site. As discussed, the County Transportation/Traffic Department will evaluate and determine if a traffic study is necessary.

The Plat Commission has approved the preliminary plat provided that the described conditions are met. The Ordinance requires submittal of a final plat for review by the Plat Commission before a recommendation is made to the County Board of Commissioners.

Traffic volumes on CSAH 70 are 9,700 ADT and are anticipated to be 18,000 ADT by the year 2040.

No work shall commence in the County right of way until a permit is obtained from the County Transportation Department and no permit will be issued until the plat has been filed with the County Recorder's Office. The Plat Commission does not review or approve the actual engineering design of proposed accesses or other improvements to be made in the right of way. Nothing herein is intended to restrict or limit Dakota County's rights with regards to Dakota County rights of way or property. The Plat Commission highly recommends early contact with the Transportation Department to discuss the permitting process which reviews the design and may require construction of highway improvements, including, but not limited to, turn lanes, drainage features, limitations on intersecting street widths, medians, etc. Please contact TJ Bentley regarding permitting questions at (952) 891-7115 or Todd Tollefson regarding Plat Commission or Plat Ordinance questions at (952) 891-7070.

Sincerely,

A handwritten signature in black ink that reads "Todd B. Tollefson".

Todd B. Tollefson
Secretary, Plat Commission

c: Jake Kurth, Scannell

EXHIBIT L

CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA

CONDITIONAL USE PERMIT
FINDINGS OF FACT AND RECOMMENDATION

On May 7, 2026, the Lakeville Planning Commission met at its regularly scheduled meeting to consider a conditional use permit to exceed 125% of the minimum parking stalls required by the Zoning Ordinance as shown on Lot 2, Block 1, Interstate south Logistics Park Fourth Addition. The Planning Commission conducted a public hearing on the proposed conditional use permit preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The property is located in Planning District No. 6 of the 2040 Comprehensive Land Use Plan, which guides the property for warehouse/light industrial uses.
2. The property is currently zoned I-1, Light Industrial District.
3. The legal description as shown on the preliminary plat is:

Lot 2, Block 1, Interstate South Logistics Park Fourth Addition, Dakota County, Minnesota

4. Section 11-4-3E of the City of Lakeville Zoning Ordinance provides that a conditional use permit may not be issued unless certain criteria are satisfied. The criteria and our findings regarding them are:
 - a. **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.**

Finding: The proposed additional parking spaces are to accommodate overlapping work shifts and on-site training that occurs as well as to accommodate a future building addition. The proposed use is consistent with the 2040 Comprehensive Land Use Plan and the District 6 recommendations of the Comprehensive Plan.

- b. **The proposed use is or will be compatible with present and future land uses of the area.**

Finding: Provided compliance with the conditional use permit, the number of proposed parking spaces will be consistent with Zoning Ordinance requirements for the full buildout of the building.

- c. **The proposed use conforms with all performance standards contained in the Zoning Ordinance.**

Finding: The proposed use is a permitted use in the I-1, Light Industrial District and the site is proposed to be developed in accordance with requirements contained in the Zoning Ordinance and the City Code.

- d. **The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.**

Finding: The subject property lies within the current MUSA and the property can be served with public sanitary sewer and water services. The use of the property as an industrial warehouse will have no impact on the City's service capacity.

- e. **Traffic generation by the proposed use is within capabilities of streets serving the property.**

Finding: Anticipated traffic generated by the industrial office/manufacturing/warehouse building is within the capabilities of all public streets serving the property. Dakota County Plat Commission has reviewed and approved the plat.

- 5. The planning report dated April 28, 2026 prepared by Kris Jenson, Planning Manager is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the conditional use permit conditioned upon compliance with the planning report prepared by Kris Jenson, Planning Manager dated April 28, 2026.

DATED: May 7, 2026

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair



Memorandum

To: Kris Jenson, Planning Manager

From: Chloe Anderson, Civil Engineer
McKenzie L. Cafferty, Environmental Resources Manager
Joe Masiarchin, Parks and Recreation Director
Zach Jorgensen, City Forester

Copy: Zach Johnson, City Engineer
Jon Nelson, Assistant City Engineer
Julie Stahl, Finance Director
Dave Mathews, Building Official

Date: April 30, 2026

Subject: Interstate South Logistics Park Fourth Addition

- Preliminary Plat Review
- Preliminary Erosion and Sediment Control Plan Review
- Preliminary Grading and Drainage Plan
- Preliminary Utility Plan Review
- Preliminary Tree Preservation Plan Review

BACKGROUND

Scannell Properties #496, LLC has submitted a preliminary plat named 'Interstate South Logistics Park Fourth Addition', also known as 'Project Black Bear', and plans to construct a cold storage facility with loading docks and a parking lot. The proposed subdivision is located south of 215th Street (CSAH 70) and east of Jacquard Avenue. The parent parcels consist of Outlot A & B, Interstate South Logistics Park and Outlot A, Interstate South Logistics Park Third Addition, zoned I-1, Light Industrial.

The preliminary plat consists of two (2) lots within one (1) blocks and one (1) outlot on 37.90 acres.

The outlot created with the preliminary plat shall have the following use:

Outlot A (20.90 acres): Future development; to be retained by the Developer

The proposed development will be completed by:

Developer: Scannell Properties, Inc.
Engineer/Surveyor: Stantec Consulting Services, Inc.

SITE CONDITIONS

The Interstate South Logistics Park Fourth Addition site is undeveloped. A majority of the property was mass graded with the development of Interstate South Logistics Park Third Addition. Two wetlands were identified within the parent parcels and have been previously delineated and mitigated. The land generally slopes from the west to the east.

The site is bounded by 215th Street (CSAH 70) to the north, Jacquard Avenue to the east, and 217th Street to the south. Existing public infrastructure is available adjacent to the site, including watermain, sanitary sewer, and storm sewer facilities.

EASEMENTS

Several easements for communication, gas pipeline, transmission line, highway, and utility purposes exist across the parent parcels and will remain with the development improvements.

The existing drainage and utility easement, recorded as Document No. 3419355, shall be vacated with the preliminary plat and reestablished with the final plat. Perimeter drainage and utility easements shall be provided with the preliminary and final plat in accordance with City Ordinance requirements.

SPECIAL ASSESSMENTS

No special assessments have been identified related to the subject preliminary plat boundary.

STREET AND SUBDIVISION LAYOUT

215th Street (CSAH 70)

Interstate South Logistics Park Fourth Addition is located south of and adjacent to 215th Street, a Principal Arterial roadway as identified in the City's Comprehensive Transportation Plan. 215th Street adjacent to the site is a four-lane divided rural roadway. The current Dakota County Plat Review Needs Map indicates a half right-of-way requirement of 75-feet adjacent to the plat. The preliminary plat was reviewed by the Dakota County Plat Commission at its April 8, 2026 meeting.

Jacquard Avenue

Interstate South Logistics Park Fourth Addition is located east of and adjacent to Jacquard Avenue, a major collector as identified in the City's Comprehensive Transportation Plan.

Jacquard Avenue is constructed adjacent to the plat as a 40-ft wide rural roadway with paved shoulders within a 100-foot right-of-way. Jacquard Avenue provides a signalized access intersection to 215th Street for the industrial development area.

217th Street

Interstate South Logistics Park Fourth Addition is located north of and adjacent to 217th Street a minor collector roadway as identified in the City's Transportation Plan. 217th Street has been constructed as 40-ft wide rural section roadway to promote infiltration and stormwater treatment within 80-ft of right-of-way. Two driveway access points are proposed from 217th Street.

CONSTRUCTION ACCESS

Construction traffic access and egress for grading, utility and street construction shall be determined with the final construction plans.

PARKS, TRAILS AND SIDEWALKS

Development includes the grading and restoration of public trails. Bituminous trails will be constructed along the south side of 215th Street (CSAH 70) (10-foot wide) with a future City and County Capital Improvement project. The Developer will be responsible for 100% of the grading and restoration for the trail segment along the plat's frontage.

The park dedication requirement for the parent parcels has not been collected and shall be satisfied through a cash contribution that shall be paid with the final plat.

UTILITIES

SANITARY SEWER

Interstate South Logistics Park Fourth Addition is located within sub-district SC-10180 and SC-10410 of the South Creek sanitary sewer district as identified in the City's Comprehensive Sewer Plan. The wastewater from the proposed site will be conveyed by City-owned sanitary sewer facilities to the Elko/New Market interceptor and then to the Empire Wastewater Treatment Plant. The existing City-owned downstream facilities are adequate to convey the wastewater generated by the proposed development.

A private sanitary sewer service will be extended from the sanitary sewer within 217th Street for development within Lot 1, Block 1, Interstate South Logistics Park Fourth Addition.

The Sanitary Sewer Availability Charge has not been collected on the parent parcels and must be paid with the final plat.

Final locations and sizes of all sanitary sewer facilities will be reviewed by City staff with the final plat, building permit application and final construction plans.

WATERMAIN

Development of Interstate South Logistics Park Fourth Addition includes the extension of private watermain from an existing stub along 217th Street to provide domestic and fire suppression service for the development. The Lateral Watermain Charge must be paid for the 12-inch watermain installed with City Project 20-05 with the final plat.

Final locations and sizes of all watermain facilities will be reviewed by City staff with the final plat, building permit application and final construction plans.

OVERHEAD LINES

Great River Energy (GRE) has an existing electric transmission line along 215th Street. This transmission line is not required to be buried as it has been identified as a high voltage line.

DRAINAGE AND GRADING

Interstate South Logistics Park Fourth Addition is located within subdistrict SC-199 of the South Creek District of the City's Comprehensive Water and Natural Resources Management Plan.

Development includes the construction of one (1) dry detention basin and two (2) wet detention basins. The private basins will be located on Lot 1, Block 1 and will treat runoff generated from the proposed subdivision. A stormwater maintenance agreement (SMA) will be required with the final plat.

The final grading plan shall identify all fill lots in which the building footings will be placed on fill material. The grading specifications shall also indicate that all embankments meet FHA/HUD 79G specifications. The Developer shall certify to the City that all lots with footings placed on fill material are appropriately constructed. Building permits will not be issued until a soils report and an as-built certified grading plan have been submitted and approved by City staff.

Interstate South Logistics Park Fourth Addition contains more than one acre of site disturbance. A National Pollution Discharge Elimination System General Stormwater Permit for construction activity is required by the Minnesota Pollution Control Agency for areas exceeding one acre being disturbed by grading. A copy of the Notice of Stormwater Permit Coverage must be submitted to the City upon receipt from the MPCA.

STORM SEWER

Development of Interstate South Logistics Park Fourth Addition includes the construction of private storm sewer systems. The privately-owned and maintained storm sewer will be located within Lot 1, Block 1, Interstate South Logistics Park Fourth Addition and will collect and convey stormwater runoff generated from within the development to the stormwater management basin.

Drain tile construction is required in areas of non-granular soils within the development for the street sub-cuts and lots. Any additional drain tile construction, including perimeter drain tile required for building footings, which is deemed necessary during construction shall be the Developer's responsibility to install and finance.

The Storm Sewer Charge has not been collected on the parent parcel and must be paid with the final plat.

Final locations and sizes of all storm sewer facilities will be reviewed by City staff with the building permit application and final construction plans.

FEMA FLOODPLAIN ANALYSIS

The development is shown on the Flood Insurance Rate Map (FIRM #27037C0194E effective 12/2/2011) as Zone X by the Federal Emergency Management Agency (FEMA). Based on this designation, there are no areas in the plat located within a Special Flood Hazard Area (SFHA), as determined by FEMA.

WETLANDS

There are no wetlands within the project area. There were two farmed wetland areas to the west of the site that were previously delineated and mitigated.

TREE PRESERVATION

All trees identified for preservation shall be protected with appropriate tree protection fencing and measures installed prior to, and maintained throughout, construction. Any trees to be preserved that are damaged or removed during construction will require replacement in accordance with the Tree Preservation Ordinance.

EROSION CONTROL

The Developer is responsible for obtaining an MPCA Construction Permit for the site prior to construction. The SWPPP has been reviewed by the city and revisions are needed prior to any grading on the site. The SWPPP will need to be submitted and approved by City staff prior to start of any activity on the site. Changes made throughout construction should be documented in the SWPPP.

Additional erosion control measures may be required during construction as deemed necessary by City staff. Any additional measures require shall be installed and maintained by the Developer.

RECOMMENDATION

Engineering recommends approval of the Interstate South Logistics Park Fourth Addition preliminary plat, grading and erosion control plan, utility plan and tree preservation plan, subject to the requirements and stipulations within this report.



Memorandum

To: Planning Commission
From: Heather Botten
Date: April 29, 2026
Subject: Packet Material for the May 7, 2026 Planning Commission Meeting

Agenda Item: Kueber Coffee Minnesota, LLC - Conditional use permit for a convenience restaurant with a drive-through service window in the M-2, Mixed Use Cedar Corridor District and to allow a commercial building less than 2,000 square feet of floor area.

Application Action Deadline: May 25, 2026 – 1st 60 days

BACKGROUND

Representatives of Kueber Coffee Minnesota, LLC have applied for conditional use permits for a convenience restaurant with a drive-through service window in the M-2, Mixed Use Cedar Corridor District and to allow a commercial building less than 2,000 square feet of floor area. The development is for property located at the southeast corner of 179th Street (CSAH 9) and Cedar Avenue (CSAH 23), identified as Lot 2, Block 1, Marketplace at Cedar.

The subject property is zoned M-2, Mixed Use Cedar Corridor District. Section 11-66-7.E of the Zoning Ordinance allows convenience restaurants with a drive-through service window by conditional use permit. Section 11-17-17 of city code states that principal buildings for commercial and industrial uses having less than 2,000 square feet of floor area may only be allowed upon approval of a conditional use permit. The conditional use permit request is to allow a coffee shop to be approximately 898 square feet in size, including a 510 sq ft building and a 388 sq ft cooler and storage area. The site is proposed to have a double drive-through lane and no indoor or outdoor seating on site.

The proposed development plans have been reviewed by Community Development and Engineering staff.

EXHIBITS

- A. Location Map
- B. Zoning Map
- C. Site Plan
- D. Grading and Drainage Plan
- E. Landscape Plan
- F. Building Elevation Plans
- G. Colored Renderings of Building

STAFF ANALYSIS

Comprehensive Plan. The property is located in Planning District No. 5, Cedar Corridor, and is guided for Corridor Mixed Use in the 2040 Comprehensive Land Use Plan. The Corridor Mixed Use Designation allows for development of residential, commercial, public and corridor mixed-uses along the Cedar Avenue. The proposed convenience restaurant use is consistent with the land uses envisioned for this district.

Zoning. The property is zoned M-2, Mixed Use Cedar Corridor District. The proposed convenience restaurant with a drive-through is consistent with the uses allowed in a commercial district.

Surrounding Land Uses, Zoning, and Comprehensive Plan Designation

Direction	Existing Use	Land Use Plan	Zoning
North	179 th Street and Crossroads Shopping Center	Commercial	PUD
South	Vacant – Future Aldi	Corridor Mixed Use	M-2, Mixed Use
East	Vacant – Future Multi-tenant Commercial	Corridor Mixed Use	M-2, Mixed Use
West	Vacant – Future Veridian Credit Union	Corridor Mixed Use	M-2, Mixed Use

Grading, Drainage, Erosion Control, and Utilities. Grading, drainage and erosion control plans have been submitted with the Marketplace at Cedar plat. Engineering and Environmental Resources have reviewed the site, grading, drainage and erosion control, and utility plans. The Engineering Division recommends approval of the CUP with final plans being approved at the time of building permit.

CUP SITE PLAN REVIEW

Use. Section 11-66-7.E allows convenience restaurants with a drive-through service window subject to approval of a conditional use permit and in accordance with specific performance standards applied to the subject property.

Section 11-17-17 of city code states that principal buildings for commercial and industrial uses having less than 2,000 square feet of floor area may only be allowed upon approval of a conditional use permit.

Setbacks. The proposed building meets or exceeds the minimum setback requirements of the M-2 District of:

	Required	Proposed
Yard abutting a major collector or arterial St.	30 feet	50 feet+
Side	10 feet	38 feet+
Side	10 feet	30 feet+
Front	10 feet	150 feet+

Building Height. The proposed building is a single-story structure 20-feet in height at the tallest point. A maximum building height of 48 feet or four stories, whichever is less, is allowed in the M-2 District.

Parking/Drive Aisles. The proposed site was approved with one standalone user on Lot 2 with shared parking with Lot 3 to the east. The setback requirements for parking are 10 feet abutting right-of-way and five feet from interior lot lines. Joint or combined parking facilities on separate lots are not required to observe the parking area setback from such common lot line.

As mentioned, the parking lot is shared with the multi-tenant lot to the east. The parking requirements are calculated by reviewing the uses on both properties. The parcels require a minimum of 80 parking spaces, subtracting the 10% gross floor area credit and the proposed uses of convenience restaurants and medical office. The maximum number of parking stalls allowed is up to 125% of the minimum parking spaces, without CUP approval. 125% of the minimum parking is 100 spaces. The site plan demonstrates 92 parking spaces, complying with code requirements.

Access. Access to the site will primarily be via the private drive to the south which serves the building to the west and this parcel. There is also access from the east through the shared parking lot. Access to 179th Street is not permitted.

Pedestrian Access. A trail will be constructed along the south side of 179th Street and a sidewalk will be constructed along the internal private drives within the Marketplace development.

Landscaping. The landscape plan provides plantings on the north and south sides of the site. The City Forester reviewed the proposed landscape plan and provided comments. A continuous shrub line must be added along the north property line to ensure that headlights from vehicles within the drive through lanes don't shine onto 179th Street. Additional trees are required to comply with the landscaping requirements around the off-street parking. The landscape plan must be updated to reflect this change prior to City Council consideration of the CUP. Including the landscape modifications, the landscape plan will be considered approved. Plantings on the site must adhere to the plan and provide an as-built planting plan prior to inspection of the installed landscaping. An escrow for the landscape materials and installation amount will be collected with the building permit.

Building Exterior. The applicant has provided colored rendering of each building elevation as required by Section 11-66-7.E.2 of the Zoning Ordinance. The proposed building will be constructed of mainly Grade A, brick material. The materials proposed comply with Zoning Ordinance requirements.

Drive-Through Window. There are two ordering lanes on the west elevation of the building with the lanes approaching from the east side of the building. The access lanes are separated from off-street parking areas and sidewalks and provide 150 feet of stacking on the interior drive-through lane and 190 feet of stacking space on the outer drive-through lane.

Menu Boards. The Zoning Ordinance allows up to two menu signs with a maximum area of 50 square feet and a maximum height of eight feet per lane. The proposed menu sign must receive sign permit approval prior to installation and shall comply with the requirements outlined in Section 11-66-7.E.8.c of the Zoning Ordinance.

Signs. All proposed signs are subject to the allowances established for the M-2 District by Section 11-23-19.D of the Zoning Ordinance. The Zoning Ordinance allows wall signs not to exceed 100 square feet on two wall elevations facing public streets or private through drives. Sign permits are required to be issued prior to the installation of any signs on the building.

Signs shown on the plans are illustrative only and no approvals are granted as a part of the CUP request.

Hours. Section 11-66-7.E.1 of the Zoning Ordinance limits hours of operation 5:00 A.M. to 11:00 P.M. unless extended by the City Council as part of the conditional use permit request.

Trash Enclosure. The trash and recycling enclosure will be located near the entrance of the drive through. The enclosure must comply with code requirements, including a maintenance-free gate.

Exterior Lighting. No light source or combination thereof which casts light on a public street shall exceed one foot-candle meter reading as measured at the right of way or property line. The submitted photometric plan complies with code requirements. All lighting shall be accomplished in such a way as to have no direct source of light visible from the public right-of-way. All building mounted lighting must face downward onto the structure.

Mechanical Equipment. Any roof-mounted mechanical equipment must be screened if greater than three feet in height. Ground-mounted mechanical equipment must be screened with landscaping and/or fencing.

Snow Storage. Snow storage may not take place in required parking spaces.

RECOMMENDATION

Community Development Department staff recommends approval of the conditional use permit for a convenience restaurant with a drive-through service window in the M-2, Mixed Use Cedar Corridor District and to allow a commercial building less than 2,000 square feet of floor area, subject to the following stipulations:

1. The site shall be developed according to the plans approved by the City Council.
2. The hours of operation shall be limited to five o'clock (5:00) A.M. to eleven o'clock (11:00) P.M.
3. Any rooftop and/or ground-mounted mechanical equipment must be screened per Zoning Ordinance requirements.
4. Plantings on the site must adhere to the landscape plan and an as-built planting plan provided prior to inspection of the installed landscaping. The Developer must provide a security with the building permit to guarantee installation of the landscaping.
5. Snow storage shall not occur within required parking spaces.
6. Prior to City Council consideration, the landscape plan must be updated to comply with the Foresters' comments, including adding shrubs along the north property line and additional landscaping added around the parking lot.

Approval of a conditional use permit requires adoption of findings of fact by the Planning Commission and City Council. Draft findings of fact are attached to this report.



Kueber Coffee Minnesota, LLC | 7 Brew Franchisee | 445 E Market St, Suite 310, Louisville, KY 40202

04/30/26

Via: email

City of Lakeville
20195 Holyoke Avenue
Lakeville, MN 55044

**RE: 7 Brew Coffee – Marketplace at Cedar
Project Narrative**

Seven Brew is a drive thru only coffee concept that serves beverages and no food. We serve a variety of made to order beverages, including coffee, tea, Italian sodas, smoothies, shakes, energy drinks, and hot chocolate.

We believe we are the face of a coffee revolution with our unique speed of service coupled with quality products. Our delicious drinks are made from the best ingredients, served by always energetic, upbeat, fun, and welcoming baristas, in a fast and consistent drive thru. Each one of our location's employees between 40-50 high energy people that are sure to put a smile on guests' faces!

Our model takes up a small footprint of around half an acre to an acre with a 510 square foot building. At Seven Brew, we offer drive thru only with two ordering lanes that help us process orders ultra-fast (think Chick-fil-A) to allow our guest to get in and out to tackle their day. There is no interior or exterior seating available. Our baristas greet guest at their vehicles with iPads and drinks are then delivered directly to the vehicles. There are no obnoxious speaker boxes, all our interactions are person to person. Our stands operate Sunday thru Thursday from 5:30 am to 10:00 pm and from 5:30 am to 11:00 pm on Friday and Saturday. The stand will employ approximately 60-70 people, with the average shift consisting of 4 to 6 employees.

Our thoughtfully designed building has a canopy that stems from each side to protect our employees and our guests from the weather during the ordering and delivery process. We do offer walk up ordering service, but this equates to less than 1% of our sales and is typically used by first responders.

We are proposing to develop Lot 2 at the Marketplace at Cedar located at 7428 179th St W. The development will consist of a 510 square foot stand with a 388 square foot remote cooler and storage structure along with a dumpster enclosure and associated site, utility and landscape improvements. The stand is clad with a combination of brick, glass and standing seam/break metal. The remote cooler/storage structure, and dumpster enclosure are clad with brick.





Kueber Coffee Minnesota, LLC | 7 Brew Franchisee | 445 E Market St, Suite 310, Louisville, KY 40202

The 7 Brew lot will be accessed from the private driveway easement created as part of the larger Marketplace at Cedar development. No new direct access points to public roadways are being proposed.

Based on previous studies, maximum observed queue lengths have been observed to be 13 vehicles with an average queue of six vehicles. The site has been designed to accommodate 19 vehicles in the drive-thru and should not result in any conflict with adjacent tenants. As part of our application, I am attaching a traffic and queuing study that was commissioned by the City of Minnetonka as part of CUP/Site plan application in the fall of 2025.

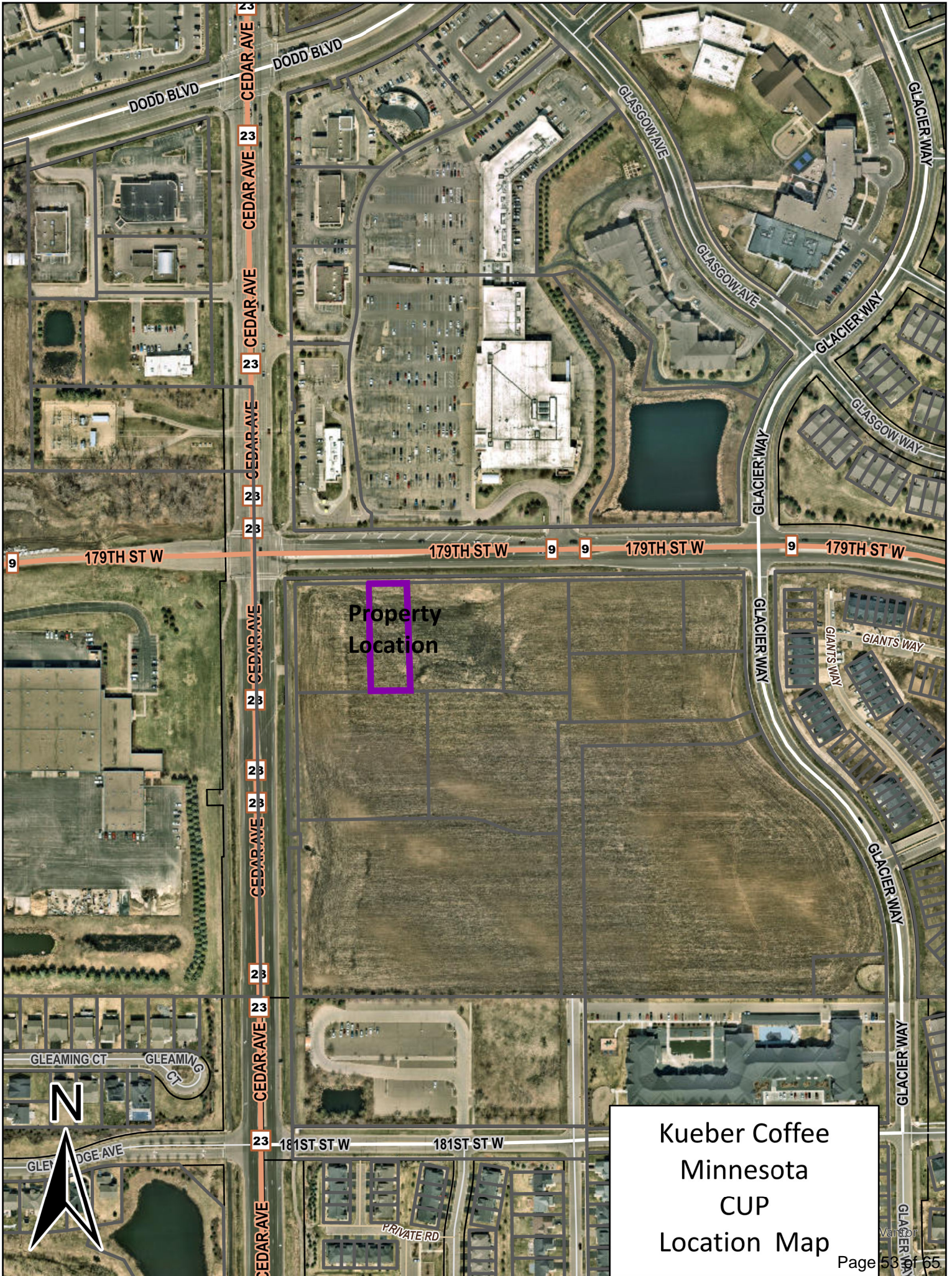
If you have questions or concerns about these items, please contact me at brian.evans@7brewteam.com or 502-528-1798.

Best,

A handwritten signature in blue ink, appearing to read "B. Evans".

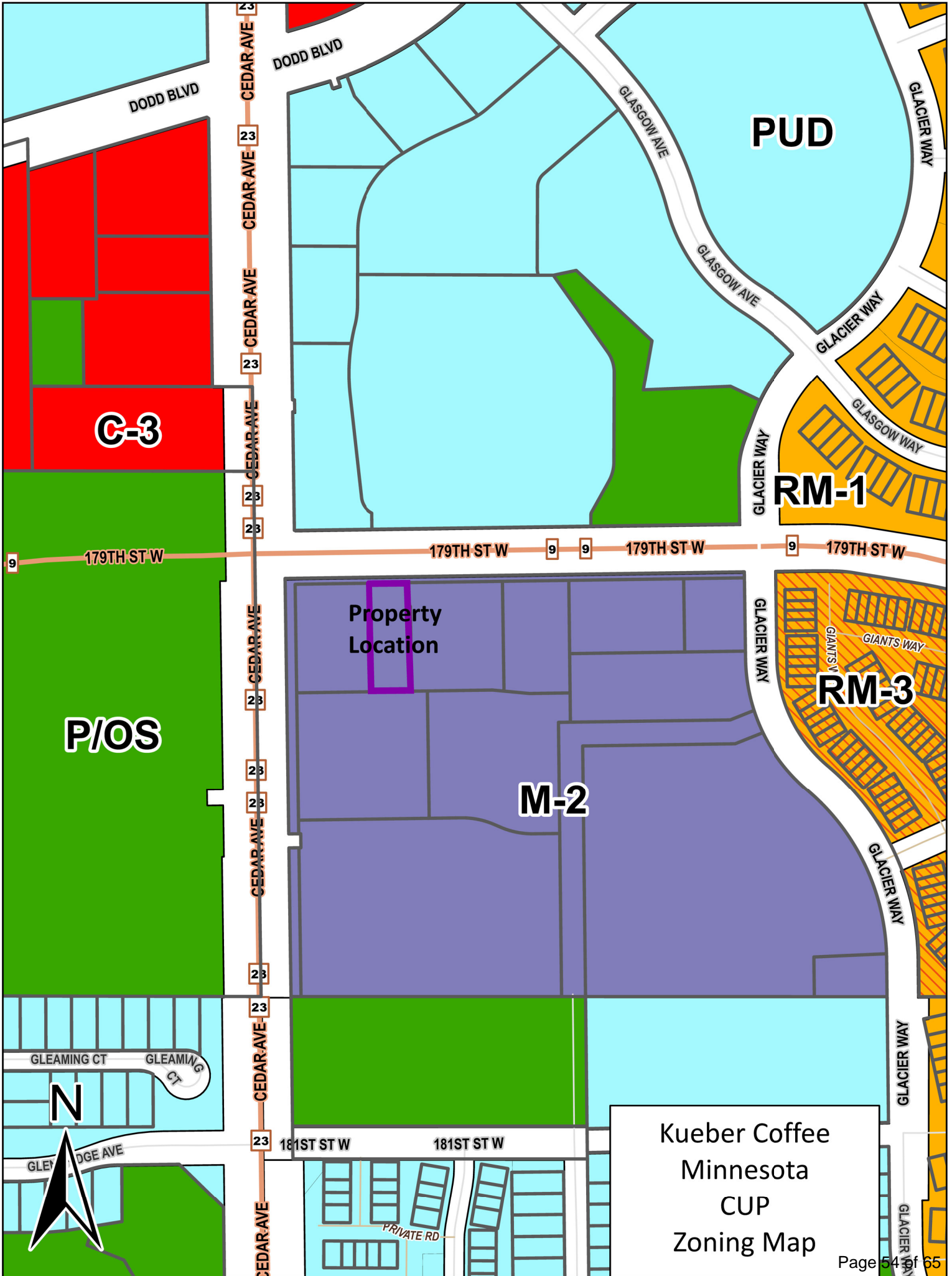
Brian Evans
Director of Entitlements





Property Location

Kueber Coffee
Minnesota
CUP
Location Map



C-3

PUD

RM-1

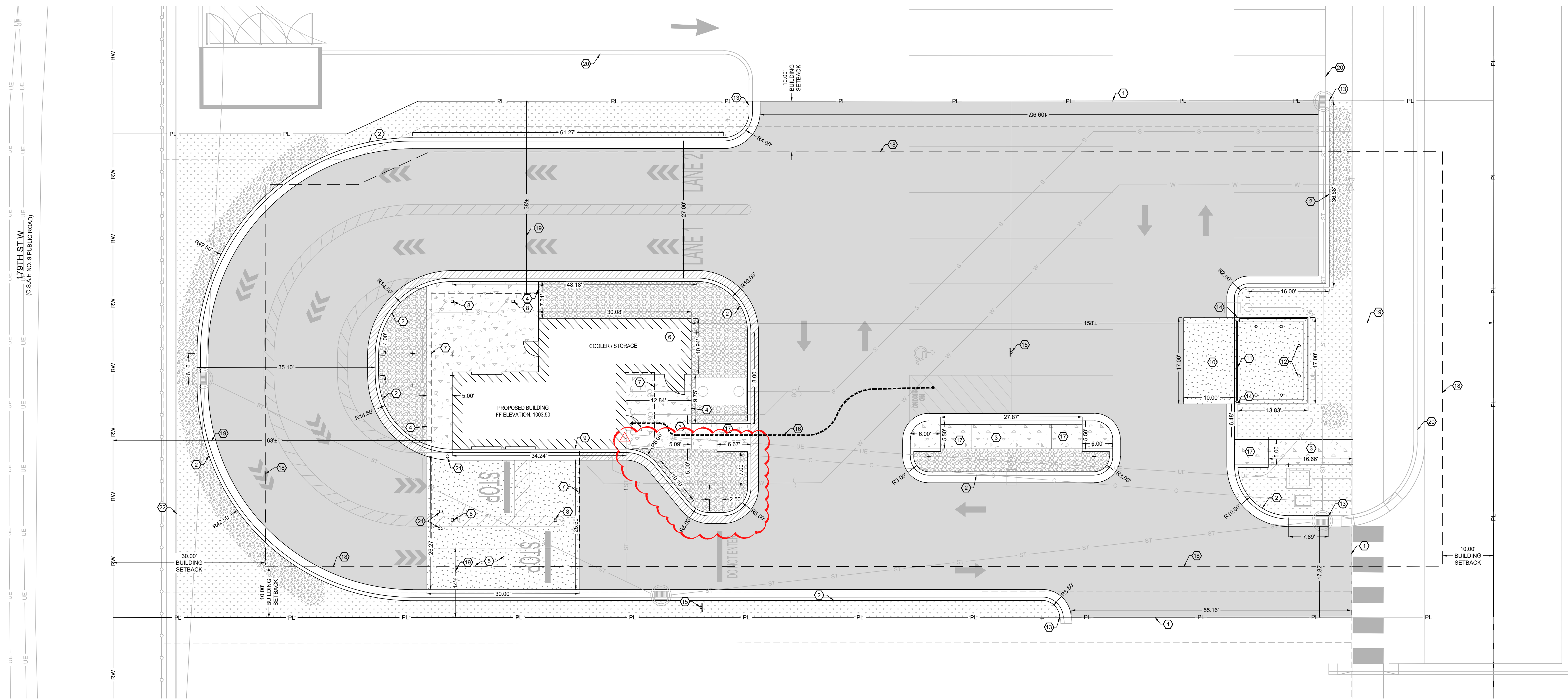
P/OS

Property
Location



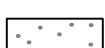



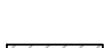

M-2

RM-3

Kueber Coffee
Minnesota
CUP
Zoning Map



HATCH LEGEND:

-  ASPHALT PAVEMENT PER DETAIL 2.06, SHEET C7.1.
-  CONCRETE SIDEWALK PER SIDEWALK DETAIL 2.02, SHEET C7.1.
-  CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAIL 2.03 AND 2.05, SHEET C7.1.
-  COOLER/STORAGE PAD PER STRUCTURAL PLANS.
-  TURF GRASS SOD. INSTALL PER SUPPLIER'S INSTALLATION INSTRUCTIONS.
-  LANDSCAPE ROCK. PLACE 3" OF 1" - 2" RIVER ROCK OVER COMMERCIAL GRADE WEED FABRIC.
-  SPILL CURB PER DETAIL 2.01, SHEET C7.1.
-  LANDSCAPE MULCH. SMOOTH SOIL SHALL BE COVERED BY WEED FABRIC AND TOPPED WITH 3 TO 4-INCH LAYER OF SHREDED HARDWOOD MULCH, MATCH EXISTING COLOR.

KEY NOTES:

- 1 MATCH EXISTING PAVEMENT.
- 2 CONCRETE CURB & GUTTER PER DETAIL 2.01, SHEET C7.1.
- 3 SIDEWALK PER DETAIL 2.02, SHEET C7.1.
- 4 EDGE OF CONCRETE SLAB TO BE THICKENED CONCRETE PER STOOP/WALK EDGE DETAIL 2.04, SHEET C7.1.
- 5 CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAILS 2.03 & 2.05, SHEET C7.1.
- 6 REMOTE COOLER LOCATION. COOLER TO BE INSTALLED ON 4" THICK CONCRETE PAD WITH THICKENED EDGE PER STRUCTURAL PLANS.
- 7 BUILDING CANOPY OUTLINE.
- 8 CANOPY COLUMNS LOCATIONS, TYPICAL.
- 9 BUILDING FOUNDATION WALL AND FOOTING PER STRUCTURAL PLANS.
- 10 CONCRETE PAVEMENT FOR TRASH ENCLOSURE PER CONCRETE PAVEMENT DETAILS 2.03 & 2.05, SHEET C7.1.
- 11 TRASH ENCLOSURE AND GATE, PER ARCHITECTURAL PLANS.
- 12 6" PIPE BOLLARD, TYPICAL PER DETAIL 2.09, SHEET C7.1.
- 13 CONNECT TO EXISTING CURB AND GUTTER.
- 14 INSTALL CURB TRANSITION, PER DETAIL 2.15, SHEET C7.2.
- 15 SIGN, SEE SHEET C8.1.
- 16 ACCESSIBLE PATH FROM PARKING TO BUILDING.
- 17 TYPE 4 ADA CURB RAMP PER DETAIL 2.14, SHEET C7.2.
- 18 BUILDING SETBACK LINE.
- 19 DIMENSION FROM PROPERTY LINE TO NEAREST BUILDING STRUCTURE.
- 20 EXISTING CURB AND GUTTER, DO NOT DISTURB.
- 21 3" PIPE BOLLARD, TYPICAL PER DETAIL 2.09, SHEET C7.1.
- 22 PROPOSED RETAINING WALL, PART OF OVERALL DEVELOPMENT IMPROVEMENTS. NOT PART OF THIS PROJECT.

PROPOSED USE:

RESTAURANT WITH DRIVE THRU.

ZONING:

ZONING: M-2

PARKING REQUIREMENTS:

1 SPACE PER 50 S.F. GROSS FLOOR AREA = 17 STALLS.
PROVIDED = 17 STALLS, 16 STANDARD AND 1 ADA.

QUEUING SPACES PROVIDED:

LANE 1 = 8 SPACES.
LANE 2 = 11 SPACES.

STORMWATER NOTES:

PRE-PROJECT IMPERVIOUS AREA	=	0 S.F.
PRE-PROJECT PERVIOUS AREA	=	24,325 S.F.
TOTAL	=	24,325 S.F.

POST-PROJECT IMPERVIOUS AREA	=	20,574 S.F.
POST-PROJECT PERVIOUS AREA	=	3,751 S.F.
TOTAL	=	24,325 S.F.

NOTE:
CALCULATIONS PROVIDED FOR IMPERVIOUS SURFACE LIMITS ARE THE PROPERTY LINES ON ALL SIDES.

BUILDING AND LOT DATA:

PROJECT FOOTPRINT	24325 S.F. =	0.56 ACRES
PROPOSED BUILDING (1 STORY) -RETAIL	=	833 S.F.
CONSTRUCTION TYPE: V-B		

QUANTITIES:

CURB & GUTTER:	1,514 L.F.
ASPHALT PAVEMENT:	14,884 S.F.
8" CONCRETE PAVEMENT:	1,183 S.F.
4" CONCRETE SIDEWALK:	997 S.F.
COOLER/STORAGE SLAB:	382 S.F.
TURF GRASS SOD:	2,458 S.F.
LANDSCAPING ROCK:	1,018 S.F.
LANDSCAPE MULCH:	609 S.F.



FIRM LICENSE NO. 1063075500037

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: SHAWN WAYNE BARRY

Signature: 

Date: 03.20.2026 License #: 63514

ENGINEER OF RECORD:

NAME: SHAWN WAYNE BARRY

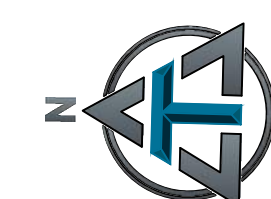
LICENSE NO.: MN #PE-63514

PROJECT NUMBER: 110.023

REVISION:

 03-19-2026 CITY COMMENTS

7 BREW COFFEE
LAKEVILLE, MN
7428 179TH STREET WEST
LAKEVILLE, MN 55044



H. SCALE: 1" = 10'



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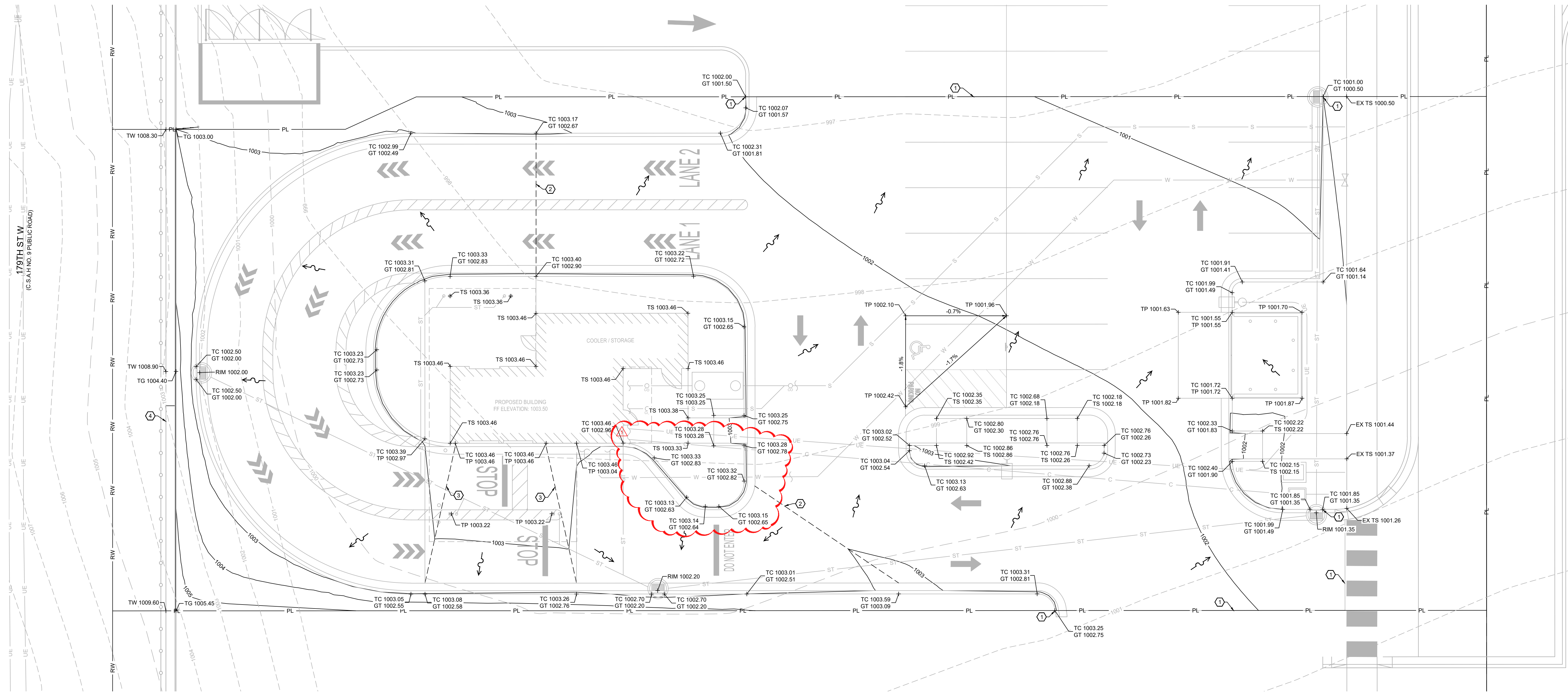


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C2.1

SITE PLAN

DATE: FEBRUARY 12, 2026



KEY NOTES:

- ① MATCH EXISTING ELEVATION.
- ② HIGH POINT IN PAVEMENT.
- ③ CENTERLINE OF GRADE BREAK IN PAVEMENT.
- ④ EXISTING RETAINING WALL.

ABBREVIATIONS

BC	BACK OF CURB
CC	STANDARD CATCH CURB
CL	CENTER LINE
CMP	CORRUGATED METAL PIPE
EP	EDGE OF PAVEMENT
FES	FLARED END SECTION
FL	FLOW LINE
GT	GUTTER INVERT
GY	GUY WIRE
HDPE	HIGH DENSITY POLYETHYLENE
INV	INVERT
LF	LINEAR FEET
MC	MOUNTABLE CURB
PVC	POLYVINYL CHLORIDE PIPE
RW	RIGHT-OF-WAY
RCP	REINFORCED CONCRETE PIPE
SC	SPILL CURB
TB	TOP OF BASE ROCK
TC	TOP OF CURB
TG	TOP OF GROUND
TP	TOP OF PAVEMENT
TS	TOP OF SIDEWALK
TW	TOP OF WALL
EX TP	EXISTING TOP OF PAVEMENT
EX TS	EXISTING TOP OF SIDEWALK
→	DIRECTION OF SHEET FLOW



FIRM LICENSE NO. 1063075500037

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Print Name: SHAWN WAYNE BARRY
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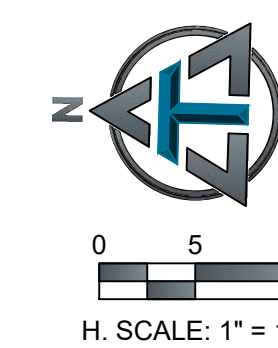
NAME: SHAWN WAYNE BARRY
 LICENSE NO. MN #PE-63514

PROJECT NUMBER: 110.023

REVISION:

① 03-19-2026 CITY COMMENTS

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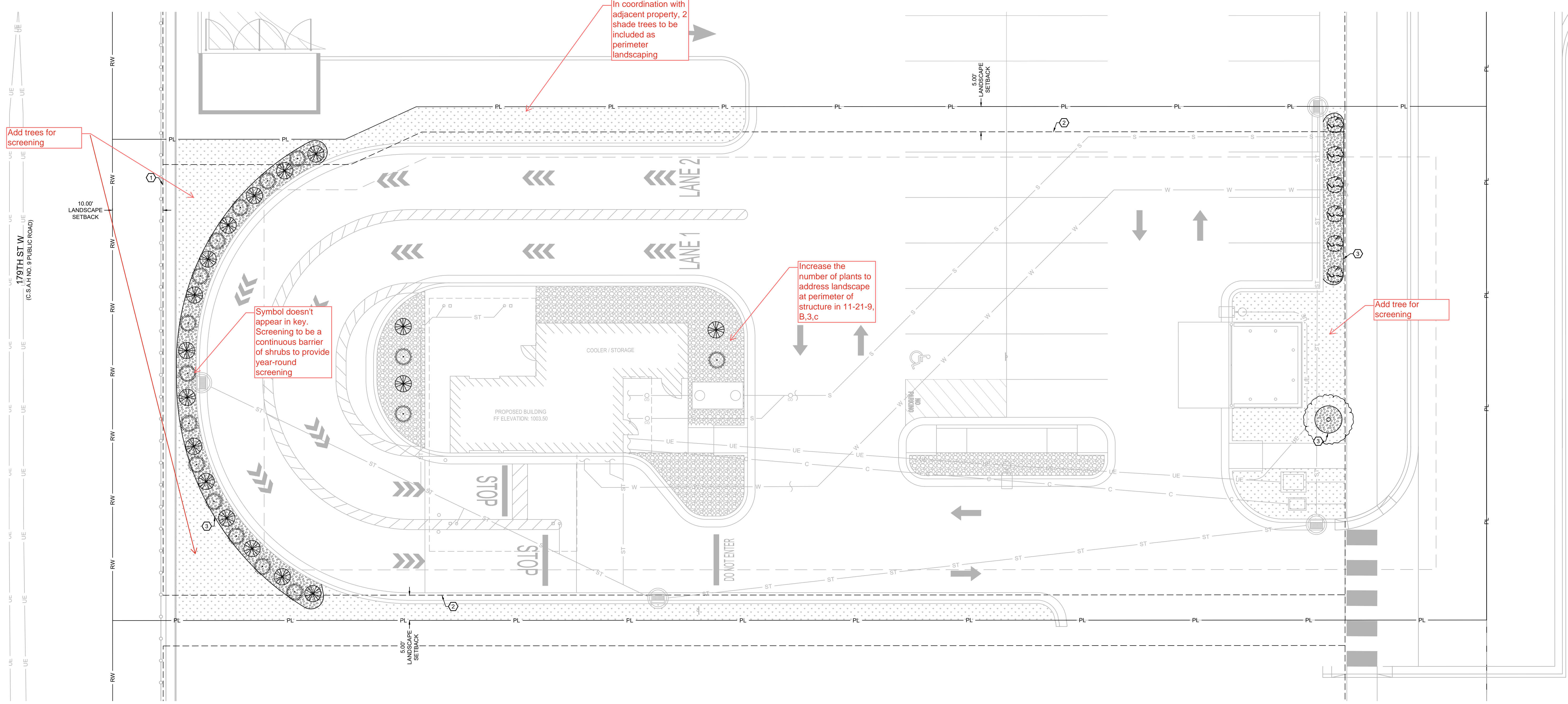
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C3.1
 GRADING PLAN

DATE: FEBRUARY 12, 2026



GENERAL LANDSCAPING NOTES

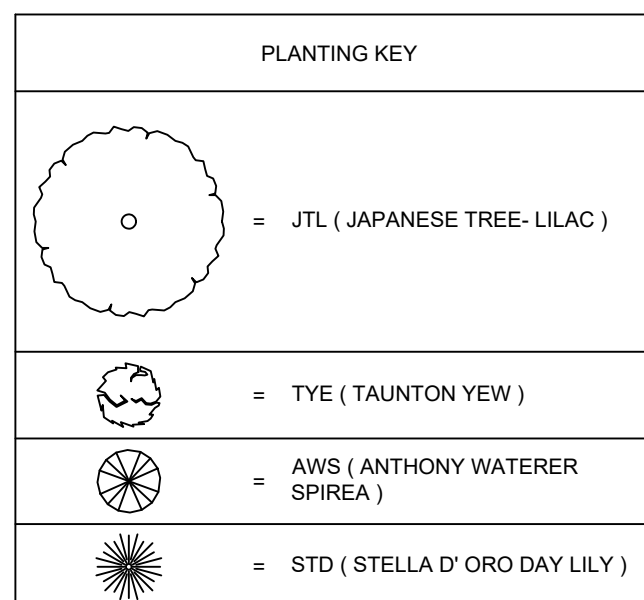
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITY LINES AND OTHER ABOVE OR BELOW GROUND OBSTRUCTIONS SO THAT PROPER PRECAUTIONS SHALL BE TAKEN NOT TO DISTURB OR DAMAGE SUCH IMPROVEMENTS. REFER TO CIVIL DRAWINGS FOR PROPOSED AND EXISTING UTILITY LOCATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARDS FOR NURSERY STOCK" REPRESENT GENERAL GUIDELINE SPECIFICATIONS ONLY AND WILL CONSTITUTE MIN. QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- THE ARCHITECT OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL TREES SHALL BE CALIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
- SPECIFIED CALIPER MEASUREMENT FOR TREES SHALL BE MEASURED AT 6" ABOVE THE GRADE.
- ANY MATERIAL WHICH DIES OR DEFOOLIATES PRIOR TO ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED AND REPLACED.
- CONTRACTOR IS RESPONSIBLE FOR SOIL SAMPLING AND TESTING TO DETERMINE EXACT FERTILIZER REQS.
- PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF THE CITY AND LOCAL GOVERNING BODIES. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN.
- BACKFILL TREE AND SHRUB PITS WITH A PREPARED PLANTING MIX AS FOLLOWS U.N.O.:
 - 2 PARTS BY VOLUME TOPSOIL.
 - 1 PART BY VOLUME BROWN RIVER SAND.
 - 1 PART BY VOLUME PEAT MOSS.
 - 1 LB. COMMERCIAL FERTILIZER PER C.Y. OF MIX.
- ALL TREE PITS SHALL RECEIVE A MINIMUM OF 24" OF THE SPECIFIED PLANTING MIX.
- ALL PLANTINGS SHALL BE MULCHED WITH A 3"-4" LAYER OF SHREDDED HARDWOOD MULCH AFTER INSTALLATION OF PLANT MATERIAL.
- ALL SHRUB PLANTING MATERIAL SHALL MEASURE A MIN. OF 18" IN HEIGHT AT THE TIME OF PLANTING.
- THE PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ANY DEVIATION TO THE APPROVED FINAL LANDSCAPING PLAN SHALL REQUIRE THE WRITTEN APPROVAL OF THE ARCHITECT PRIOR TO INSTALLATION.
- KILL AND REMOVE ALL EXISTING WEEDS FROM THE SITE AREA PRIOR TO PLANTING.
- REFER TO SITE GRADING PLAN FOR FINISH GRADES.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLETELY MAINTAINING THE WORK (INCLUDING BUT NOT LIMITED TO: WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF ALL PLANTINGS UNTIL TOTAL ACCEPTANCE OF THE WORK BY THE ARCHITECT AND OWNER.
- CONTRACTOR WILL STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE OWNER'S REPRESENTATIVE APPROVE ALL STAKING PRIOR TO INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
- REFER TO SITE PLAN FOR GROUND COVERING REQUIREMENTS.
- SEEDDED AREAS SHALL BE REASONABLY SMOOTH AND FREE FROM STONES, ROOTS, OR OTHER DEBRIS.
- SOODED AREAS SHALL BE INSTALLED PER SUPPLIER'S INSTALLATION INSTRUCTIONS.
- PERMANENT SEEDING SEASON RUNS FROM MARCH 1ST TO JUNE 1ST AND SEPTEMBER 15TH TO NOVEMBER 1ST. SEEDING AND MULCHING MUST BE DONE WHENEVER WORK IS COMPLETE REGARDLESS OF THE SEASON. WHENEVER SEEDING AND MULCH IS INSTALLED OUTSIDE THE PERMANENT SEEDING SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLANTING AND MULCHING ANY AREAS WHERE GROWTH HAS NOT BECOME ESTABLISHED DURING THE NEXT PERMANENT SEASON.
- IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT AND OBTAIN THE REVIEW AND APPROVAL FROM THE LOCAL GOVERNMENT AGENCY THAT HAS JURISDICTION OVER THE LANDSCAPE IMPROVEMENTS INCLUDED IN THIS SET OF DRAWINGS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT AND OBTAIN THE REVIEW AND APPROVAL FROM THE LOCAL GOVERNMENT AGENCY THAT HAS JURISDICTION OVER THE IRRIGATION IMPROVEMENTS INCLUDED IN THIS SET OF DRAWINGS.

HATCH LEGEND

- TURF GRASS SOD. INSTALL PER SUPPLIER'S INSTALLATION INSTRUCTIONS.
- LANDSCAPE ROCK. PLACE 3" OF 1" - 2" RIVER ROCK OVER COMMERCIAL GRADE WEED FABRIC.
- LANDSCAPE MULCH. SMOOTH SOIL SHALL BE COVERED BY WEED FABRIC AND TOPPED WITH 3 TO 4-INCH LAYER OF SHREDDED HARDWOOD MULCH, MATCH EXISTING COLOR.

KEY NOTES:

- 10 FOOT LANDSCAPE SETBACK
- 5 FOOT LANDSCAPE SETBACK
- INSTALL HEAVY DUTY METAL EDGING (MIN 3/16" THICK) TO SEPARATE LANDSCAPE PLANTING AREAS FROM TURF AREAS.



PLANTING LIST					
TYPE	COMMON NAME (SCIENTIFIC NAME)	QUANTITY REQUIRED	QUANTITY PROVIDED	CONDITION AND SIZE	APPROXIMATE MATURE SIZE (HT X SP)
JTL	JAPANESE TREE-LILAC (SYRINGA RETICULATA)	1	1	2' CAL. B&B	15'X20'
AWS	ANTHONY WATERER SPIREA (SPIRAEA X BUMALDA)	17	17	24" HGT	4' O.C.
TYE	TAUNTON YEW (TAUNTON X MEDIA)	6	6	3 GAL	5' O.C.
STD	STELLA D' ORO DAY LILY (HEMEROCALLIS)	16	16	1 GAL.	18" O.C.

Include a tree planting detail. Detail is to note that root flare is to be exposed and set at grade; and that all twine, burlap and wire basket is to be removed from the top half of the root ball and disposed of off-site.



FIRM LICENSE NO. 1063075500037

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: SHAWN WAYNE BARRY
 Signature: [Signature]
 Date: 03.23.2026 License #: 83514

ENGINEER OF RECORD:
 NAME: SHAWN WAYNE BARRY
 LICENSE NO. MN #PE-63514

PROJECT NUMBER: 110.023
 REVISION:

7 BREW COFFEE
 LAKEVILLE, MN
 7428 179TH STREET WEST
 LAKEVILLE, MN 55044



H. SCALE: 1" = 10'



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C5.1
 LANDSCAPE PLAN

DATE: FEBRUARY 12, 2026

FIRM LICENSE NO. 1032

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Signature: *Adam Kreher*
Typed or Printed Name: Adam Kreher
Date 03/20/2026 License Number: 60997

ARCHITECT OF RECORD:

NAME: ADAM KREHER
LICENSE NO. 60997

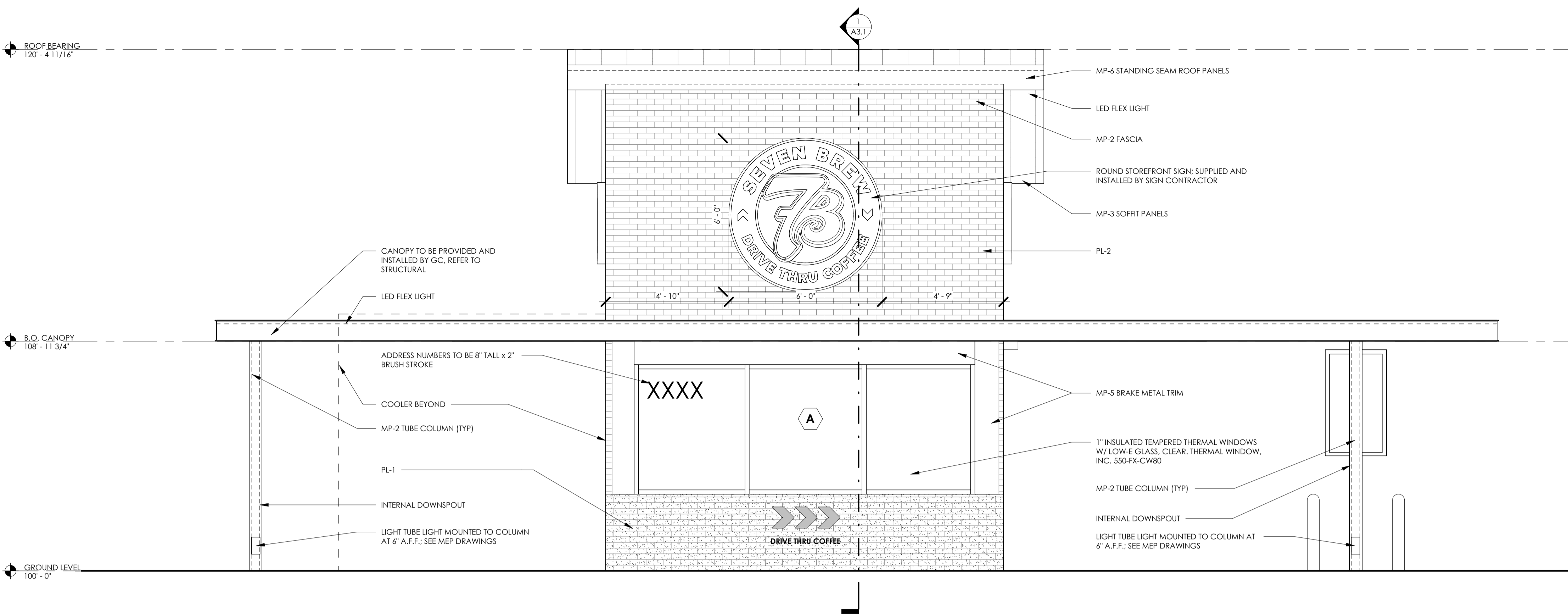
PROJECT NUMBER: 25411 7BLM2

REVISION:
ADD #01
MARCH 20, 2026

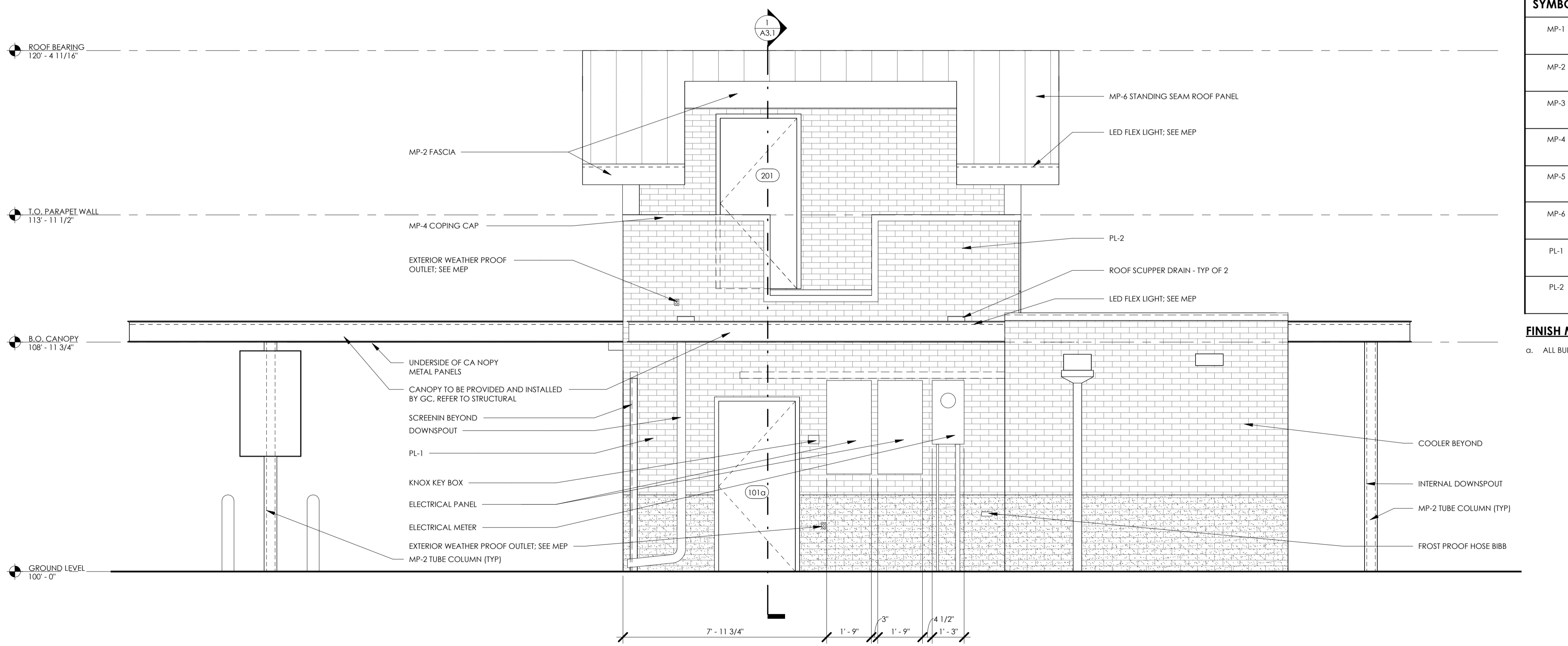
7 BREW COFFEE
LAKEVILLE, MN
7428 179th St W
LAKEVILLE, MN 55044

A2.1
EXTERIOR ELEVATIONS

DATE: FEBRUARY 12, 2026



1 EXTERIOR ELEVATION - FRONT
3/8" = 1'-0"



2 EXTERIOR ELEVATION - BACK
3/8" = 1'-0"

FINISH MATERIALS SCHEDULE				
SYMBOL	ITEM	DESCRIPTION	REMARKS	INTERIOR FINISH CLASSIFICATION
MP-1	METAL PANEL AND BRAKE METAL	PAC-CLAD 16" METAL WALL PANEL COLOR: CITYSCAPE	TRASH ENCLOSURE GATE AND TRIM	
MP-2	BRAKE METAL	COLOR: REGAL BLUE FINISH: SMOOTH	METAL ROOF, COPING, CANOPY COLUMNS AND UNDERSIDE OF CANOPY	
MP-3	BRAKE METAL	COLOR: ONYX FINISH: SMOOTH	METAL SOFFIT AND METAL COPING	
MP-4	BRAKE METAL	COLOR: SANDSTONE FINISH: SMOOTH	METAL COPING AT SIDE WALLS	
MP-5	BRAKE METAL	COLOR: CLEAR ANODIZED FINISH: SMOOTH	TRIM AT STOREFRONT	
MP-6	BRAKE METAL	PAC-CLAD SNAP-CLAD METAL ROOFING PANEL COLOR: SLATE BLUE	METAL ROOF	
PL-1	THIN BRICK	METRO BRICK COLOR: COMMONS THIN BRICK - WIRE CUT	EXTERIOR FINISH	
PL-2	THIN BRICK	METRO BRICK COLOR: BLEND 2 THIN BRICK - FAST SHIP	EXTERIOR FINISH	

FINISH MATERIALS SCHEDULE NOTES:
a. ALL BUILDING FINISH ITEMS ARE PROVIDED BY GC

GRADE MATERIALS PER CITY CODE
THIN BRICK - 82% GRADE A
GLASS - 15% GRADE A
STANDING SEAM/METAL - 14% GRADE E

SIGNAGE:
SIGNAGE SHOWN IS FOR REPRESENTATION AND COORDINATION ONLY. REFER TO PERMITTED SIGN PACKAGE FOR PRECISE LOCATION AND SIGNAGE QUANTITY

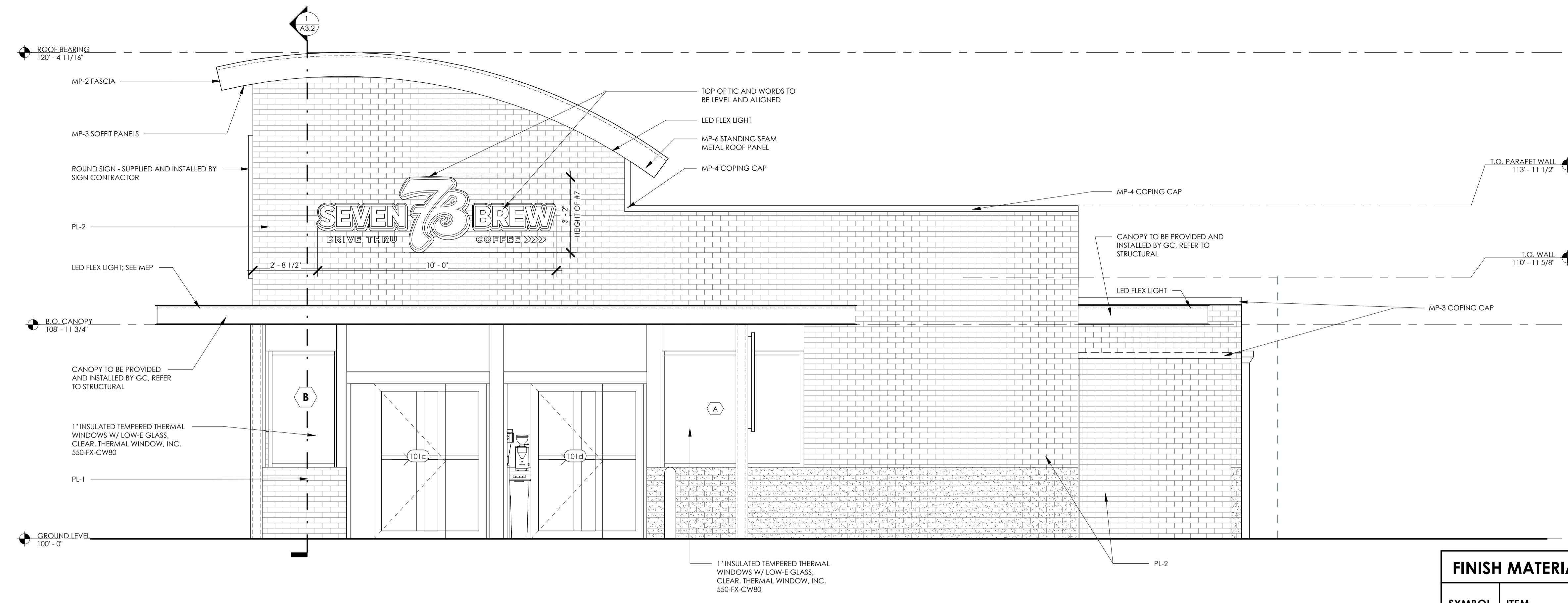
FIRM LICENSE NO. 1032

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Signature: *Adam Kreher*
Typed or Printed Name: Adam Kreher
Date 03/20/2026 License Number: 60997

ARCHITECT OF RECORD:
NAME: ADAM KREHER
LICENSE NO. 60997

PROJECT NUMBER: 25411 78LM2

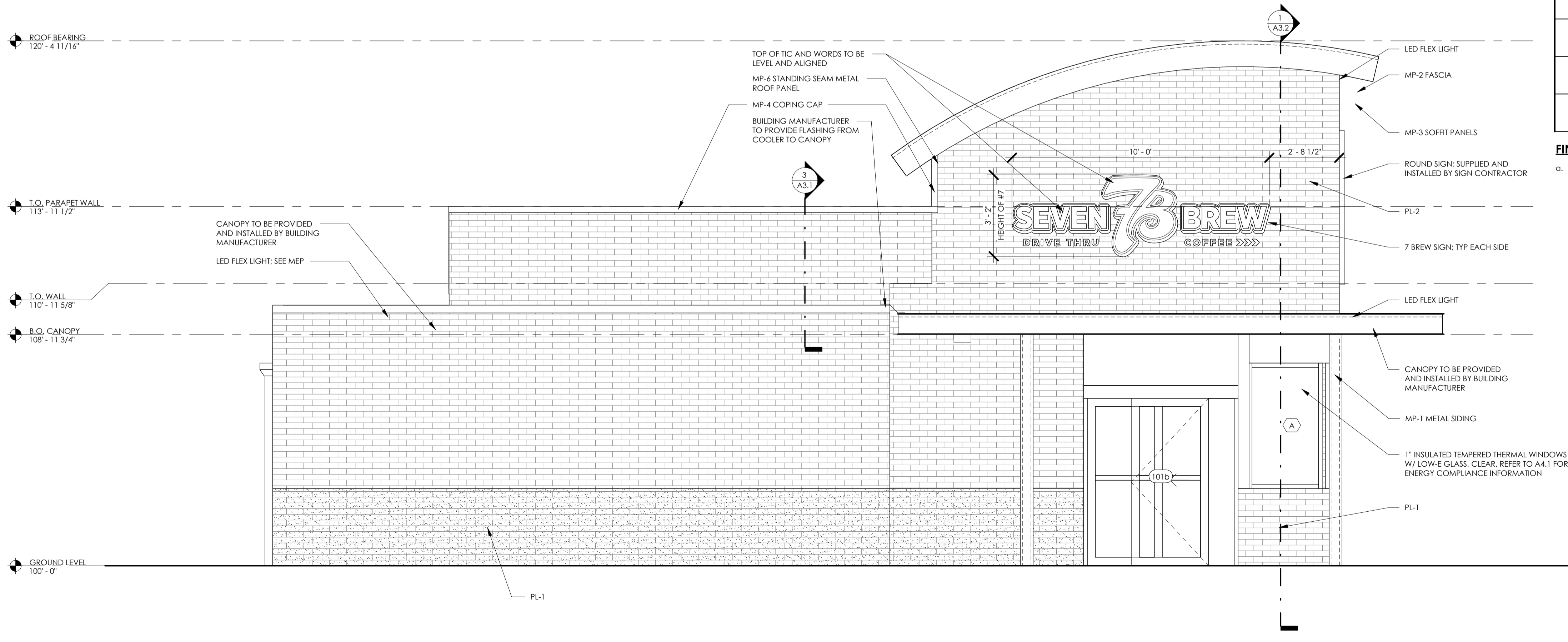
REVISION:
ADD #01
MARCH 20, 2026



1 EXTERIOR ELEVATION - LEFT SIDE
3/8" = 1'-0"

FINISH MATERIALS SCHEDULE				
SYMBOL	ITEM	DESCRIPTION	REMARKS	INTERIOR FINISH CLASSIFICATION
MP-1	METAL PANEL AND BRAKE METAL	PAC-CLAD 16\"/>		

FINISH MATERIALS SCHEDULE NOTES:
o. ALL BUILDING FINISH ITEMS ARE PROVIDED BY GC



2 EXTERIOR ELEVATION - RIGHT SIDE
3/8" = 1'-0"

GRADE MATERIALS PER CITY CODE
THIN BRICK - 82% GRADE A
GLASS - 15% GRADE A
STANDING SEAM/METAL - 14% GRADE E

SIGNAGE:
SIGNAGE SHOWN IS FOR REPRESENTATION AND COORDINATION ONLY. REFER TO PERMITTED SIGN PACKAGE FOR PRECISE LOCATION AND SIGNAGE QUANTITY

7 BREW COFFEE
LAKEVILLE, MN
7428 179th St W
LAKEVILLE, MN 55044

A2.2
EXTERIOR ELEVATIONS

ROOF BEARING
120' - 4 11/16"

B.O. CANOPY
108' - 11 3/4"

GROUND LEVEL
100' - 0"

1 EXTERIOR ELEVATION - FRONT
3/8" = 1'-0"



ROOF BEARING
120' - 4 11/16"


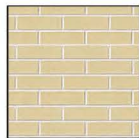






B.O. CANOPY
108' - 11 3/4"

GROUND LEVEL
100' - 0"

2 EXTERIOR ELEVATION - BACK
3/8" = 1'-0"



EXTERIOR FINISH LEGEND

-  METRO BRICK
THIN BRICK - FAST SHIP
BLEND 2
-  METRO BRICK
THIN BRICK - WIRE CUT
COMMONS
-  PAC-CLAD
STANDING SEAM PANEL
PACIFIC BLUE
-  BRAKE METAL
COLOR TO MATCH
STOREFRONT FRAMES
-  BRAKE METAL
PACIFIC BLUE
-  BRAKE METAL
ONYX
-  DOORS
HONORABLE BLUE
SW6811
-  BRAKE METAL
PAC-CLAD
SANDSTONE

SIGNAGE:

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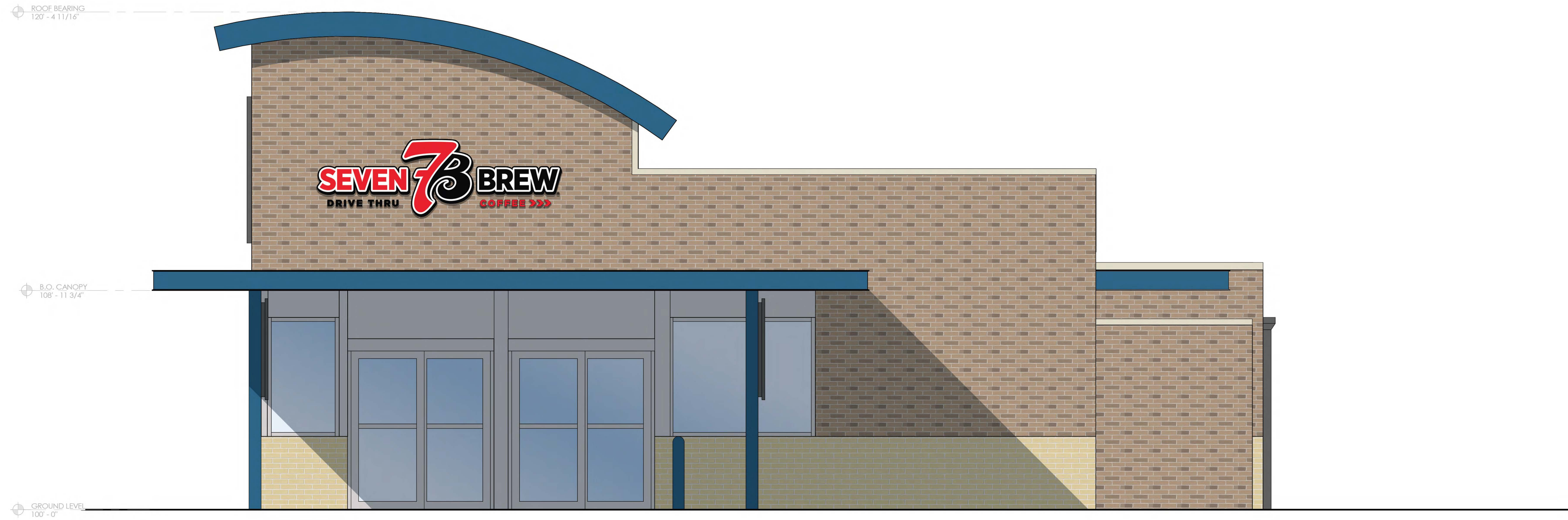
FIRM LICENSE NO. 1032

ARCHITECT OF RECORD:
NAME: ADAM KREHER
LICENSE NO. 60997

PROJECT NUMBER: 25411 7BLM2
REVISION:

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EXTERIOR ELEVATIONS

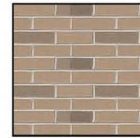
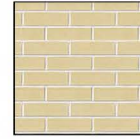





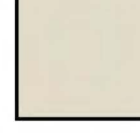


1 EXTERIOR ELEVATION - LEFT SIDE
3/8" = 1'-0"



2 EXTERIOR ELEVATION - RIGHT SIDE
3/8" = 1'-0"

EXTERIOR FINISH LEGEND

-  METRO BRICK
THIN BRICK - FAST SHIP
BLEND 2
-  METRO BRICK
THIN BRICK - WIRE CUT
COMMONS
-  PAC-CLAD
STANDING SEAM PANEL
PACIFIC BLUE
-  BRAKE METAL
COLOR TO MATCH
STOREFRONT FRAMES
-  BRAKE METAL
PACIFIC BLUE
-  BRAKE METAL
ONYX
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SW6811
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PROJECT NUMBER: 25411 7BLM2
REVISION:

7 BREW COFFEE
LAKEVILLE, MN

7428 179th St W
LAKEVILLE, MN 55044

A2.2
EXTERIOR ELEVATIONS

CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA

CONDITIONAL USE PERMIT
FINDINGS OF FACT AND RECOMMENDATION
KUEBER COFFEE MINNESOTA, LLC

On May 7, 2026, the Lakeville Planning Commission met at its regularly scheduled meeting to consider the application of Kueber Coffee Minnesota, LLC for a conditional use permit to allow a convenience restaurant with a drive-through service window in the M-2, Mixed Use Cedar Corridor District and to allow a commercial building less than 2,000 square feet of floor area. The Planning Commission conducted a public hearing on the conditional use permit application preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The subject property is located in Comprehensive Planning District 5, which guides the property for Corridor Mixed Use.
2. The subject site is zoned M-2, Mixed Use Cedar Corridor District.
3. Legal description of the property is:

Lot 2, Block 1, Marketplace at Cedar

4. Chapter 4 of the City of Lakeville Zoning Ordinance provides that a conditional use permit may not be issued unless certain criteria are satisfied. The criteria and our findings regarding them are:
 - a. **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.**

Finding: The proposed convenience restaurant with a drive-through use is consistent with the guided mixed-use designation of the property.

- b. **The proposed use is or will be compatible with present and future land uses of the area.**

Finding: The proposed convenience restaurant will be compatible with the existing and future land uses in the area.

- c. **The proposed use conforms to all performance standards contained in the Zoning Ordinance and the City Code.**

Finding: Provided compliance with the stipulations of the conditional use permit, the proposed use will conform to all other performance standards contained in the Zoning Ordinance and the City Code.

- d. **The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.**

Finding: The proposed convenience restaurant use can be accommodated with existing public services and will not overburden the City's service capacity.

- e. **Traffic generated by the proposed use is within capabilities of streets serving the property.**

Finding: The streets serving this site are adequate to accommodate traffic from the proposed use.

- 5. The report dated April 29, 2026, prepared by Heather Botten, Senior Planner is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the conditional use permit conditioned upon compliance with the planning report prepared by Heather Botten, Senior Planner dated April 29, 2026.

DATED: May 7, 2026

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair



Memorandum

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: April 30, 2026
Subject: Election of Officers

The City Council appointed a new alternate commission member to serve on the Planning Commission starting on April 1, 2026, and the annual election of Planning Commission officers will take place at the May 7 meeting.

PC members elected in April 2025 were Christine Zimmer as Chair and Scott Einck as Vice Chair.

For the election of officers:

- The existing chair (or vice chair if chair is no longer on the board) should ask for nominations from the board members.
 - If no officers from the previous board are present, the most tenured member of the board will handle the nomination process.
 - Nominations can be taken individually by position (chair or vice-chair) or as a slate of officers.
 - This call for nominations should occur three times.
 - The presiding officer shall announce that self-nominations are allowed.
- Once three calls for nominations are completed, the chair shall state that nominations are closed.
- A vote on the positions, either individually or as a slate, shall occur.
 - The person with the most votes is elected.
- The newly elected chair takes over presiding duties.

Action Requested: Commissioners are asked to elect officers to serve the April 2026- March 2027 term.



Memorandum

FYI

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: April 30, 2026
Subject: Future and Continued Planning Commission Agenda Items
Summary of City Council Actions on Planning Commission Items

The following is a list of possible agenda items to be considered at upcoming Planning Commission meetings:

- Valvoline – CUP for minor auto repair and commercial building less than 2,000 SF
- Restoration Church – CUP amendment for building expansion

There were no items from Planning Commission on the City Council April 20, 2026 meeting.