



AGENDA PLANNING COMMISSION MEETING

**June 25, 2026 - 6:00 PM
City Hall Council Chambers**

Members of the public can participate in person at Lakeville City Hall. The Planning Commission meeting can be viewed via web stream at [Lakevillemn.gov/LiveTV](https://lakevillemn.gov/LiveTV) or live on Spectrum cable channel 180. The Chair will allow for public comments and questions at the appropriate time.

1. Call to order and flag pledge
2. Roll Call
3. Approval of Minutes
 - a. June 4, 2026 Planning Commission minutes
4. Announcements
5. Public Hearing
 - a. Conditional use permit to allow accessory building square footage to exceed 1,500 square feet at 9446 210th Street
 - b. Conditional use permit to allow accessory building square footage to exceed 1,500 square feet and for a detached accessory structure to exceed 15 feet in height at 9475 212th Street
 - c. Conditional use permit for Al Hadi Association at 17732 Junelle Path for a religious institution and to exceed 125% of the minimum parking stalls required
6. Staff Notices
 - a. The City Council meeting at which the above items may be considered will be held on July 6, 2026.
 - b. The next Planning Commission meeting is scheduled for July 16, 2026.
 - c. Planning Manager's memo
7. Adjourn
8. Work Session
 - a. Zoning Ordinance updates

CITY OF LAKEVILLE
PLANNING COMMISSION MEETING MINUTES
June 4, 2026

Vice Chair Einck called the meeting to order at 6:00 p.m. in the Council Chambers at City Hall. The Pledge of Allegiance to the flag was given.

Members Present: Vice Chair Scott Einck, Pat Kaluza, John Swaney, Mark Traffas, Ex-Officio Kelli Coughlin

Members Absent: Chair Christine Zimmer, Jason Swenson, Amanda Tinsley

Staff Present: Kris Jenson, Planning Manager; Heather Botten, Senior Planner; Jon Nelson, Assistant City Engineer; Dawn Erickson, Community Development Recorder

3. Approval of the Meeting Minutes

The May 21, 2026 Planning Commission meeting minutes were approved as presented.

4. Announcements

Planning Manager Kris Jenson stated there were no announcements.

5a. Marketplace at Cedar Lot 3

Vice Chair Einck opened the public hearing to consider the application of ISG for a conditional use permit for a convenience restaurant with a drive-through service window in the M-2, Mixed Use Cedar Corridor District.

Ryan Durand with Oppidan introduced the project. He stated this building will have a drive-through restaurant, a dental office, and one to three tenant spaces for uses yet to be determined.

Senior Planner Heather Botten presented the staff report. The development is for a 1.45 acre parcel located south of 179th Street (CSAH 9) and east of Cedar Avenue (CSAH 23), identified as Lot 3, Block 1, Marketplace at Cedar. The project includes an approximate 8,500 square foot building designed for multi-tenants, one of which would have a convenience restaurant with a drive-through service window. Section 11-66-7.E of the Zoning Ordinance allows convenience restaurants with a drive-through service window by conditional use permit.

Community Development Department staff recommend approval of the conditional use permit.

Vice Chair Einck opened the hearing to the public for comment.

There was no public comment.

Motion was made by Kaluza, seconded by Traffas to close the public hearing at 6:06 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Vice Chair Einck asked for comments from the Planning Commission.

- Commissioner Kaluza asked if there are tenants identified yet. Mr. Durand stated they have two tenants identified with signed leases and they are working to find tenants for the rest of the building.
- Commissioner Traffas clarified that there are three remaining tenant spaces and asked if the drive-through for the convenience restaurant is the only business that can use the drive-through or if the drive-through could be modified to allow another business to use it. Mr. Durand stated the three spaces could be combined for one tenant or can accommodate three separate tenants. He also stated the drive-through is designed to accommodate other businesses but may require approval from city staff.

Motion was made by Kaluza, seconded by Swaney to recommend to City Council approval of the conditional use permit for a convenience restaurant with a drive-through service window in the M-2, Mixed Used Cedar Corridor District and the findings of fact, subject to the following stipulations:

1. The site shall be developed according to the plans approved by the City Council.
2. The hours of operation shall be limited to five o'clock (5:00) A.M. to eleven o'clock (11:00) P.M.
3. Any rooftop and/or ground-mounted mechanical equipment must be screened per Zoning Ordinance requirements.
4. Plantings on the site must adhere to the landscape plan and an as-built planting plan provided prior to inspection of the installed landscaping. The Developer must provide a security with the building permit to guarantee installation of the landscaping.
5. Snow storage shall not occur within required parking spaces.
6. Prior to City Council consideration, the landscape plan must be updated to comply with the Foresters' comments, including adding shrubs along the north property line and additional landscaping added around the parking lot.

Ayes: Kaluza, Einck, Swaney, Traffas

Nays: 0

5b. EB Lakeville Development LLC

Vice Chair Einck opened the public hearing to consider the application of EB Lakeville Development LLC for an amendment to CUP 24-09 for the construction of more than one principal residential building on one lot of record and vacation of public right of way for 207th Street.

Will O’Keefe with Bader Development introduced the project. He stated they are proposing a 142-unit apartment building and 24 townhomes.

Ms. Jenson presented the staff report. The property is located north of 210th Street (CSAH 70) and west of Keokuk Avenue, includes a single-family home, and is heavily wooded. A preliminary plat and conditional use permits for the Crown Lakeville Apartments project was approved by the City Council on October 21, 2024. EB Lakeville Development has taken over the project and made some changes which require the amendment of the CUP approved for multiple principal buildings on one lot. The 207th Street right of way was previously under the jurisdiction of Dakota County, who conveyed the right of way to the city earlier this year, thus requiring it to be vacated.

At the time of preliminary plat approval, conditional use permits were also approved for an exception to the exterior materials requirements and the building height. The apartment building proposed for the site meets the requirements approved with those conditional use permits and therefore those items are not addressed. Because the tree inventory was prepared with the preliminary plat and was approved by City Council at that time, the site is not subject to the current tree preservation requirements.

Community Development Department staff recommend approval.

Vice Chair Einck opened the hearing to the public for comment.

Robert Powell, 11774 205th Street West, asked if the moratorium will affect this development this year, and stated that the previous developer was going to put fencing in and asked if this would still be the case.

Motion was made by Kaluza, seconded by Traffas to close the public hearing at 6:18 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Ms. Jenson stated when the moratorium was approved by City Council it did exempt any residential projects that already had preliminary plat approval, which this project does, so it is allowed to continue forward to final plat. There was a fence that was approved along the north property line, so it would be expected that will still be required as it was part of the preliminary plat approval at that time.

Vice Chair Einck asked for comments from the Planning Commission.

- Commissioner Traffas asked for the reason they made the change from the one large apartment building to the apartment and townhomes. Mr. O’Keefe stated they saw an opportunity to provide a different type of housing that hadn’t been previously approved and felt it would be addition to the development as a whole and would be well received.

Motion was made by Traffas, seconded by Kaluza to recommend to City Council approval of the amendment to conditional use permit #24-09 and the vacation of 207th Street right of way and the findings of fact subject to the following stipulations:

1. Implementation of the recommendations listed in the May 28, 2026 engineering report.

2. The 207th Street right-of-way vacation must be recorded in conjunction with the EB First Addition Final plat.
3. Prior to City Council consideration of the CUP amendment, the apartment building plans must be revised such that the “Efficiency Alcove” units remove the bedroom walls so as to meet the definition of an efficient dwelling unit or to increase the size of those same units to be at least 700 square feet as is required for one-bedroom units.

Ayes: Einck, Swaney, Traffas, Kaluza,

Nays: 0

5c. Authentix Lakeville Second Addition

Vice Chair Einck opened the public hearing to consider the application of EB Lakeville Development LLC for a preliminary plat of three outlots to be known as Authentix Lakeville Second Addition.

Will O’Keefe with Bader Development introduced the project.

Ms. Jenson presented the staff report. EB Lakeville Development LLC has submitted an application and plans for a preliminary and final plat to be known as Authentix Lakeville Second Addition. The plat consists of three outlots totaling 7.25 acres. The property is located north of 210th Street (CSAH 70) and west of Keokuk Avenue. One of the outlots is proposed to be used as a stormwater pond for the adjoining EB First Addition development.

Community Development Department staff recommend approval of the preliminary plat.

Vice Chair Einck opened the hearing to the public for comment.

There was no public comment.

Motion was made by Swaney, seconded by Kaluza to close the public hearing at 6:26 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Vice Chair Einck asked for comments from the Planning Commission.

- There were no comments from the Planning Commission.

Motion was made by Swaney, seconded by Kaluza to recommend to City Council approval of the preliminary plat to be known as Authentix Lakeville Second Addition, subject to the following stipulations:

1. Implementation of the recommendations listed in the engineering report dated May 28, 2026.
2. The wetland delineation must be completed and approved prior to City Council consideration of the final plat.

3. A stormwater maintenance agreement shall be approved by the City Council with the approval of the final plat.

Ayes: Swaney, Traffas, Kaluza, Einck

Nays: 0

There being no further business, the meeting was adjourned at 6:27 p.m.

Respectfully submitted,

Dawn Erickson, Community Development Recorder

DRAFT



Memorandum

To: Planning Commission
From: Heather Botten, Senior Planner
Date: June 11, 2026
Subject: Packet Material for the June 25, 2026 Planning Commission Meeting
Agenda Item: 9446 210th Street - Conditional Use Permit
Application Action Deadline: August 1, 2026

INTRODUCTION

Michael M. Moe of 9446 210th Street has applied for a conditional use permit (CUP) to allow the gross square feet of accessory building space to exceed the 1,500 gross square feet allowed in the RS-2, Single Family Residential District. The property is 2.18 acres and includes a single-family home with an attached two-car garage and a detached accessory building (32 foot by 50 foot building with an eight foot by 50 foot lean-to attached to the south side of the building). In 1989, CUP #89-17 was approved to allow the detached accessory building on the property.

The applicant is proposing to convert the existing attached two car garage into living space and add a 34 x 28-square foot three-car attached garage. The combined accessory building area is currently 2,462 square feet, and if the CUP is approved, the combined accessory building area would increase to 2,952 square feet. City Code Section 11-18-9.D. allows accessory building square footage to exceed the maximum allowed by conditional use permit.

The following exhibits are attached for your review:

- A. Location Map
- B. Zoning Map
- C. Site Plan
- D. Building Elevation

SITE ANALYSIS

Consistency with the Comprehensive Plan. The property's single family land use is consistent with the low-density residential land use identified on the 2040 Land Use Plan and Planning District 4 recommendations of the 2040 Comprehensive Plan.

Existing Conditions. A single-family home was constructed on the property in 1955, with the detached accessory building built in 1990. The site plan included with CUP #89-17 indicates that the proposed accessory building would be located about 36 feet from the rear property line but when constructed it was placed further south, near the rear property line. There's no information in the file to indicate why the change was made or what the minimum setback was at that time, though the applicant speculates that the building may have shifted south to avoid impacting the septic system. Because there is no change proposed to the accessory structure, it doesn't impact the ability for a new garage to be added to the home.

Adjacent Land Uses. The subject property is zoned RS-2, Single Family Residential District. The property is located within a developed neighborhood, with RS-3, Single-Family Residential zoning to the west and to the north, across 210th Street, and RS-2, Single-Family Residential zoning to the south and east.

Setbacks. The following minimum RS-2 District building setback requirements pertain to the existing home as well as the proposed garage addition:

Front Yard: 30 feet
Rear Yard: 30 feet
Side Yards: 15 feet

The existing home and proposed garage addition meet the RS-2 District setback requirements.

Accessory Building Use. As noted previously, a CUP was approved in late 1989 for the accessory structure. The stipulations of the CUP, including that no commercial or home occupation activities are conducted on the property and the storage building shall not be used for storage of commercial vehicles or for rental purposes, are still in effect.

Driveway Surfacing. The current driveway will provide access to the garage addition, complying with code requirements. Any expansion of the driveway to accommodate the new garage must be a hard surface such as asphalt, concrete, cobblestones, or pavers.

Building Materials The garage addition is proposed to have LP horizontal siding on the front and vinyl horizontal siding on the side and rear, consistent with other homes in the neighborhood. The proposed colors shall be consistent and complimentary to the existing home on the property.

CONDITIONAL USE PERMIT ANALYSIS

The Zoning Ordinance allows the accessory building area requirements to be exceeded by conditional use permit subject to the following criteria as listed in Section 11-18-5:

- A. There is a demonstrated need and potential for continued use of the structure for the purpose stated.**

Adding a three-car garage to a single-family home is consistent with other homes in the neighborhood. The existing garage will be converted to living space in conjunction with the construction of the new garage. Properties in the RS-2 District are allowed combined accessory buildings totaling 1,500 square feet unless a conditional use permit is approved to exceed that amount.

- B. No accessory building or private garage shall be utilized for all or a portion of a home occupation, for commercial activities or for commercial storage.**

The applicant has stated the garage addition is for personal use. No home occupation or storage of commercial vehicles or equipment is allowed in any accessory building on the property.

- C. The accessory building has an evident reuse or function related to a single-family residential environment in urban service areas or hobby farm environment in nonurban service areas of the city.**

An attached, three-car garage is a typical part of a single-family home in the urban service area.

- D. Detached accessory buildings shall be maintained in a manner that is compatible with the adjacent residential uses and does not present a hazard to public health, safety, and general welfare.**

N/A; the proposed accessory building will be attached to the existing single-family home.

- E. The performance standards and criteria of section 11-4-7 of this title shall be considered and a determination made that the proposed activity is in compliance with such criteria.**

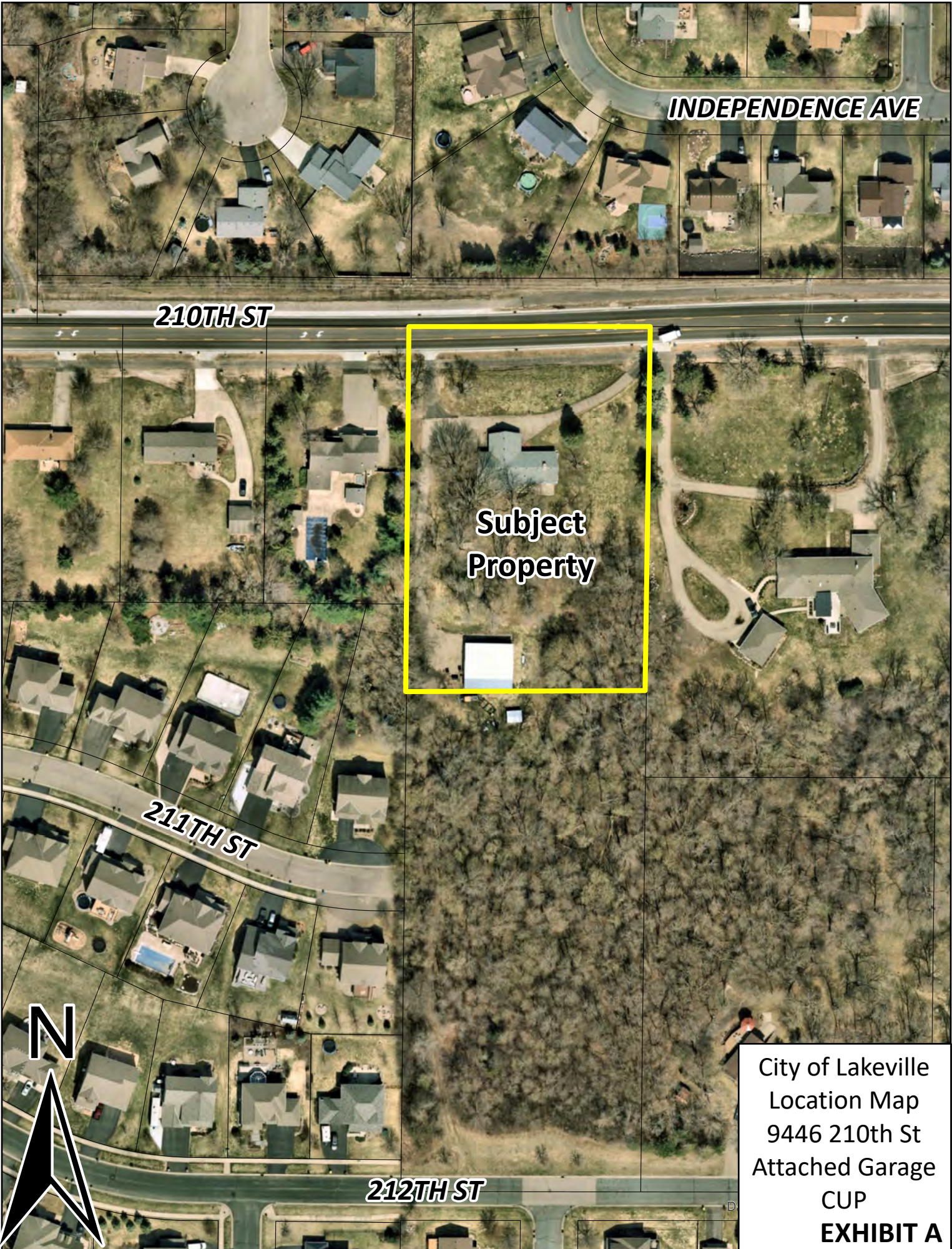
The provisions of section 11-4-7 of the Zoning Ordinance (Conditional Use Permits) have been considered and satisfactorily met. Please refer to the attached findings of fact.

RECOMMENDATION

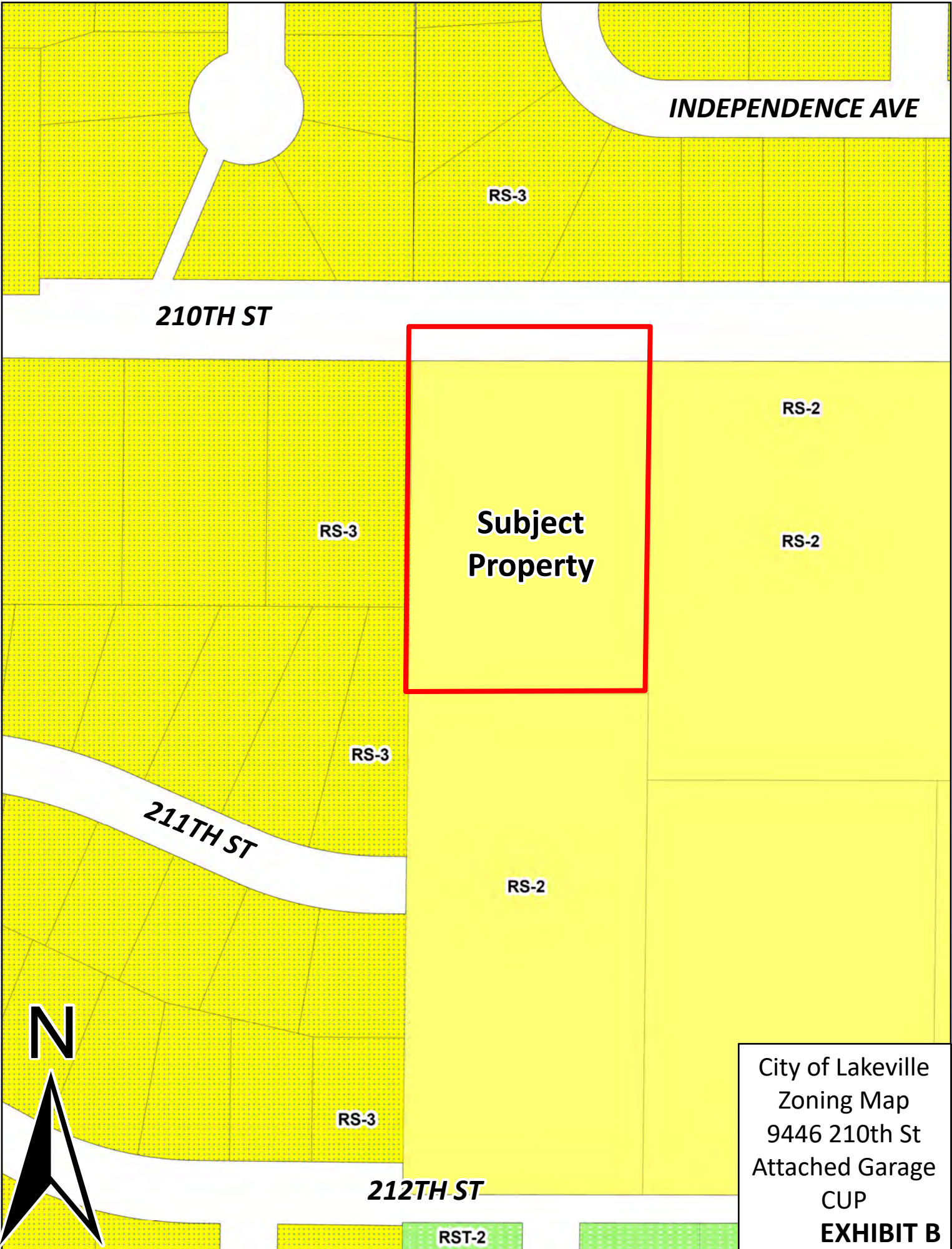
Community Development Department staff recommends approval of the conditional use permit to allow accessory structures greater than 1,500 square feet in the RS-2 District located at 9446 210th Street, subject to the following stipulations:

1. The garage addition shall be constructed in the location identified on the site plan approved with this conditional use permit.
2. The accessory buildings shall be kept, used, and maintained in a manner that is compatible with the existing single-family home on the property and shall not present a hazard to the public health, safety and general welfare.
3. No commercial activity, storage of commercial equipment or use as a dwelling shall take place within any accessory building on the property. Commercial storage or storage for third parties is not permitted.
4. A building permit application shall be submitted to and approved by the Building Inspections Department prior to commencing construction.

Findings of Fact are attached for consideration.



City of Lakeville
Location Map
9446 210th St
Attached Garage
CUP
EXHIBIT A



INDEPENDENCE AVE

RS-3

210TH ST

RS-2

**Subject
Property**

RS-2

RS-3

RS-3

211TH ST

RS-2

N

RS-3

212TH ST

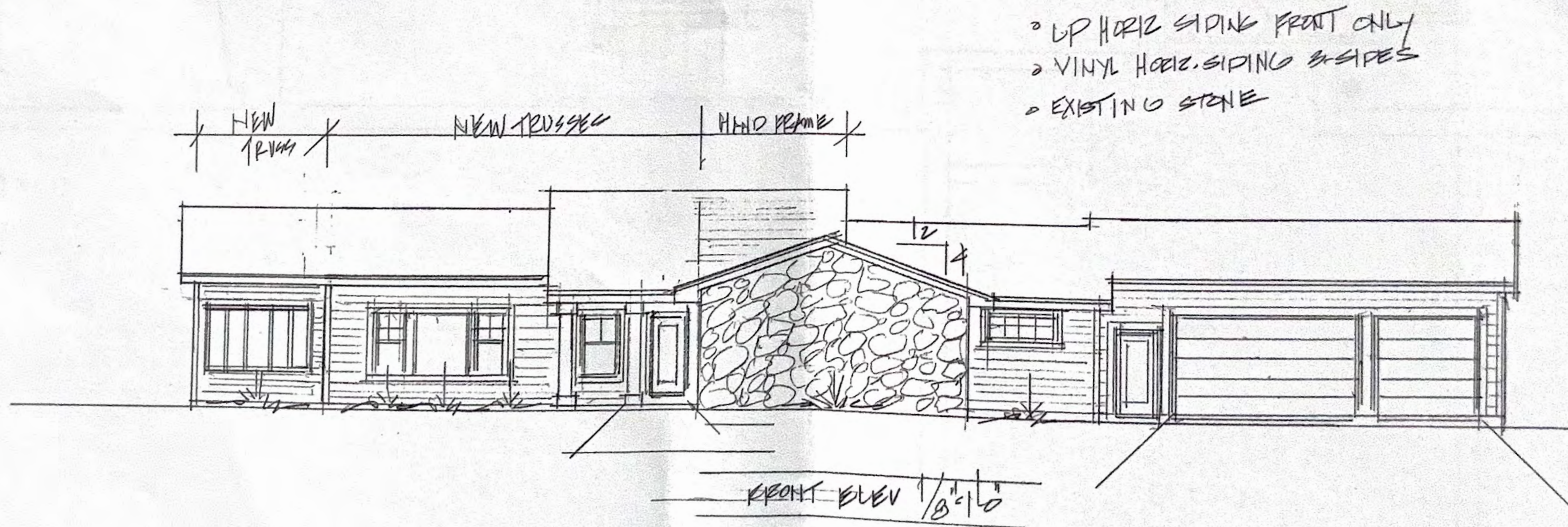
RST-2

City of Lakeville
Zoning Map
9446 210th St
Attached Garage
CUP

EXHIBIT B



EXHIBIT C



- LP HORIZ SIDING FRONT ONLY
- VINYL HORIZ. SIDING SIDES
- EXISTING STONE

Jobsite Address:
9446 210th St. W. Lakeville Mn. 55044

Remodel For:
Mike & Krysia Moe
 Mailing Address ; 20678Frost Ct. Lakeville Mn. 55044

EXHIBIT D

CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA

MOE CONDITIONAL USE PERMIT

FINDINGS OF FACT AND RECOMMENDATION

On June 25, 2026 the Lakeville Planning Commission met at its regularly scheduled meeting to consider a conditional use permit to allow total accessory building area greater than 1,500 square feet in the RS-2, Single Family Residential District on property located at 9446 210th Street. The Planning Commission conducted a public hearing on the proposed conditional use permit preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

1. The property is currently zoned RS-2, Single Family Residential District.
2. The property is located in Planning District No. 4 of the 2040 Comprehensive Plan, which guides the property for single family residential use and is located in the Low Density Residential District of the Comprehensive Plan.

3. The legal description of the property is:

The North 380 feet of the West 250 feet of the Northwest 1/4 of the Northwest 1/4, Section 32, Township 114, Range 20 in the City of Lakeville, Dakota County, Minnesota

4. Section 11-4-3E of the City of Lakeville Zoning Ordinance provides that a conditional use permit may not be issued unless certain criteria are satisfied. The criteria and our findings regarding them are:

- a. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.

The single-family home and proposed attached three-car garage on the 2.18 acre property are consistent with the RS-2 District zoning of the property and District 4 recommendations of the 2040 Comprehensive Plan.

- b. The proposed use is or will be compatible with present and future land uses of the area.
Provided compliance with the conditional use permit, the attached three-car garage will be compatible with existing and future land uses in the area.
 - c. The proposed use conforms with all performance standards contained in the Zoning Ordinance.
Provided compliance with the conditional use permit, the attached three-car garage will conform with all performance standards contained in the Zoning Ordinance and the City Code.
 - d. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.
The subject property is within the current MUSA but is not served by existing public services.
 - e. Traffic generation by the proposed use is within capabilities of streets serving the property.
The attached three-car garage will not overburden the streets serving the property.
5. The planning report, dated June 11, 2026, prepared by Senior Planner Heather Botten is incorporated herein.

The Planning Commission recommends that the City Council approve the conditional use permit conditioned upon compliance with the planning report prepared by Senior Planner Heather Botten dated June 11, 2026.

DATED: June 25, 2026

LAKEVILLE PLANNING COMMISSION

BY: _____

Christine Zimmer, Chair



Memorandum

To: Planning Commission
From: Heather Botten, Senior Planner
Date: June 11, 2026
Subject: Packet Material for the June 25, 2026 Planning Commission Meeting
Agenda Item: Andrew and Heidi Knight - Conditional Use Permit
Application Action Deadline: August 10, 2026

INTRODUCTION

Andrew and Heidi Knight of 9475 212th Street have applied for a conditional use permit to allow the gross square feet of accessory building space to exceed 1,500 gross square feet and for a detached accessory structure to exceed 15 feet in height in the RS-2, Single Family Residential District. The property is 3.0 acres in size and currently undeveloped. The applicant intends to construct a single-family home on the site, with an attached 1,026 square foot garage and a 30 x 50-foot detached garage on the north side of the property. The combined areas of the accessory buildings would total 2,526 square feet in area. City Code Section 11-18-9.D. allows accessory building square footage to exceed the maximum allowed by conditional use permit.

The property is currently undeveloped and heavily wooded, and it slopes from west to east dropping nearly 20 feet across the property.

The following exhibits are attached for your review:

- A. Location Map
- B. Zoning Map
- C. Site Plan
- D. Home Building Elevation
- E. Accessory Building Elevation + Floor plan

SITE ANALYSIS

Consistency with the Comprehensive Plan. The property's proposed single family land use is consistent with the low-density residential land use identified on the 2040 Land Use Plan and Planning District 4 recommendations of the 2040 Comprehensive Plan.

Existing Conditions. The subject property is currently vacant. The site is wooded with access to 212th Street. A tree inventory is required with the construction of the new home.

Adjacent Land Uses. The subject property is zoned RS-2, Single Family Residential District. The property is located within a developed neighborhood, with RS-3, Single-Family Residential zoning to the west. RST-2-, Single- and Two-Family Residential zoning to the south and RS-2, Single-Family Residential zoning to the north and east.

Accessory Building Use. The applicant indicated that the purpose of the structure is to store personal items including a camper, boats, and lawn equipment. Sanitary sewer service is not permitted to be extended to the detached accessory building. The structure shall not be used for commercial or home occupation purposes.

Setbacks. The following minimum RS-2 District building setback requirements pertain to the proposed home and detached accessory building:

Front Yard: 30 feet

Rear Yard: 30 feet

Side Yards: 15 feet

Detached Accessory Building Side and Rear Yard: 10 feet

The proposed setback for the home from the west property line is 75 feet. The proposed setback of the detached accessory structure from both the north and west property lines is about 100 feet. As part of the building permit process for the home, the applicants are required to complete a tree inventory as per Section 11-21-11. In consultation with the City Forester, work has begun on the site to remove ash trees, which are exempt from the removal threshold due to the Emerald Ash Borer. The applicant has indicated that the exact placement of the structure may be adjusted north in order to keep as many trees as possible, while still meeting the required setbacks.

Building Height. The applicant has requested that the detached structure be able to exceed the 15-foot height limit of the RS-2 District. For the purposes of the Zoning Ordinance, the height of a building with a peaked roof is measured at the midpoint of the roof, between the peak and eaves, to the average grade level. The applicants have a camper that requires a 14-foot-tall door for access, which requires 16-foot-tall sidewalls. With the pitch of the roof, the measured height is about 21 feet, 26 feet to the peak of the roof. The grade of the proposed location of the structure is about 10 feet lower than the west property line, where the nearest adjacent home is located.

Driveway Surfacing. A driveway is shown on the site plan to provide access to the detached garage from the driveway to 212th Street. The applicant has indicated that there will not be driveway access to 211th Street. The driveway must be surfaced with asphalt, concrete, cobblestone, or pavers.

Building Materials The proposed accessory building will have vinyl siding in a vertical manner, consistent with the home proposed for the site. The proposed accessory building materials and colors shall be consistent and complimentary to the proposed home on the property.

Screening. The applicant has indicated that existing trees will remain along the west property line and that overall they want to keep as many trees as possible on the site, with future plans being to plant more trees on that side of the property as well.

CONDITIONAL USE PERMIT ANALYSIS

The Zoning Ordinance allows the accessory building area requirements to be exceeded by conditional use permit subject to the following criteria as listed in Section 11-18-5:

- A. There is a demonstrated need and potential for continued use of the structure for the purpose stated.**

Properties in the RS-2 District are allowed combined accessory buildings totaling 1,500 square feet unless a conditional use permit is approved to exceed that amount. The property owner has indicated a need for the proposed size and height of the building to store personal and recreational vehicles and equipment.

- B. No accessory building or private garage shall be utilized for all or a portion of a home occupation, for commercial activities or for commercial storage.**

The applicant has stated the detached accessory structure is for the storage of a 14-foot-tall camper, boats, and lawn equipment. No home occupation or storage of commercial vehicles or equipment is allowed in any accessory building on the property.

- C. The accessory building has an evident reuse or function related to a single-family residential environment in urban service areas or hobby farm environment in nonurban service areas of the city.**

The proposed accessory building space has the evident function of creating storage of personal and maintenance equipment for this property.

- D. Detached accessory buildings shall be maintained in a manner that is compatible with the adjacent residential uses and does not present a hazard to public health, safety, and general welfare.**

The proposed detached accessory building (garage) will be in a location that meets setback requirements and will be compatible with adjacent properties of single-family homes on large lots in this area of the City.

- E. **The performance standards and criteria of section 11-4-7 of this title shall be considered and a determination made that the proposed activity is in compliance with such criteria.**

The provisions of section 11-4-7 of the Zoning Ordinance (Conditional Use Permits) have been considered and satisfactorily met. Please refer to the attached findings of fact.

RECOMMENDATION

Community Development Department staff recommends approval of the conditional use permit to allow accessory structures greater than 1,500 gross square feet and for a detached accessory structure to exceed 15 feet in height, all within the RS-2 District located at 9475 212th Street, subject to the following stipulations:

1. The detached accessory building shall be constructed in the approximate location identified on the site plan approved with the conditional use permit.
2. Sanitary sewer service is not permitted to be extended to the detached accessory structure.
3. The detached accessory building shall be kept, used, and maintained in a manner that is compatible with the existing single-family home on the property and shall not present a hazard to the public health, safety and general welfare.
4. No commercial activity, storage of commercial equipment or use as a dwelling shall take place within any accessory building on the property. Commercial storage or storage for third parties is not permitted.
5. A hard surfaced driveway is required to be constructed from the driveway for the home to the detached accessory structure.
6. A building permit application shall be submitted to and approved by the Building Inspections Department prior to commencing construction of the home and the detached accessory structure.

Findings of Fact are attached for consideration.

210TH ST

211TH ST

212TH ST

Subject
Property

N

INSEL LN

INDEPENDENCE AVE

City of Lakeville
Location Map
9475 212th St
Accessory
Structure CUP
EXHIBIT A

210TH ST

RS-3

RS-2

RS-3

RS-2

211TH ST

**Subject
Property**

RS-2

RS-3

212TH ST

N

INSEL LN

RS-3

INDEPENDENCE AVE

RST-2T-2

City of Lakeville
Zoning Map
9475 212th St
Accessory
Structure CUP
EXHIBIT B

210TH ST

211TH ST

212TH ST

Subject Property

100' setback (approximate)

75' setback (approx.)

50'

30'

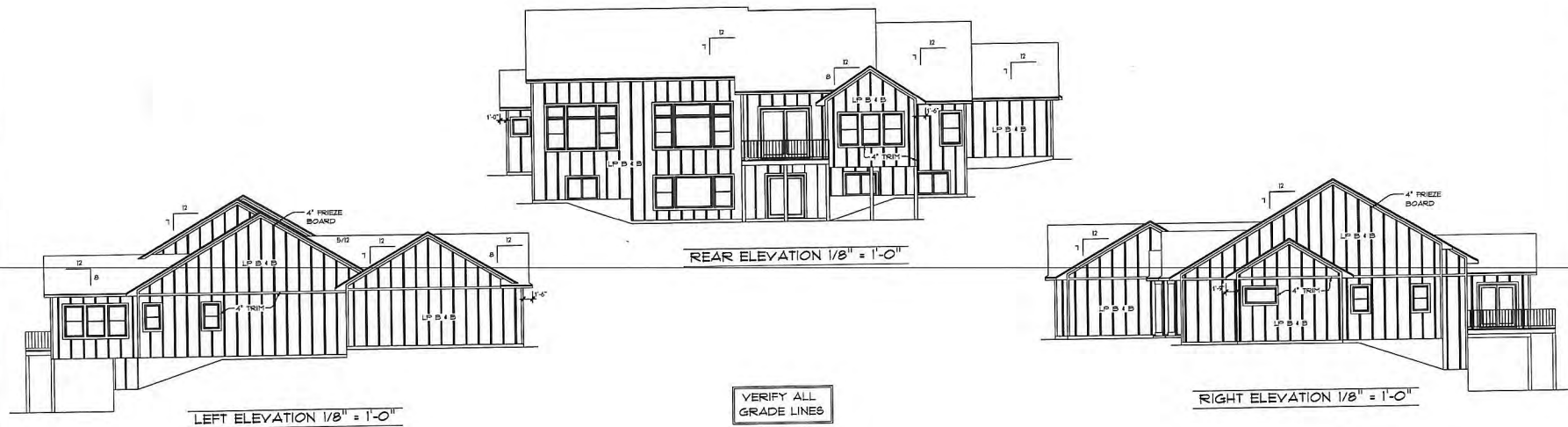
N

INSEL LN

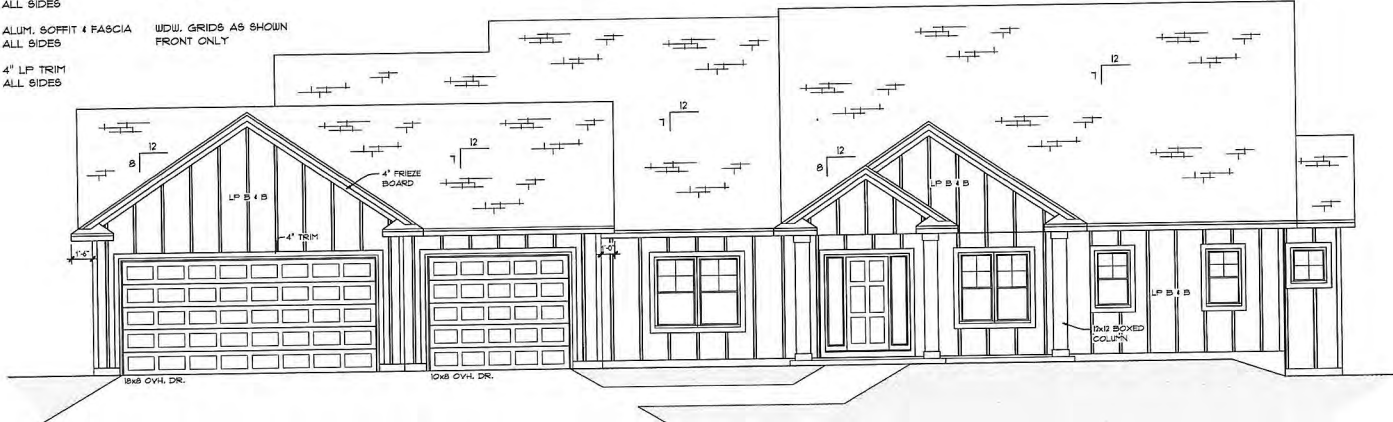
INDEPENDENCE AVE

9475 212th St
Accessory Structure
Site Plan

EXHIBIT C



- LP B 4 B VINYL WINDOWS
- ALL SIDES
- ALUM. SOFFIT & FASCIA WIDW. GRIDS AS SHOWN
- ALL SIDES FRONT ONLY
- 4" LP TRIM
- ALL SIDES



FRONT ELEVATION 1/4" = 1'-0"
POURED FOUNDATION
9' CEILING @ FIRST FLOOR

1st FLR.	2,760 SQ. FT.
BSMT	1,324 SQ. FT.
TOTAL	4,084 SQ. FT.

*ALL DOOR & WINDOW HEADERS TO BE S.P.F. #2 OR BETTER

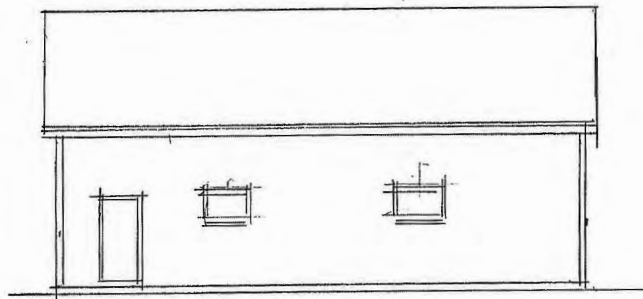
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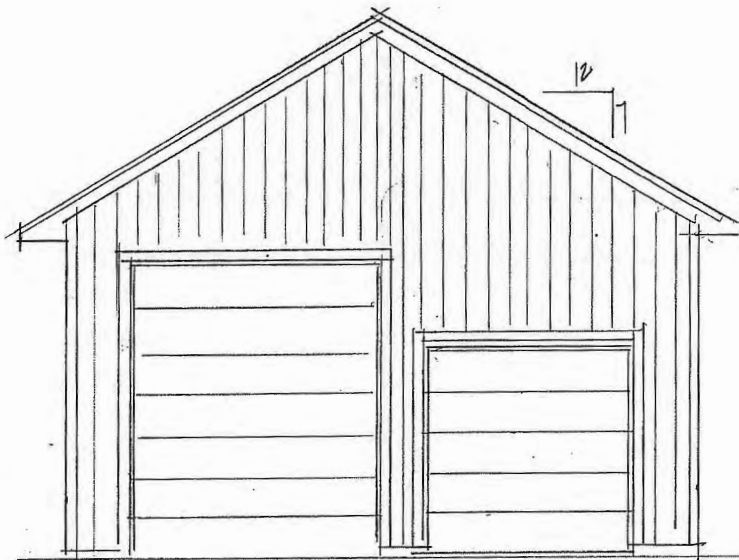
RESIDENCE FOR: **ANDREW & HEIDI KNIGHT**

1

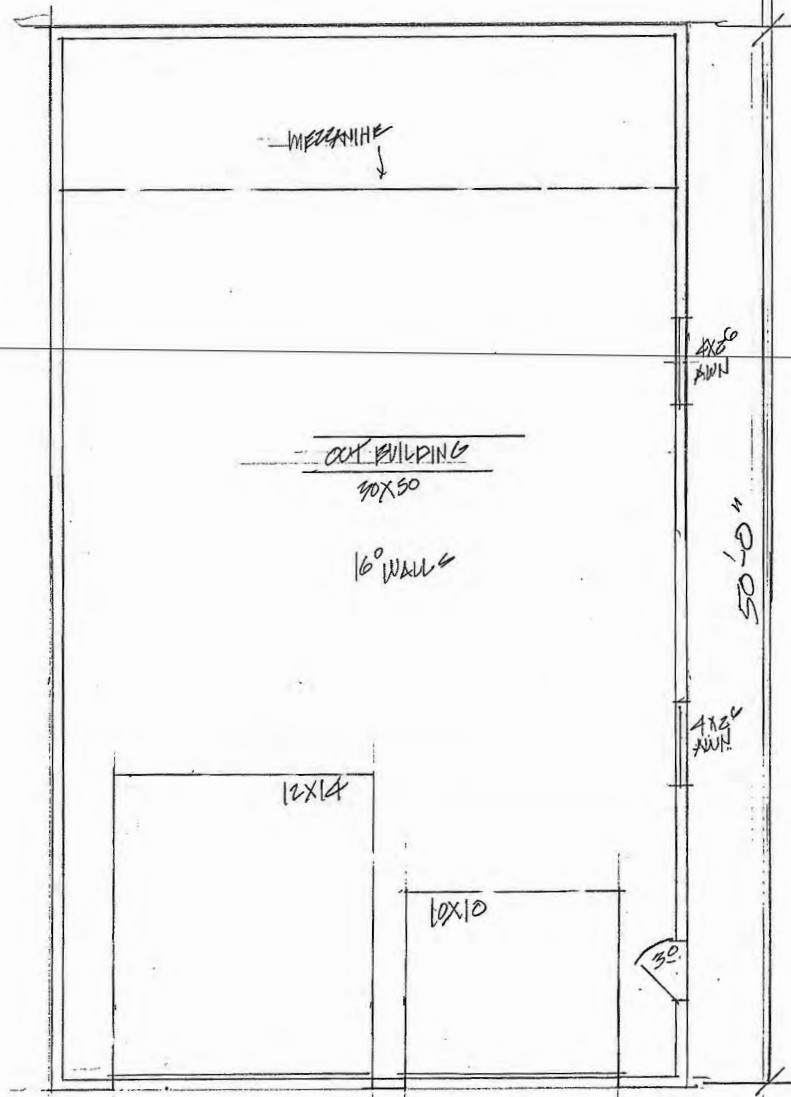
#26-011 SMA



RIGHT ELEV. 1/8" = 1'-0"



FRONT ELEV. 1/8" = 1'-0"



OUT BUILDING
30X50

12X14

10X10

FLOOR PLAN 1/4" = 1'-0"

EXHIBIT E

Out Building For:
Andrew & Heidi Knight
Mailing address :13378 S. Circle Dr. New Prague Mn.

CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA

KNIGHT CONDITIONAL USE PERMIT

FINDINGS OF FACT AND RECOMMENDATION

On June 25, 2026 the Lakeville Planning Commission met at its regularly scheduled meeting to consider a conditional use permit to allow total accessory building area greater than 1,500 square feet and for a detached accessory structure to exceed 15 feet in height in the RS-2, Single Family Residential District on property located at 9475 212th Street. The Planning Commission conducted a public hearing on the proposed conditional use permit preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

1. The property is currently zoned RS-2, Single Family Residential District.
2. The property is located in Planning District No. 4 of the 2040 Comprehensive Plan, which guides the property for single family residential use and is located in the Low Density Residential District of the Comprehensive Plan.

3. The legal description of the property is:

The West 250 feet of the South 523 feet of the North 903 feet of the Northwest 1/4 of the Northwest 1/4, Section 32, Township 114, Range 20 in the City of Lakeville, Dakota County, Minnesota

4. Section 11-4-3E of the City of Lakeville Zoning Ordinance provides that a conditional use permit may not be issued unless certain criteria are satisfied. The criteria and our findings regarding them are:

- a. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.

The proposed single-family home with an attached garage and accessory storage structure on the three acre property is consistent with the RS-2 District zoning of the property and District 4 recommendations of the 2040 Comprehensive Plan.

- b. The proposed use is or will be compatible with present and future land uses of the area.
Provided compliance with the conditional use permit, the attached garage and detached accessory structure will be compatible with existing and future land uses in the area.
 - c. The proposed use conforms with all performance standards contained in the Zoning Ordinance.
Provided compliance with the conditional use permit, the attached garage and detached accessory structure will conform with all performance standards contained in the Zoning Ordinance and the City Code.
 - d. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.
The subject property is within the current MUSA. The proposed home will be required to connect to city services and doing so will not overburden the City's service capacity.
 - e. Traffic generation by the proposed use is within capabilities of streets serving the property.
The attached garage and detached accessory structure will not overburden the streets serving the property.
5. The planning report, dated June 11, 2026, prepared by Senior Planner Heather Botten is incorporated herein.

The Planning Commission recommends that the City Council approve the conditional use permit conditioned upon compliance with the planning report prepared by Senior Planner Heather Botten dated June 11, 2026.

DATED: June 25, 2026

LAKEVILLE PLANNING COMMISSION

BY: _____

Christine Zimmer, Chair



Memorandum

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: June 15, 2026
Subject: Packet Material for the June 25, 2026 Planning Commission Meeting

Agenda Item: Al Hadi Association Conditional Use Permit for:

1. Religious institution in the RS-3, Single Family Residential District
2. Exceed 125% of the minimum parking spaces required by the Zoning Ordinance.

Application Action Deadline: July 31, 2026

INTRODUCTION

Applications for a conditional use permit have been submitted by representatives of Al Hadi Association for the construction of a nearly 3,700 square foot facility as well as a parking lot which will include more than 125% of the minimum number of parking spaces required by the Zoning Ordinance. The property is located at 17732 Junelle Path, south of 175th Street, behind the Cub Foods in Argonne Village.

The Al Hadi Association plans have been distributed to Engineering and Environmental Resources staff for review.

EXHIBITS

- A. Aerial Location Map
- B. Zoning Map
- C. Existing Condition Survey
- D. Site and Dimension Plan
- E. Grading & Drainage Plan

- F. Utility Plan
- G. Tree Preservation Plan & Inventory (3 pages)
- H. Landscape Plan
- I. Building Elevations (4 pages)
- J. Floor Plans
- K. Trash Enclosure Detail
- L. Color Elevations

PLANNING ANALYSIS

Conditional Use Permit. The conditional use permit is a quasi-judicial decision – the City’s role is to determine the facts associated with the request and weigh those facts against the legal standards contained in the City Code and State Statute. In general, if the facts indicate the applicant meets the relevant legal standards of the code and will not compromise the general welfare, the applicant is likely entitled to approval. The City is, however, able to add conditions to approval to ensure that any impacts on and around the subject property are adequately addressed.



Existing Conditions. The site has a 1,230 square foot single family home which was constructed in 1922. The site also includes a 490 square foot detached garage with a 230 square foot leanto, a 530 square foot barn, and a 48 square foot shed. The home and garage will be removed as part of the construction on site. The barn and shed, both of which are located further east on the site, atop the hill on the east half of the property, are proposed to remain at this time. A \$50,000 security must be submitted to guarantee the demolition of the existing homestead and garage and the sealing and abandonment of the well.

Adjacent Land Uses.

- North: Single family home (RS-2 District)
- South: Twinhomes (PUD District)
- East: Undeveloped property (RS-2 District)
- West: Argonne Hills senior housing (O-R District), Junelle Path, Cub Foods/Argonne Village commercial center (PUD District)

Zoning. The subject property is zoned RS-2, Single Family Residential District which allows religious institution uses by conditional use permit.

Setbacks. The proposed structure meets the RS-2 District setback requirements, as follows:

Front and rear yards – 30 feet

Side Yards – 30 feet

Religious institutions are required to have double the side yard setback requirements of the zoning district in which the property is located, so the side yard setbacks is 30 feet, rather than the 15 feet required for a residential dwelling.

Streets. The subject site abuts Junelle Path, which is a 38-foot-wide local street within a 66-foot-wide right-of-way. Junelle Path is posted for no parking.

Trails and Sidewalks. There is not a sidewalk along Junelle Path.

Grading, Drainage and Utility Plans. The grading, drainage and utility plans were submitted to the Engineering Division for their review. The civil plans are still under review and must be finalized prior to consideration by the City Council. Please refer to the June 17, 2026 Engineering Division report from Jon Nelson, Assistant City Engineer and McKenzie Cafferty, Environmental Resources Manager, for more detailed review comments.

Tree Preservation. The City Forester reviewed the submitted tree preservation plan, which identified trees on the west portion of the site, where construction will take place. Based on the trees included in the inventory, there are 813 significant tree diameter inches on site, and 509 inches proposed to be removed, which requires the replacement of 23 inches of require tree diameter to be planted on site. The plans indicate that maple, white pine, and crabapple trees will be planted to meet the 23 inches of required tree planting. The City Forester will confirm the tree removal calculations prior to the approval of the SIPA by the City Council.

CONDITIONAL USE PERMIT

Section 11-51-7.D allows religious institutions in the RS-2, Single Family Residential District subject to approval of a conditional use permit. Section 11-19-13.J allows the number of parking spaces to exceed 125% of the minimum number required by conditional use permit subject to the following criteria:

- A. The use and the site in question shall be served by a street of sufficient capacity to accommodate the type and volume of traffic which would be generated and adequate right of way shall be provided.

The site is served by Junelle Path, which is classified as a local street. Junelle Path as constructed is 38 feet, measured from the back of curb to back of curb and is wider than a typical local residential street, which generally measures 32 feet from the back of curb to the back of curb.

- B. The site design for access and parking shall minimize internal as well as external traffic conflicts and shall be in compliance with chapter 19 of this title.

Access to the site will remain unchanged with the change in use for the site.

- C. If applicable, a pedestrian circulation system shall be clearly defined and appropriate provisions made to protect such areas from encroachment by parked or moving vehicles.

A sidewalk is provided along the front and side of the building, adjacent to the parking lot.

- D. Adequate off street parking and off street loading shall be provided in compliance with chapters 19 and 20 of this title.

The site proposes 59 parking spaces. Parking for religious institutions is calculated based on the design capacity of the main assembly, which in this case has a capacity for 118 persons and requiring a minimum of 39 parking spaces. A conditional use permit is being processed because the site is proposing in excess of 125% of the Zoning Ordinance requirements, which is supported by staff.

The applicant has provided information about the activities to be expected at the site. The mosque will operate daily from 1 pm to 9 pm, during which 8-10 members are expected to stop by to perform prayers. The main assembly time is on Friday between 12 noon and 2pm, when it is expected that up to 70 members will attend services. During those times, there is expected to be up to 10 staff members on site as well. Some of the other activities that will take place on site are a monthly youth program and a group study one night per week. The primary factor in providing additional parking is that on-street parking is not permitted on Junelle Path, so should additional spaces be needed above the 39 required spaces, the site can accommodate those vehicles.

- E. Loading areas and drive-up facilities shall be positioned so as to minimize internal site access problems and maneuvering conflicts, to avoid visual or noise impacts on any "adjacent" residential use or district, and provided in compliance with chapter 20 of this title.

Not applicable.

- F. Whenever a nonresidential use "is adjacent to" a residential use or district, a buffer area with screening and landscaping shall be provided in compliance with chapter 21 of this title.

Landscaping is proposed in the southwest corner of the property and north and east of the parking lot. In the southwest corner, there are five trees proposed to be saved, which provide some buffering of the site from Junelle Path and the homes to the south. Five Little Giant arborvitae shrubs are proposed just inside the property line, to provide additional screening. The applicant looked at adding trees or other plantings amongst the existing trees in this area for buffering, but in consultation with the City Forester it was recommended to not add plantings in that area, out of concern for potential damage to the roots of those trees and the ability for new plantings to survive give the heavy tree canopy that exists. The Little Giant Arborvitae shrubs will also be planted between the parking and the stormwater pond, for additional screening of the parking lot.

Brandon Arborvitae shrubs are proposed along the parking spaces south of the building and along 125 feet of the north side of the west parking area. These plantings are intended to screen the parking lot and minimize vehicle headlights from shining on adjacent parcels. Finally, four white pine trees are proposed to be planted among the existing trees just north of the parking area, which slopes up steeply towards the east.

- G. General site screening and landscaping shall be provided in compliance with chapter 21 of this title.

The landscape plan includes proposed plantings around the south and west sides of the building and within the parking lot. The City Forester has reviewed and approved the landscape plan. Prior to any landscape inspections on site, an as-planted landscape plan must be submitted to Forestry staff.

- H. All exterior lighting shall be so directed so as not to cast glare toward or onto the public right of way or neighboring residential uses or districts, and shall be in compliance with section 11-16-17 of this title.

The photometric plan indicates that all lighting on site will be on the building; parking lot lighting is not proposed. All building mounted lights must be facing downward onto the structure per Section 11-16-17. The light levels indicated on the photometric plan are in compliance with section 11-16-17 of the Zoning Ordinance.

- I. Potential exterior noise generated by the use shall be identified and mitigation measures as may be necessary shall be imposed to ensure compliance with section 11-16-25 of this title.

There is not anticipated to be any exterior noise generated by the use beyond the general day to day activity. The applicant has indicated that there will not be a call to prayer broadcast outside of the mosque.

- J. The site drainage system shall be subject to the review and approval of the city engineer.

The stormwater system is still under review by Engineering staff. The civil plans must be approved by the Engineering Division as well as a Site Improvement Performance Agreement and Stormwater Maintenance Agreement executed by the Developer and approved by the City Council prior to any construction beginning on site.

- K. The architectural appearance and functional design of the building and site shall not be so dissimilar to the existing or potential buildings and area so as to cause a blighting influence. All sides of the principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment.

The proposed building has a footprint of just under 3,700 square feet and will primarily be clad in brick with windows on all four sides of the building. These two materials total 70.4% of the exterior, in compliance with Zoning Ordinance requirements. The remainder of the structure is proposed to be stucco and architectural panels with a natural material finish; these materials are grade B and grade C and account for 29.6% of the exterior materials. The primary colors of the building are two shades of cream, while the domed area at the front entrance includes two darker shades of brown and dark green metal dome over the entrance.

The proposed structure has an overall height to the peak of 31 feet, 10.75, which is less than the 35 foot maximum height allowed in the RS-2 district. Building height for peaked roofs is typically measured from grade level to the midpoint of the roof, which in this case is about 26 feet. The building also proposes a minaret which has an overall height of 38 feet, 7 inches. The minaret is built as a part of the building and is therefore exempt from the height requirements of the RS-2 District per Section 11-17-74 D, which states that building height limits do not apply to church spires and crosses or other symbols as an element of the principal building.

- L. Provisions shall be made for daily litter control, an interior location for recycling, and trash handling and storage or an outdoor, enclosed receptacle area shall be provided in compliance with section 11-18-11 of this title.

A trash enclosure is proposed to be located just east of the main entrance, in the corner of the parking lot. The exterior materials must

be compatible with the proposed structure and include a maintenance-free gate.

- M. All signs and informational or visual communication devices shall be in compliance with chapter 23 of this title.

A sign has not been indicated on the plans at this time and the applicant has indicated that a sign is not planned at this time. If a sign is proposed for the site, it must be in compliance with Section 11-23-19 and a permit be issued prior to installation.

- N. The use and site shall be in compliance with any federal, state or county law or regulation that is applicable and any related permits shall be obtained and documented to the city.

Not applicable

- O. Any applicable business licenses mandated by this code are approved and obtained.

Not applicable

- P. The hours of operation may be restricted when there is judged to be an incompatibility with a residential use or district.

The hours of mosque operation are not expected to be incompatible with the area.

- Q. The use complies with all applicable performance standards of the zoning district in which it is located and where applicable.

The use complies with the performance standards of the RS-2 district.

RECOMMENDATION

Community Development staff have reviewed the plans for Al Hadi Association and determined they meet the requirements of the Zoning Ordinance and recommends approval of a conditional use permit, subject to the following stipulations:

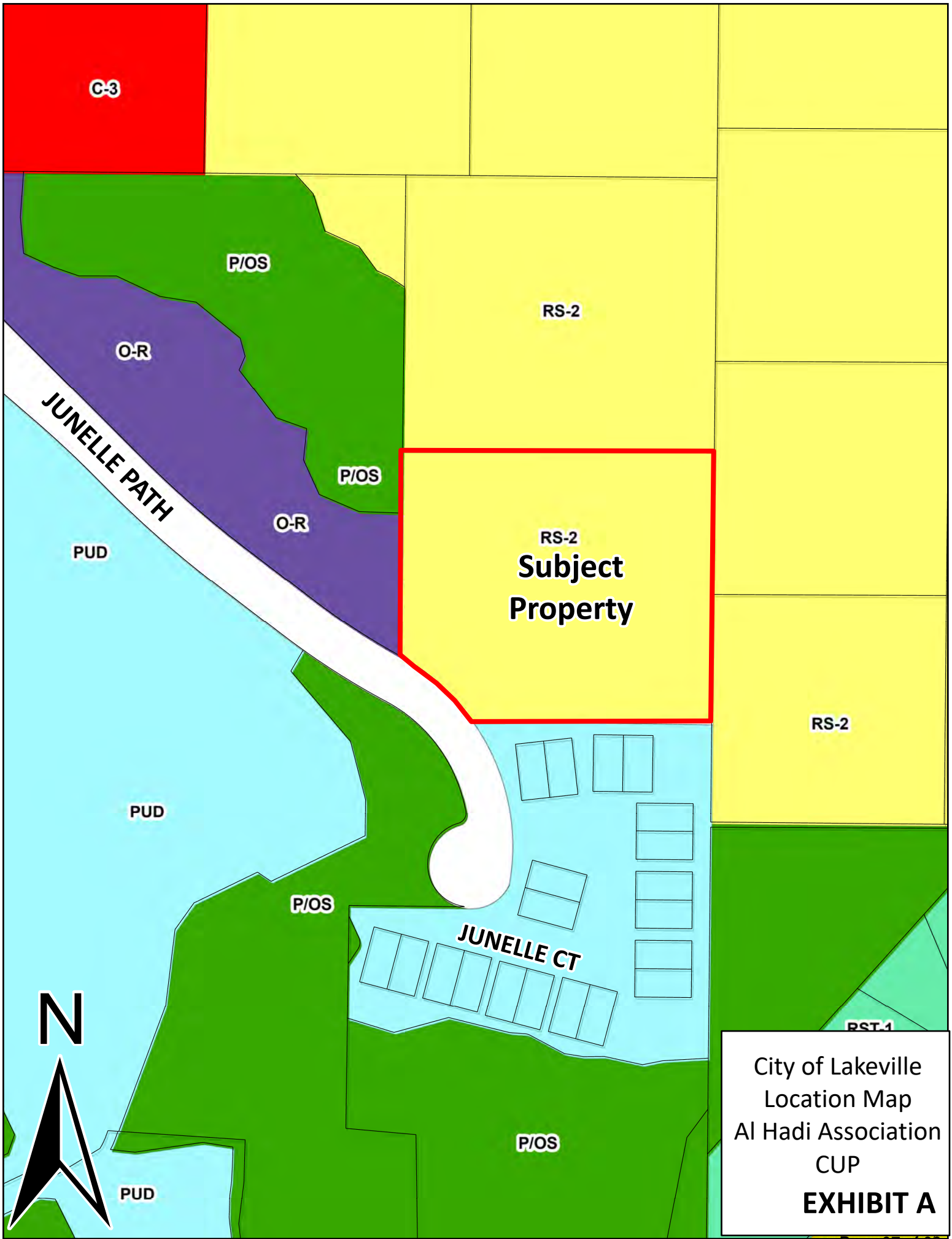
1. The stipulations and recommendations listed in the Engineering Division memorandum dated June 17, 2026.
2. Civil plans must be approved by the Engineering Division prior to construction beginning on the site.
3. A Site Improvement Performance Agreement (SIPA) and Stormwater Maintenance Agreement (SMA) must be executed, approved by the City Council, and recorded with Dakota County prior to construction beginning on the site.
4. The building and site shall be developed consistent with the plans approved by the City Council.

5. A \$50,000 security to guarantee the demolition of the existing homestead and garage and the sealing and abandonment of the well.
6. A landscape security shall be submitted with the SIPA.
7. An as-planted landscape plan must be submitted prior to a landscape inspection of the site.

Findings of fact are attached for consideration.



City of Lakeville
Location Map
Al Hadi Association
CUP
EXHIBIT A



G-3

P/OS

O-R

JUNELLE PATH

PUD

P/OS

O-R

RS-2

RS-2
**Subject
Property**

RS-2

PUD

P/OS

JUNELLE CT

RST-1

N

PUD

P/OS

City of Lakeville
Location Map
Al Hadi Association
CUP
EXHIBIT A

EXISTING CONDITION SURVEY FOR: AL HADI ASSOCIATION

LEGEND

	Fence
	Overhead Electric
	Sanitary Sewer
	Storm Sewer
	Water Main
	Concrete Curb
	Boulder Retaining Wall
	Timber Retaining Wall
	Stone Retaining Wall
	Concrete Retaining Wall
	Decorative/Privacy Wall
	Edge of Woods
	Telephone Pedestal
	Cable Pedestal
	Storm Catch Basin
	Sanitary Manhole
	Storm Manhole
	Gas Meter
	Light Pole
	Power Pole
	Existing Elevation
	Top of Curb Elevation
	Top of Wall Elevation
	Existing Contour
	Found Iron Monument
	Mag Nail
	Found Iron Monument
	Set Iron Monument
	Inscribed R.L.S 15230

CURRENT ZONING:
PRIMARY: RS-1 SINGLE FAMILY RESIDENTIAL
SETBACKS - 30' FRONT & REAR
10' SIDE

EXISTING LOT AREA CALCULATION:
Lot Area = 164,895 SF OR 3.78 ACRES

TREE NO.	TYPE	DIAMETER	NOTES
100	SPRUCE	12	
101	OAK	40	
102	OAK	20	
103	CRABAPPLE	12	
104	BOXELDER	40	
105	SPRUCE	8	
106	SPRUCE	8	
107	SPRUCE	8	
108	SPRUCE	8	
109	SPRUCE	8	
110	SPRUCE	8	
111	CRABAPPLE	16	
112	SPRUCE	18	
113	OAK	36	
114	HONEY LOCUST	20	
115	CATALPA	8	
116	CRABAPPLE	8	
117	COTTONWOOD	72	

GENERAL NOTES:

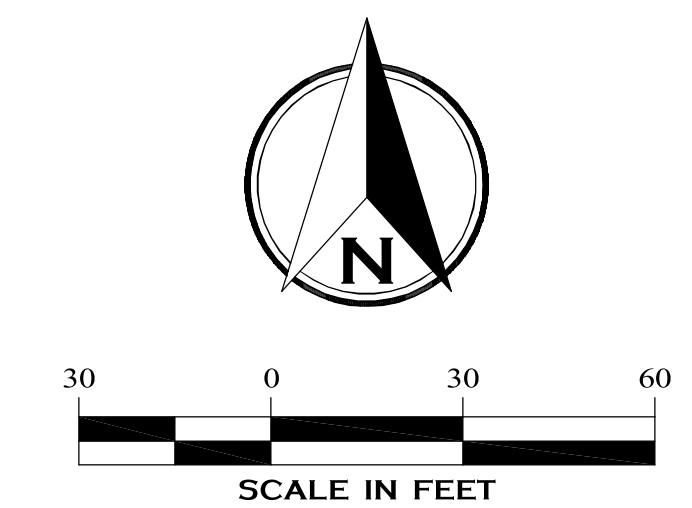
- Wetland location is shown on survey from observed evidence, not a boundary of a wetland marked by a professional.
- Existing building dimensions are measured to siding and not building foundation.
- Information shown per Title Commitment Dated October 24, 2023
- Location of utilities shown are from observed evidence in the field and/or plans furnished by others and are considered approximate. Gopher State One Call or a private utility locator should be contacted to locate utilities on site before excavation.

JOB NO. 477-23	SCALE 1" = 30'	SITE ADDRESS 1733 JUNELLE PATH LAKEVILLE, MN 55044
BOOK/PAGE 1 of 1 24x36	DRAWN GUS	SITE BENCHMARK SAN MH RIM = 1052.90
SHEET	REFERENCE	PROPERTY DESCRIPTION The South half (S 2) of Lot Twenty five (25), Argonne Farms, according to the recorded plat thereof, Dakota County, Minnesota. Torrens Property - Certificate of Title No. 161869
		PER - FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. 23-4598



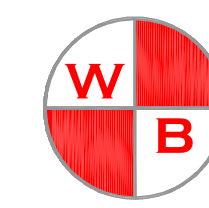
EXHIBIT C

SHEET NO. C2



DATE	REVISIONS	REMARKS

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.
W. BROWN LAND SURVEYING, INC.
 Woodrow A. Brown, R.L.S., MN REG 15230
 DATED: 11-13-2023



W. BROWN LAND SURVEYING, INC.
 8030 OLD CEDAR AVENUE SO., SUITE 228
 BLOOMINGTON, MN 55425
 PH: (952) 854-4055
 WBROWNLANDSURVEYING.COM
 EMAIL: INFO@WBROWNLANDSURVEYING.COM

SITE AND DIMENSION PLAN

Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166

SURVEY NOTE
 THIS SITE AND DIMENSION PLAN IS BASED ON SURVEY COMPLETED ON NOVEMBER 13TH, 2023 BY W. BROWN LAND SURVEYING, INC. EDS CARRY NO RESPONSIBILITIES FOR ANY ERRORS AND DISCREPANCY FOR SAID SURVEY WORK.

SCALE IN FEET

- DENOTES FOUND PROPERTY IRON
- DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
- DENOTES BOUNDARY LINE
- - - DENOTES LOT LINE
- - - DENOTES SETBACK LINE
- - - DENOTES PARKING SETBACK LINE
- DENOTES CONCRETE SURFACE
- 999 DENOTES EXISTING CONTOUR LINE
- FFE DENOTES FINISH FLOOR ELEVATION
- DENOTES BITUMINOUS SURFACE
- DENOTES GRAVEL DRIVEWAY
- DENOTES DECIDUOUS TREE
- DENOTES CONIFEROUS TREE
- DENOTES WATER CURB STOP
- - - DENOTES EXISTING WATER LINE
- - - DENOTES EXISTING SANITARY LINE
- - - DENOTES EXISTING STORM LINE
- ⊙ DENOTES WELL/MONITOR WELL
- ⊙ DENOTES GAS METER
- x999.99 DENOTES EXISTING SPOT ELEVATION

LEGEND

- DENOTES FOUND PROPERTY IRON
- DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
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PROPOSED LEGEND

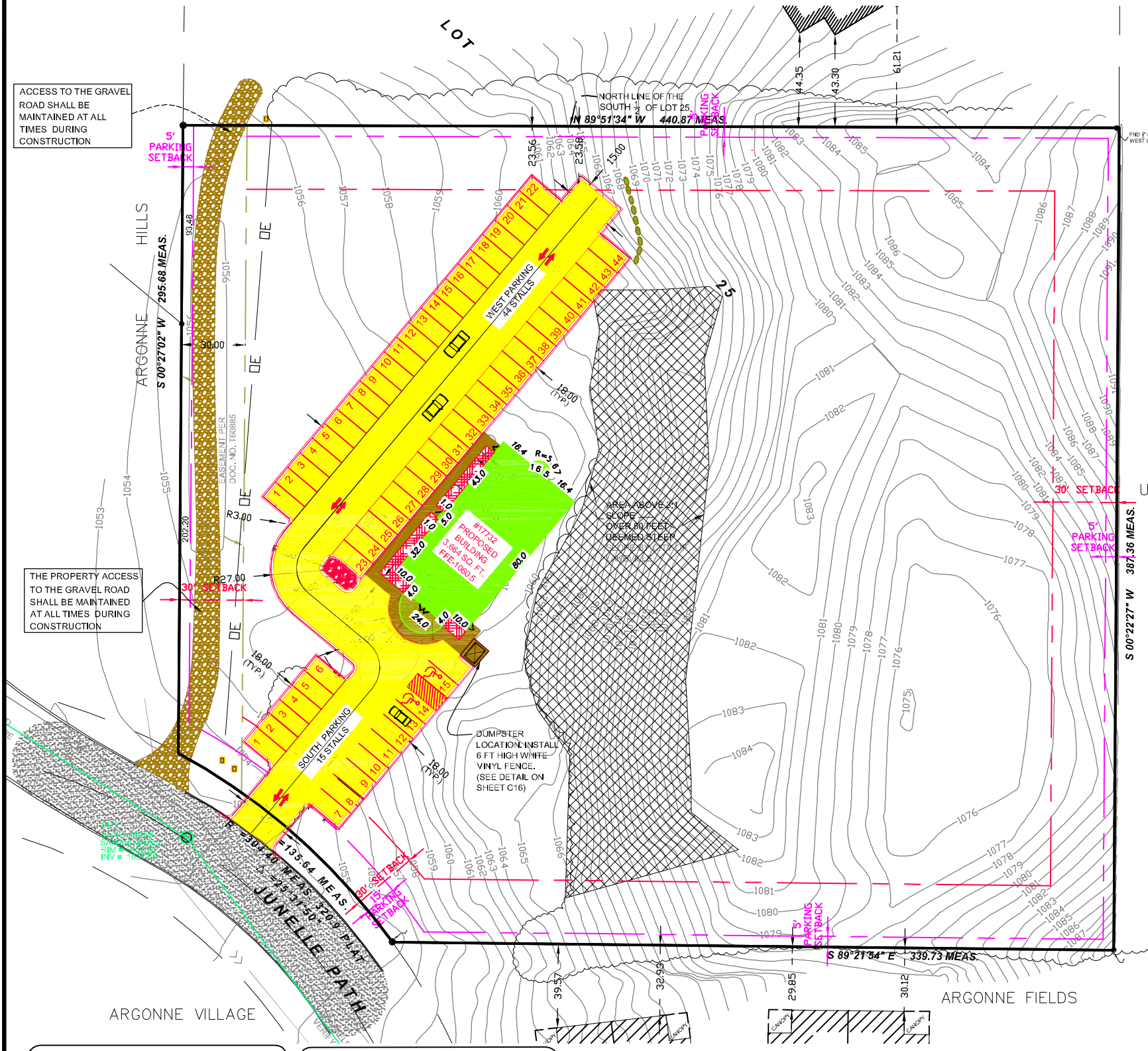
- DENOTES BUILDING
- DENOTES ENTRY PORCH
- DENOTES BITUMINOUS ROAD
- DENOTES PARKING STALLS
- DENOTES CONCRETE SIDEWALK
- DENOTES RED MULCH
- DENOTES PAVERS SURFACE
- DENOTES LANDSCAPE ISLAND
- DENOTES FUTURE BUILDING
- DENOTES AREA ABOVE 3:1 SLOPE
- DENOTES TRAFIC FLOW
- DENOTES CURB & GUTTER
- DENOTES RETAINING WALL

PROPOSED HARDCOVER

PROPOSED BUILDING	3,664 SQ. FT.
PROPOSED ENTRY PORCH	225 SQ. FT.
PROPOSED FUTURE BUILDING	3,191 SQ. FT.
PROPOSED PAVER BRICK SIDEWALK	504 SQ. FT.
PROPOSED CONCRETE SIDEWALK	898 SQ. FT.
PROPOSED BITUMINOUS ROAD	8,797 SQ. FT.
PROPOSED PARKING LOT	9,940 SQ. FT.
TOTAL IMPERVIOUS AREA	27,219 SQ. FT.
TOTAL LOT AREA	164,895 SQ. FT.
PROPOSED HARDCOVER	16.5%

NOTES

1. THE BASIS OF THE BEARING SYSTEM IS ASSUMED.
2. NO SPECIFIC SOIL INVESTIGATION HAS BEEN COMPLETED
3. CONTRACTOR SHALL VERIFY PROPOSED ELEVATIONS AND DIMENSIONS.
4. NO TITLE INFORMATION WAS PROVIDED FOR THIS SURVEY. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.
5. EXISTING UTILITIES AND SERVICES SHOWN HEREON OWNER LOCATED EITHER PHYSICALLY ON THE GROUND DURING THE SURVEY OR FROM EXISTING RECORDS MADE AVAILABLE TO US OR BY RESIDENT TESTIMONY. OTHER UTILITIES AND SERVICES MAY BE PRESENT. VERIFICATION AND LOCATION OF UTILITIES AND SERVICES SHOULD BE OBTAIN FROM THE OWNERS OF RESPECTIVE UTILITIES BY CONTACTING GOPHER STATE ONE CALL AT (651) 454-0002 PRIOR TO ANY DESIGN, PLANNING OR EXCAVATION.



BUILDING SETBACKS
 ZONING: RS-2 = SINGLE - FAMILY RESIDENTIAL DISTRICT
 HOUSE: FRONT = 30 FT
 REAR = 30 FT
 SIDE = 30 FT

PARKING SETBACKS
 ZONING: RS-2 = SINGLE - FAMILY RESIDENTIAL DISTRICT
 HOUSE: FRONT = 15 FT
 REAR = 5 FT
 SIDE = 5 FT

PROPOSED PARKING LOT

REQUIRED PARKING STALLS	39
ALLOWED PARKING STALLS	49
AVAILABLE HANDICAPPED STALLS	2
AVAILABLE STANDARD STALLS	57
TOTAL PROVIDED PARKING STALLS	59

LEGAL DESCRIPTION
 The South Half of Lot 25, ARGONNE FARMS, Dakota County, Minnesota, according to the recorded plat thereof. Torrens Property - Certificate of Title No.161869

SITE BENCHMARK
 ELEVATION = 1052.90 (RIM) SANITARY MANHOLE ON THE JUNELLE PATH.

EXHIBIT C

EDS ENGINEERING DESIGN & SURVEYING
 6480 Wayzata Blvd. Minneapolis, MN 55426
 OFFICE: (763) 545-2800 FAX: (763) 545-2801
 EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

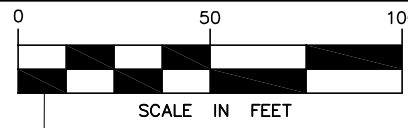
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Vlad Sivriver
 VLADIMIR SIVRIVER P.E. NO. 25105 DATED: 05/17/2026

SITE AND DIMENSION PLAN
 LOCATION: 17732 JUNELLE PATH LAKEVILLE, MN 55044

FIELD WORK DATE: 11/25/24	DRAWN BY: IS	PROJECT NO.: 24-130
FIELD BOOK NO.: EDS-15	CHECKED BY: VS	SHEET NO. C4

GRADING AND DRAINAGE PLAN



Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166

ROAD SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION

POND
 BOTTOM=1047.0
 TOP=1058.0
 NWL=1055.0
 10 YEARS HWL=1056.0
 100 YEARS HWL=1057.0

INFILTRATION TRENCH
 TOP=1057.5 BOTTOM=1046.0
 NWL=1055.0
 10 YEARS HWL=1056.4
 100 YEARS HWL=1057.2

40.0 LF 15" HDPE @ 1.0%
 POND EMERGENCY OVERFLOW, EL.=1057.2 (SEE DETAIL ON SHEET C22)

OCS-1
 TC=1057.5
 INV. IN (NE)=1052.6
 INV. OUT (S)=1051.0
 WEIR=1055.0 (SEE DETAIL ON SHEET C22)

186 LF 18" HDPE @ 1.0%
 CBMH-1
 TC=1057.5
 INV. IN (E)=1054.7
 INV. OUT (N)=1048.0
 SUMP=1046.0

RAIN GARDEN
 10 YEARS HWL=1056.8
 100 YEARS HWL=1056.9

THE PROPERTY ACCESS TO THE GRAVEL ROAD SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION

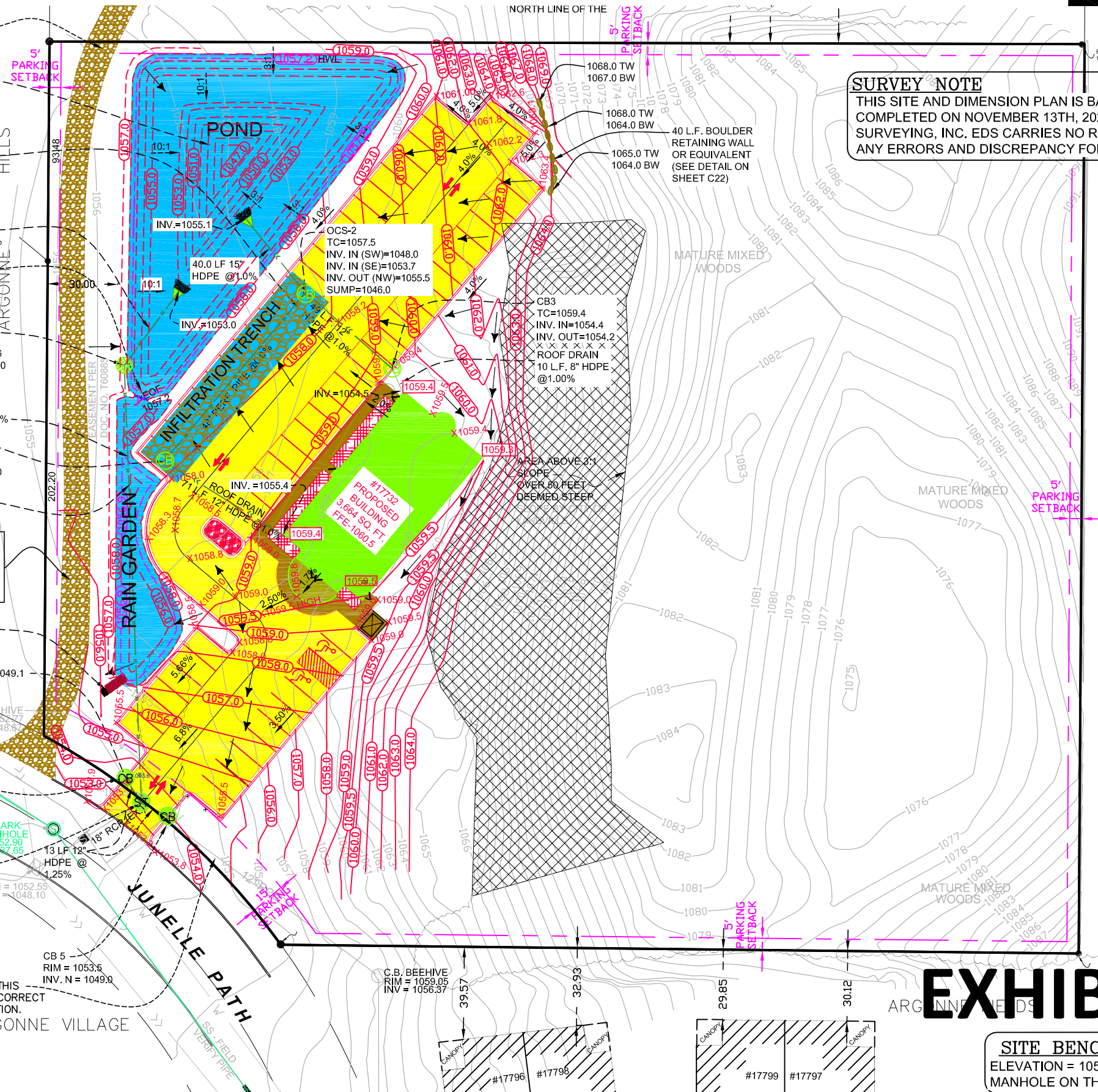
INSTALL GRANITE RIPRAP, CLASS 3
 EL.=1056.8

FES INV.=1049.1
 CB 4
 RIM=1055.0
 INV. SE=1049.0

CONVERT CB TO MH, REPLACE BEEHIVE CASTING ON R-1642-B OR EQUIVALENT PER CITY STANDARDS
 RIM = 1053.2
 INV. N. = 1049.1
 INV. SW = 1048.8
 INV. SE = 1048.8

FIELD VERIFY IF THIS CONNECTION IS CORRECT WITH CONSTRUCTION.

ARGONNE VILLAGE



SURVEY NOTE
 THIS SITE AND DIMENSION PLAN IS BASED ON SURVEY COMPLETED ON NOVEMBER 13TH, 2023 BY W. BROWN LAND SURVEYING, INC. EDS CARRIES NO RESPONSIBILITIES FOR ANY ERRORS AND DISCREPANCY FOR SAID SURVEY WORK.

- LEGEND**
- DENOTES FOUND PROPERTY IRON
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 - ⊙ DENOTES WELL/MONITOR WELL
 - ⊙ DENOTES GAS METER
 - ⊙ DENOTES SANITARY CLEANOUT

- PROPOSED LEGEND**
- DENOTES BUILDING
 - DENOTES ENTRY PORCH
 - DENOTES BITUMINOUS ROAD
 - DENOTES PARKING STALLS
 - DENOTES CONCRETE SIDEWALK
 - DENOTES RED MULCH
 - DENOTES PAVERS SURFACE
 - DENOTES LANDSCAPE ISLAND
 - DENOTES FUTURE BUILDING
 - DENOTES TRAFFIC FLOW
 - DENOTES CURB & GUTTER
 - x999.99 DENOTES SPOT ELEVATION
 - XXX.X DENOTES CONTOURS
 - DENOTES POND/RAIN GARDEN
 - DENOTES DRAINAGE FLOW
 - ⊙ DENOTES STORM MANHOLE
 - ⊙ DENOTES CATCH BASIN
 - ⊙ DENOTES OUTLET CONTROL STRUCTURE
 - DENOTES RETAINING WALL

PROPOSED HARDCOVER

PROPOSED BUILDING	3,664 SQ. FT.
PROPOSED ENTRY PORCH	225 SQ. FT.
PROPOSED FUTURE BUILDING	3,191 SQ. FT.
PROPOSED PAVER BRICK SIDEWALK	504 SQ. FT.
PROPOSED CONCRETE SIDEWALK	898 SQ. FT.
PROPOSED BITUMINOUS ROAD	8,797 SQ. FT.
PROPOSED PARKING LOT	9,940 SQ. FT.
TOTAL IMPERVIOUS AREA	27,219 SQ. FT.
TOTAL LOT AREA	164,895 SQ. FT.
PROPOSED HARDCOVER	16.5%

SITE BENCHMARK
 ELEVATION = 1052.90 (RIM) SANITARY MANHOLE ON THE JUNELLE PATH.

EXHIBIT E

EDS ENGINEERING DESIGN & SURVEYING
 6480 Wayzata Blvd. Minneapolis, MN 55426
 OFFICE: (763) 545-2800 FAX: (763) 545-2801
 EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

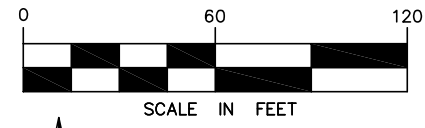
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Vlad Sivriver
 VLADIMIR SIVRIVER P.E. NO. 25105 DATED: 05/17/2026

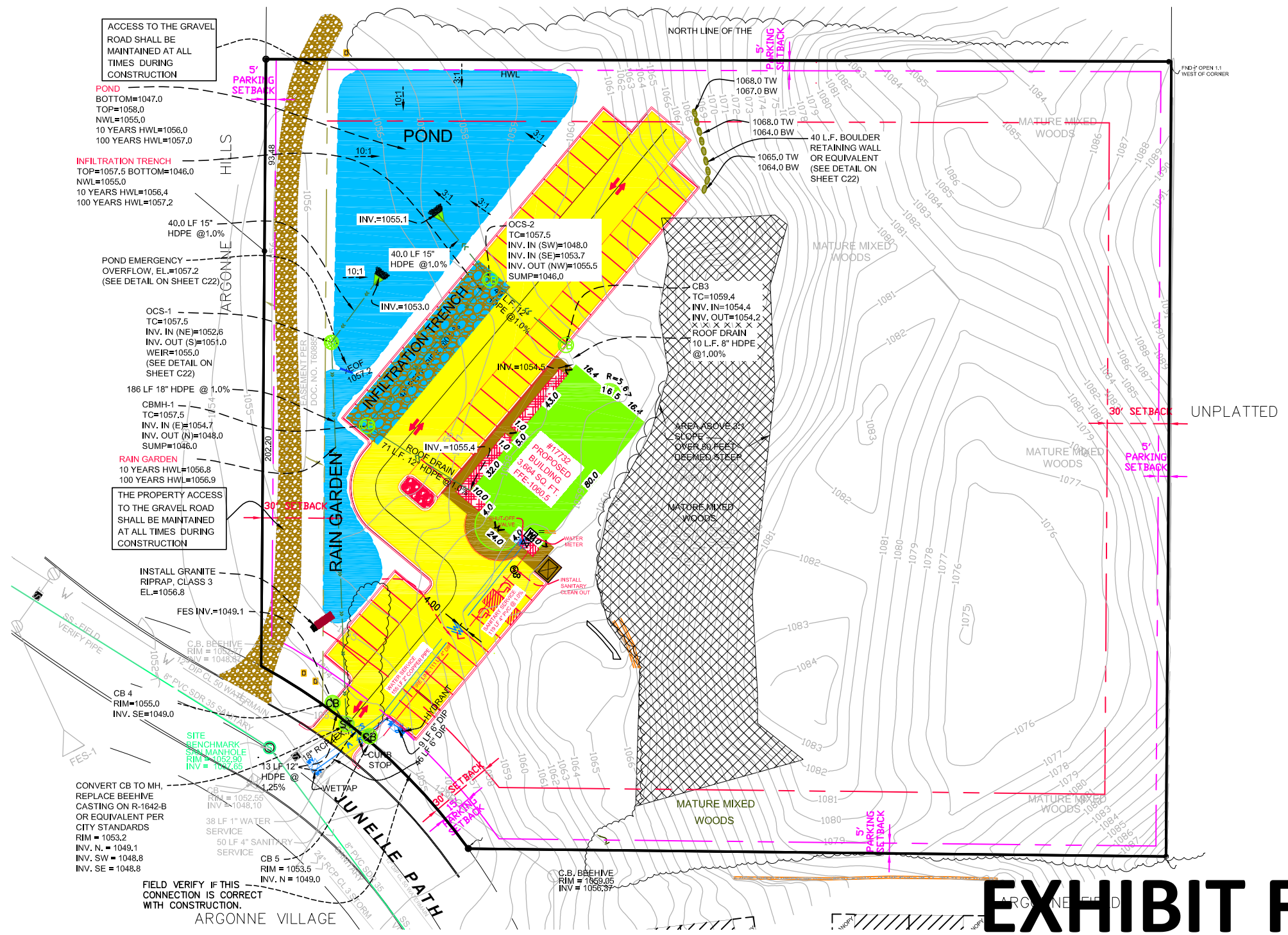
GRADING AND DRAINAGE PLAN
 LOCATION: 17732 JUNELLE PATH LAKEVILLE, MN 55044

FIELD WORK DATE: 11/25/24	DRAWN BY: IS	PROJECT NO.: 24-130
FIELD BOOK NO.:	CHECKED BY: VS	SHEET NO. C6

UTILITY PLAN



Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166



- LEGEND**
- DENOTES FOUND PROPERTY IRON
 - DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
 - DENOTES BOUNDARY LINE
 - DENOTES LOT LINE
 - - - DENOTES BUILDING SETBACK LINE
 - - - DENOTES PARKING SETBACK LINE
 - x999.99 DENOTES EXISTING SPOT ELEVATION
 - DENOTES CONCRETE SURFACE
 - - - DENOTES EXISTING CONTOUR LINE
 - FFF DENOTES FINISH FLOOR ELEVATION
 - DENOTES BITUMINOUS SURFACE
 - DENOTES GRAVEL DRIVEWAY
 - ☐ DENOTES DECIDUOUS TREE
 - ☐ DENOTES CONIFEROUS TREE
 - ☐ DENOTES WATER CURB STOP

- PROPOSED LEGEND**
- DENOTES BUILDING
 - DENOTES ENTRY PORCH
 - DENOTES BITUMINOUS ROAD
 - DENOTES PARKING STALLS
 - DENOTES CONCRETE SIDEWALK
 - DENOTES RED MULCH
 - DENOTES PAVERS SURFACE
 - DENOTES LANDSCAPE ISLAND
 - DENOTES FUTURE BUILDING
 - DENOTES TRAFFIC FLOW
 - DENOTES CURB & GUTTER
 - ST DENOTES STORM MANHOLE
 - CB DENOTES CATCH BASIN
 - DENOTES OUTLET CONTROL STRUCTURE
 - DENOTES RETAINING WALL
 - DENOTES POND/RAIN GARDEN

- CONSTRUCTION NOTES**
- CONTRACTOR SHALL CONTACT "GOPHER STATE ONE CALL" WITHIN TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS. TWIN CITIES METRO AREA: 651-454-0002 OR TOLL-FREE: 1-800-252-1166.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND INVERTS, SHOWN OR NOT SHOWN. ANY DISCREPANCY BETWEEN PLANS AND FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
 - THE UTILITY CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF THE BUILDING PIPE SYSTEM PRIOR TO CONSTRUCTING SERVICE CONNECTIONS.
 - ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LAKEVILLE SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - UTILITY TRENCHES SHALL BE COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698.78 OR AASHTO T-99) FROM THE PIPE ZONE TO WITHIN THREE FEET OF THE GROUND SURFACE AND 100% STANDARD PROCTOR IN THE UPPER THREE FEET.
 - CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING THE APPROPRIATE SEWER, WATER AND PLUMBING PERMITS FROM THE CITY'S BUILDING DEPARTMENT. CONTACT UTILITIES DIVISION.
 - EXISTING SANITARY SEWER AND WATERMAIN STUBS SHALL BE USED FOR UTILITY CONNECTIONS AS REQUIRED.
 - GENERAL CONTRACTOR SHALL COORDINATE WORK WITH ALL UTILITY COMPANIES.

SEPARATION/LOCATION NOTES

- 10' TYPICAL SEPARATION BETWEEN SANITARY MAIN AND WATER MAIN.
- 4' TYPICAL SEPARATION BETWEEN SANITARY SERVICE AND WATER SERVICE.
- 18" MINIMUM VERTICAL SEPARATION IS REQUIRED FROM THE BOTTOM OF SANITARY SERVICE TO THE TOP OF WATER SERVICE.

NOTE
 PRIVATE UTILITY MATERIALS AND INSTALLATION TO BE REVIEWED WITH BUILDING PERMIT APPLICATION. STORM SEWER WITHIN PUBLIC RIGHT-OF-WAY REQUIRED TO BE RCP.

- PROPOSED UTILITY LEGEND**
- DENOTES SANITARY SERVICE
 - DENOTES WATER SERVICE
 - W DENOTES WATER METER
 - ⊗ DENOTES SHUT-OFF VALVE
 - ⊙ DENOTES SANITARY CLEANOUT
 - ☐ DENOTES WATER CURB STOP
 - ☐ DENOTES HYDRANT

MATERIALS

WATER	8" DIP CL. 50
-WATERMAIN	2.0" COPPER TYPE K
-WATER SERVICE	4" DIP
-FIRE LINE	
SANITARY	
-SANITARY MAIN	8" SDR 35 PVC PIPE
-SANITARY SERVICE	4" SDR 40 PVC PIPE SCHEDULE 40

- EXISTING UTILITY LEGEND**
- - - DENOTES EXISTING WATER LINE
 - - - DENOTES EXISTING SANITARY LINE
 - - - DENOTES EXISTING STORM LINE

EXHIBIT F

EDS ENGINEERING DESIGN & SURVEYING
 6480 Wyzata Blvd. Minneapolis, MN 55426
 OFFICE: (763) 545-2800 FAX: (763) 545-2801
 EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

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Vlad Sivriver
 VLADIMIR SIVRIVER P.E. NO. 25105 DATED: 05/17/2026

UTILITY PLAN
 LOCATION: 17732 JUNELLE PATH
 LAKEVILLE, MN 55044

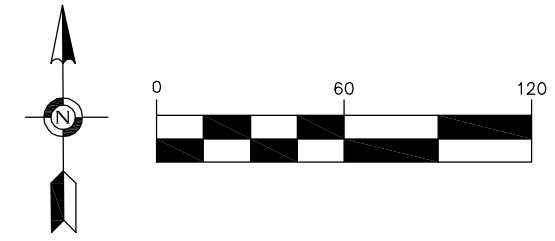
FIELD WORK DATE: 11/25/24
 FIELD BOOK NO.: EDS-15

DRAWN BY: IS
 CHECKED BY: VS

PROJECT NO.: 24-130
 SHEET NO. C11

TREE PRESERVATION PLAN

Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166



LEGEND

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- DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
- DENOTES BOUNDARY LINE
- - - DENOTES LOT LINE
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- x999.99 DENOTES EXISTING SPOT ELEVATION
- DENOTES CONCRETE SURFACE
- 999 - DENOTES EXISTING CONTOUR LINE
- FFE DENOTES FINISH FLOOR ELEVATION
- DENOTES BITUMINOUS SURFACE
- DENOTES GRAVEL DRIVEWAY
- DENOTES DECIDUOUS TREE
- DENOTES CONIFEROUS TREE
- DENOTES WATER CURB STOP
- DENOTES TREE LINE

TREE SURVEY NOTES

1. 76 TREES WERE LOCATED WITHIN THE PARCEL.
2. ALL TREES 6 INCHES OR LARGER IN DIAMETER WERE LOCATED AT THE CHEST LEVEL APPROXIMATELY 4.5 FEET FROM THE GROUND LEVEL
3. ALL DIAMETERS WERE MEASURED IN INCHES
4. THE TRUE CENTER OF THE TREES WERE LOCATED BY USING THE DISTANCE OFFSET TOOL IN DECIMAL FEET
5. MULTI STEM TREES ARE DESCRIBED WITH MULTIPLE DIAMETERS FOR ONE STEM. (EXAMPLE: 12 24" MAPLE)
6. TREES SPECIES WERE IDENTIFIED TO THE BEST OF OUR KNOWLEDGE. (EXAMPLE 9"OAK)
7. DEAD TREES WERE LABELED AS DEAD AT THE END OF THE DESCRIPTOR TO THE BEST OF OUR ABILITY. (EXAMPLE: 12" ASH DEAD)
8. REMOVED TREES WERE LABELED AS REMOVE AT THE END OF THE DESCRIPTOR TO THE BEST OF OUR ABILITY. (EXAMPLE: 12" ASH DEAD)

TREE LEGEND

- ⊗ DENOTES TREE REMOVED
- ⊙ DENOTES TREE TO BE SAVED
- ② DENOTES TREE LABELED
- ② 12" MAPLE
- DENOTES PROPOSED SILT FENCE

TREE PROTECTION NOTE

TREE PROTECTION FENCING TO BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED THROUGHOUT CONSTRUCTION.

SITE BENCHMARK

ELEVATION = 1052.90 (RIM) SANITARY MANHOLE ON THE JUNELLE PATH.

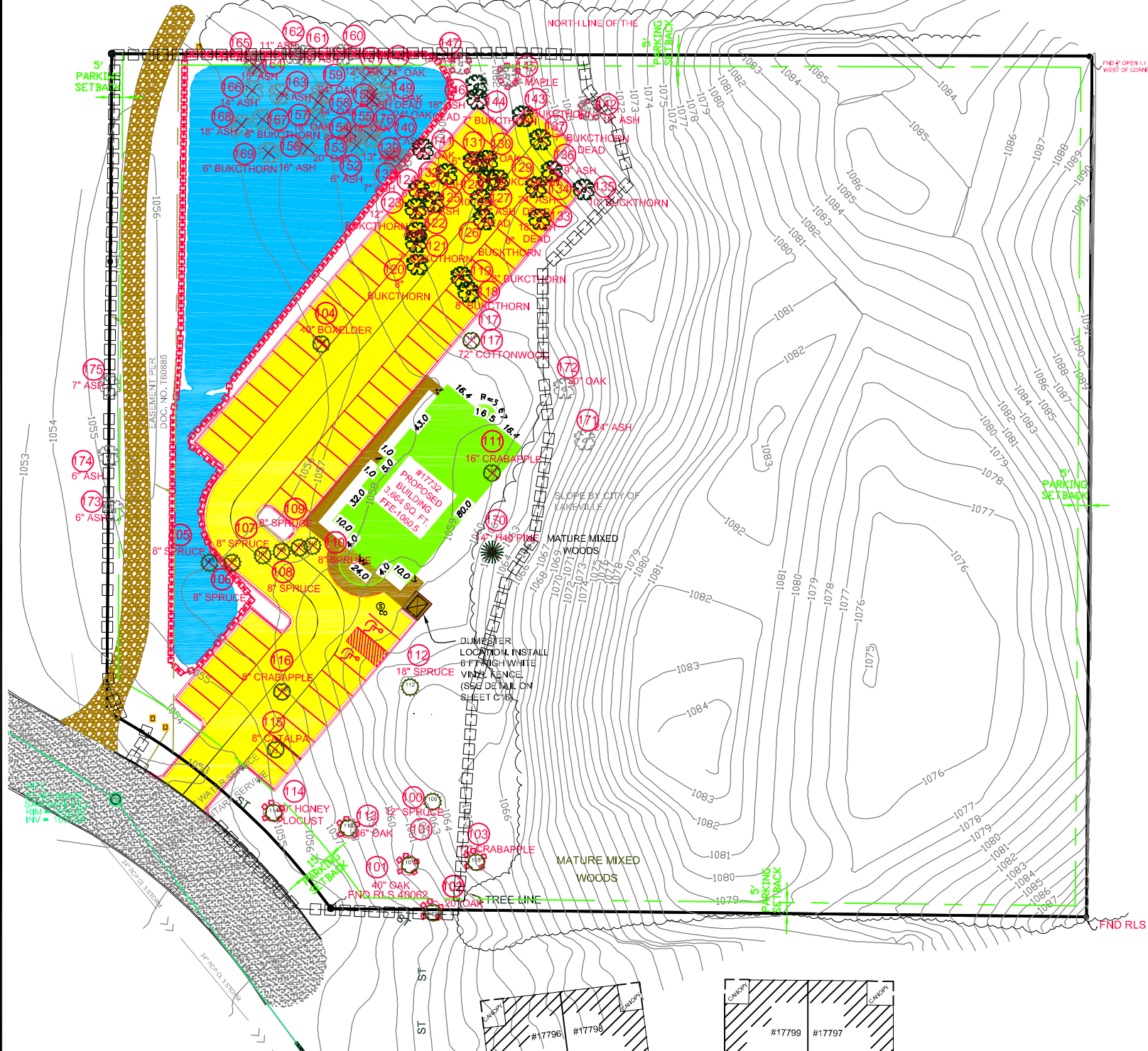
PROPOSED HARDCOVER

PROPOSED BUILDING	3,664 SQ. FT.
PROPOSED ENTRY PORCH	225 SQ. FT.
PROPOSED FUTURE BUILDING	3,191 SQ. FT.
PROPOSED PAVER BRICK SIDEWALK	504 SQ. FT.
PROPOSED CONCRETE SIDEWALK	898 SQ. FT.
PROPOSED BITUMINOUS ROAD	8,797 SQ. FT.
PROPOSED PARKING LOT	9,940 SQ. FT.
TOTAL IMPERVIOUS AREA	27,219 SQ. FT.
TOTAL LOT AREA	164,895 SQ. FT.
PROPOSED HARDCOVER	16.5%

NOTES

1. THE BASIS OF THE BEARING SYSTEM IS ASSUMED.
2. NO SPECIFIC SOIL INVESTIGATION HAS BEEN COMPLETED
3. CONTRACTOR SHALL VERIFY PROPOSED ELEVATIONS AND DIMENSIONS.
4. NO TITLE INFORMATION WAS PROVIDED FOR THIS SURVEY. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.
5. EXISTING UTILITIES AND SERVICES SHOWN HEREON OWNER LOCATED EITHER PHYSICALLY ON THE GROUND DURING THE SURVEY OR FROM EXISTING RECORDS MADE AVAILABLE TO US OR BY RESIDENT TESTIMONY. OTHER UTILITIES AND SERVICES MAY BE PRESENT. VERIFICATION AND LOCATION OF UTILITIES AND SERVICES SHOULD BE OBTAIN FROM THE OWNERS OF RESPECTIVE UTILITIES BY CONTACTING GOPHER STATE ONE CALL AT (651) 454-0002 PRIOR TO ANY DESIGN, PLANNING OR EXCAVATION.

EXHIBIT G



EDS ENGINEERING DESIGN & SURVEYING
 6480 Wayzata Blvd. Minneapolis, MN 55426
 OFFICE: (763) 545-2800 FAX: (763) 545-2801
 EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

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Vlad Sivriver
 VLADIMIR SIVRIVER P.E. NO. 25105 DATED: 04/30/2026

TREE PRESERVATION PLAN	FIELD WORK DATE: 11/25/24	DRAWN BY: IS	PROJECT NO.: 24-130
LOCATION: 17732 JUNELLE PATH LAKEVILLE, MN 55044	FIELD BOOK NO.: EDS-15	CHECKED BY: VS	SHEET NO. C14

TREE INVENTORY PLAN

Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166

No.	TAG #	SPECIES	DIAMETER (Inches)	HEIGHT (Feet)	CONDITION	TYPE OF TREE	REMOVALS TREE YES/NOT	TOTAL DIAMETER ON SITE (Inches)	TOTAL DIAMETER ON REMOVED (Inches)
1	103	CRABAPPLE	12		8	COMMON TREE	NO		
2	138	ASH	7		8	COMMON TREE	YES		
3	139	ASH	13		8	COMMON TREE	YES		
4	140	ASH	7		8	COMMON TREE	YES		
5	142	ASH	10		8	COMMON TREE	NO		
6	145	MAPLE	7		8	COMMON TREE	NO		
7	147	ASH	18		8	COMMON TREE	NO		
8	152	ASH	6		8	COMMON TREE	YES		
9	154	ASH	6		8	COMMON TREE	YES		
10	156	ASH	16		8	COMMON TREE	YES		
11	160	ASH	13		8	COMMON TREE	YES		
12	161	ASH	12		8	COMMON TREE	YES		
13	162	ASH	11		8	COMMON TREE	YES		
14	163	ASH	7		8	COMMON TREE	YES		
15	164	ASH	15		8	COMMON TREE	YES		
16	165	ASH	14		8	COMMON TREE	YES		
17	166	ASH	14		8	COMMON TREE	YES		
18	167	BUCKTHORN	N/A		8	COMMON TREE	YES		
19	168	ASH	18		8	COMMON TREE	YES		
20	169	BUCKTHORN	N/A		8	COMMON TREE	NO		
21	171	ASH	24		8	COMMON TREE	NO		
22	173	ASH	6		8	COMMON TREE	NO		
23	174	ASH	6		8	COMMON TREE	NO		
24	175	ASH	7		8	COMMON TREE	NO		
25	104	BOXELDER	8		8	COMMON TREE	YES		
26	111	CRABAPPLE	16		8	COMMON TREE	YES		
27	115	CATALPA	8		8	COMMON TREE	YES		
28	116	CRABAPPLE	8		8	COMMON TREE	YES		
29	117	COTTONWOOD	72		8	COMMON TREE	YES		
30	118	BUCKTHORN	N/A		8	COMMON TREE	YES		
31	119	BUCKTHORN	N/A		8	COMMON TREE	YES		
32	120	BUCKTHORN	N/A		8	COMMON TREE	YES		
33	121	BUCKTHORN	N/A		8	COMMON TREE	YES		
34	122	ASH	N/A		8	COMMON TREE	YES		
35	123	BUCKTHORN	N/A		8	COMMON TREE	YES		
36	124	ASH	N/A		8	COMMON TREE	YES		
37	125	ASH	N/A		8	COMMON TREE	YES		
38	126	BUCKTHORN	N/A		8	COMMON TREE	YES		
39	129	BUCKTHORN	N/A		8	COMMON TREE	YES		
40	131	ASH	N/A		8	COMMON TREE	YES		
41	132	ASH	N/A		8	COMMON TREE	YES		
42	135	BUCKTHORN	N/A		8	COMMON TREE	YES		
43	136	ASH	N/A		8	COMMON TREE	YES		
44	143	BUCKTHORN	N/A		8	COMMON TREE	YES		
45	144	BUCKTHORN	N/A		8	COMMON TREE	YES	361	271

No.	TAG #	SPECIES	DIAMETER (inches)	HEIGHT (Feet)	CONDITION	TYPE OF TREE	REMOVALS TREE YES/NO	TOTAL DIAMETER ON SITE (Inches)	TOTAL DIAMETER ON REMOVED (Inches)		
46	100	SPRUCE	12		8	CONIFEROUS TREE	NO				
47	112	SPRUCE	18		8	CONIFEROUS TREE	NO				
48	170	PINE	14	40	8	CONIFEROUS TREE	NO				
49	105	SPRUCE	8		8	CONIFEROUS TREE	YES				
50	106	SPRUCE	8		8	CONIFEROUS TREE	YES				
51	107	SPRUCE	8		8	CONIFEROUS TREE	YES				
52	108	SPRUCE	8		8	CONIFEROUS TREE	YES				
53	109	SPRUCE	8		8	CONIFEROUS TREE	YES				
54	110	SPRUCE	8		8	CONIFEROUS TREE	YES	92	48		
55	101	OAK	40		8	HARDWOOD DECIDUOUS TREE	NO				
56	102	OAK	20		8	HARDWOOD DECIDUOUS TREE	NO				
57	141	OAK	22		8	HARDWOOD DECIDUOUS TREE	YES				
58	148	OAK	14		8	HARDWOOD DECIDUOUS TREE	YES				
59	149	OAK	20		8	HARDWOOD DECIDUOUS TREE	YES				
60	151	OAK	12		8	HARDWOOD DECIDUOUS TREE	YES				
61	153	OAK	20		8	HARDWOOD DECIDUOUS TREE	YES				
62	155	OAK	18		8	HARDWOOD DECIDUOUS TREE	YES				
63	176	OAK	24		8	HARDWOOD DECIDUOUS TREE	YES				
64	157	OAK	18		8	HARDWOOD DECIDUOUS TREE	YES				
65	158	OAK	14		8	HARDWOOD DECIDUOUS TREE	YES				
66	159	OAK	24		8	HARDWOOD DECIDUOUS TREE	YES				
67	114	HONEY LOCUST	20		8	HARDWOOD DECIDUOUS TREE	NO				
68	128	OAK	10		8	HARDWOOD DECIDUOUS TREE	YES				
69	130	OAK	18		8	HARDWOOD DECIDUOUS TREE	YES	294	190		
70	113	OAK	36		8	HERITAGE TREE	NO				
71	172	OAK	30		8	HERITAGE TREE	NO	66	0		
72	127	ASH	18		DEAD		YES				
73	133	ASH	18		DEAD		YES				
74	134	ASH	24		DEAD		YES				
75	137	BUCKTHORN	7		DEAD		YES				
76	146	ASH	18		DEAD		YES				
77	150	ASH	8		DEAD		YES	93	93		
						TREE CLASSIFICATION	TOTAL TREES (COUNT)	TREES BEING REMOVED (COUNT)	TOTAL DIAMETER ON SITE (IN.)	TOTAL DIAMETER OF REMOVED TREES (IN.)	
						COMMON TREES	45	36	361	271	
						CONIFEROUS TREE	9	6	92	48	
						HARDWOOD DECIDUOUS TREES	15	12	294	190	
						HERITAGE TREES	2	0	66	0	
						TOTALS	71	54	813	509	
									BY DIAMETER (INCHES)		
						40 % REMOVAL THRESHOLD	325	TOTAL SIGNIFICANT X TREES X 40%	SAVED	37.4%	304
									REMOVED	62.6%	509

NO.	DATE	DESCRIPTION	BY

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Vlad Sivriver
 VLADIMIR SIVRIVER P.E. NO. 25105 DATED: 04/30/2026

TREE INVENTORY PLAN	FIELD WORK DATE: 11/25/24	DRAWN BY: IS	PROJECT NO.: 24-130
LOCATION: 17732 JUNELLE PATH LAKEVILLE, MN 55044	FIELD BOOK NO.: EDS-15	CHECKED BY: VS	SHEET NO. C15

TREE REPLACEMENT REQUIREMENTS AND PLANTS SCHEDULE

Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166

Directions: Fill all cells highlighted in yellow with the numbers from your tree preservation plan. Only reference numbers from the removal threshold that applies to your project (40% or 70%).

Table 1:

Tree classification	Total significant tree diameter inches on site	Total significant tree diameter inches removed
Common	361	271
Coniferous	92	48
Hardwood deciduous	294	190
Heritage trees	66	0
TOTAL	813	509

Table 2:

Removal Threshold	Allowable removal of significant diameter inches
40% removal threshold	325
70% removal threshold	569

Table 3: If at any point the calculation in this table goes below zero, all remaining significant

Determine the rate of required tree replacement	With a 40% removal threshold	With a 70% removal threshold
Subtract total significant common diameter inches removed from threshold	54	298
Common inches that require replacement	0	0
then subtract total significant conifer diameter inches from the above result	6	250
Conifer inches that require replacement	0	0
finally subtract total significant hardwood deciduous diameter inches from the above result	-184	250
Hardwood deciduous inches that require replacement	183.8	0.0

Table 4:

Determine the rate of required tree replacement	With a 40% removal threshold	With a 70% removal threshold
Tree replacement required for common trees (1/8 diameter inches)	0.0	0.0
Tree replacement required for conifer trees (1/4 diameter inches)	0.0	0.0
Tree replacement required for hardwood deciduous (1/2 diameter inches)	91.9	0.0
Significant tree replacement required for heritage trees (100% diameter inches)	0.0	0.0
Total significant tree replacement required (diameter inches). Not including credits.	91.9	0.0

Table 5:

Total inches of heritage trees preserved on site.	66.0
Total preserved significant inches located within an approved significant woodland. (Not including inches from heritage trees, as they are already counted above)	747.0

Table 6: The larger of the two totals shown in table 5 is computed into credit first. The smaller

Determine required tree replacement including credits.	With a 40% removal threshold	With a 70% removal threshold
Credits from the larger of the two above totals (diameter inches)	46.0	0.0
Remaining required tree replacement in diameter inches	46.0	0.0
Credits from the smaller of the two above totals (diameter inches)	23.0	0.0
Final required tree replacement (diameter inches)	23.0	0.0

PLANT SCHEDULE					
	EVERGREEN SHRUB	QTY	COMMON NAME	BOTANICAL NAME	CONT
1	BA	40	BRANDON ARBORVITAE	THUJA OCCIDENTALIS "BRANDON"	MIN. 6 FT. TALL
2	LGAA	4	LITTLE GIANT AMERICAN ARBORVITAE	THUJA OCCIDENTALIS "LITTLE GIANT"	6 FT. TALL & WIDE
3	MP	5	MAPLE	ACER	MIN. CALIPER 2.5 INCHES
4	BHS	4	WHITE PINE	PINUS STROBUS	MIN. 6 FT. TALL
5	CB	2	CRABAPPLE	MALUS	MIN. CALIPER 2 INCHES
6	HP	2	HYDRANGEA "PANICULATA"	PANICLE HYDRANGEA	2 GAL.
7	HV	6	HYDRANGEA "BLUE"	HYDRAGEA MACROPHYLLA "NIKKO BLUE"	2 GAL.
8	WPG	10	WHITE PAMPAS GRASS	CORTADERIA SELLOANA	1 GAL.
9	C	40	CORNUS	GREY DOGWOOD	5 GAL. 6-9 FT. HEIGHT & WIDTH
10	HV	4	HOSTA "VENTRICOSA"	ASPARAGACEAEA	1 GAL.
	TOTAL	117			

TREE PRESERVATION NOTES (CITY OF LAKEVILLE)

- CALIPER INCHES: STEM DIAMETER OF NURSERY STOCK AS IDENTIFIED BY THE AMERICAN STANDARD FOR NURSERY STOCK.
- COMMON TREE: A DECIDUOUS OVERSTORY TREE INCLUDING COTTONWOOD, POPLARS/ASPEN, BOXELDER, WILLOW, SILVER MAPLE, ELM BLACK LOCUST OR ANY TREE CONSIDERED NON-NATIVE TO MINNESOTA.
- CONIFEROUS TREE: A WOODY PLANT BEARING SEEDS AND CONES HAVING FOLIAGE ON THE OUTERMOST PORTION OF THE BRANCHES THROUGHOUT THE YEAR; TAMARACKS ARE INCLUDED AS A CONIFEROUS TREE SPECIES.
- DECIDUOUS TREE: A WOODY PLANT WITH A DEFINED CROWN THAT SHEDS LEAVES ANNUALLY.
- HARDWOOD DECIDUOUS: ANY DECIDUOUS TREE WITH THE EXCEPTION OF THOSE DEFINED AS COMMON TREES.
- HERITAGE TREE: A HEALTHY HARDWOOD DECIDUOUS TREE, MEASURING EQUAL TO OR GREATER THAN THIRTY INCHES (30") IN DIAMETER OR A HEALTHY CONIFEROUS TREE MEASURING FORTY FEET (40") IN HEIGHT.
- SIGNIFICANT DIAMETER INCHES: THE TOTAL DIAMETER INCHES OF ALL SIGNIFICANT TREES INVENTORIES IN EACH TREE CATEGORY (COMMON, CONIFER, HARDWOOD DECIDUOUS, HERITAGE).

REPLACEMENT NOTES (CITY OF LAKEVILLE)

REPLACEMENT TREES MUST CONSIST OF NURSERY STOCK AND BE NO LESS THAN THE FOLLOWING SIZES:

- DECIDUOUS TREES: NO LESS THAN TWO AND ONE-HALF INCHES (2 1/2") IN DIAMETER.
- CONIFEROUS TREES: NO LESS THAN SIX FEET (6') HIGH.

REPLACEMENT TREES SHALL NOT BE PLACED ON EASEMENTS OR STREET RIGHT OF WAY.

NO.	DATE	DESCRIPTION	BY

EDS ENGINEERING DESIGN & SURVEYING
 6480 Wayzata Blvd. Minneapolis, MN 55426
 OFFICE: (763) 545-2800 FAX: (763) 545-2801
 EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

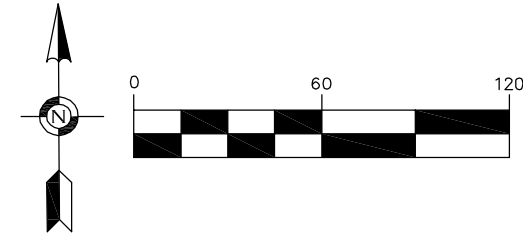
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Vlad Sivriver DATED: 04/30/2026
 VLADIMIR SIVRIVER P.E. NO. 25105

TREE REPLACEMENT REQUIREMENTS AND PLANTS SCHEDULE
 LOCATION: 17732 JUNELLE PATH
 LAKEVILLE, MN 55044

FIELD WORK DATE: 11/25/24
 DRAWN BY: IS
 PROJECT NO.: 24-130
 FIELD BOOK NO.: EDS-15
 CHECKED BY: VS
 SHEET NO. C17

LANDSCAPE PLAN

Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166

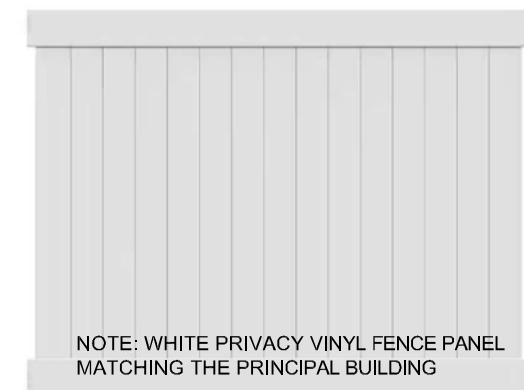


LEGEND

- DENOTES FOUND PROPERTY IRON
- DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
- DENOTES BOUNDARY LINE
- DENOTES LOT LINE
- - - DENOTES SETBACK LINE
- x999.99 DENOTES EXISTING SPOT ELEVATION
- 4 DENOTES CONCRETE SURFACE
- 999 DENOTES EXISTING CONTOUR LINE
- FFE DENOTES FINISH FLOOR ELEVATION
- BITUMEN DENOTES BITUMINOUS SURFACE
- GRAVEL DENOTES GRAVEL DRIVEWAY
- DECIDUOUS DENOTES DECIDUOUS TREE
- CONIFER DENOTES CONIFEROUS TREE
- WATER DENOTES WATER CURB STOP
- TREE LINE DENOTES TREE LINE

PROPOSED LEGEND

- BUILDING DENOTES BUILDING
- ENTRY PORCH DENOTES ENTRY PORCH
- BITUMEN ROAD DENOTES BITUMINOUS ROAD
- PARKING STALLS DENOTES PARKING STALLS
- CONCRETE SIDEWALK DENOTES CONCRETE SIDEWALK
- RED MULCH DENOTES RED MULCH
- PAVERS SURFACE DENOTES PAVERS SURFACE
- LANDSCAPE ISLAND DENOTES LANDSCAPE ISLAND
- FUTURE BUILDING DENOTES FUTURE BUILDING
- CURB & GUTTER DENOTES CURB & GUTTER
- EROSION CONTROL LOGS DENOTES EROSION CONTROL LOGS



NOTE: WHITE PRIVACY VINYL FENCE PANEL MATCHING THE PRINCIPAL BUILDING
GATE AND FENCE MATERIAL
 NOT TO SCALE

PROPOSED LANDSCAPE LEGEND

- BRANDON DENOTES PROPOSED BRANDON ARBORVITAE SHRUB
- LITTLE GIANT DENOTES PROPOSED LITTLE GIANT AMERICAN ARBORVITAE
- CRABAPPLE DENOTES PROPOSED CRABAPPLE
- SHRUB CORNUS DENOTES PROPOSED SHRUB CORNUS "GREY DOGWOOD"
- WHITE PINE DENOTES PROPOSED WHITE PINE
- MAPLE DENOTES PROPOSED MAPLE
- HYDRANGEA DENOTES PROPOSED HYDRANGEA "PANICULATA"
- HYDRAGEA DENOTES PROPOSED HYDRAGEA "BLUE"
- WHITE PAMPAS GRASS DENOTES PROPOSED WHITE PAMPAS GRASS
- HOSTA DENOTES PROPOSED HOSTA "VENTRICOSA"

EXHIBIT H



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Vlad Sivriver
 VLADIMIR SIVRIVER P.E. NO. 25105 DATED: 04/30/2026

LANDSCAPE PLAN
 LOCATION: 17732 JUNELLE PATH
 LAKEVILLE, MN 55044

FIELD WORK DATE: 11/25/24
 FIELD BOOK NO.: EDS-15

DRAWN BY: IS
 CHECKED BY: VS

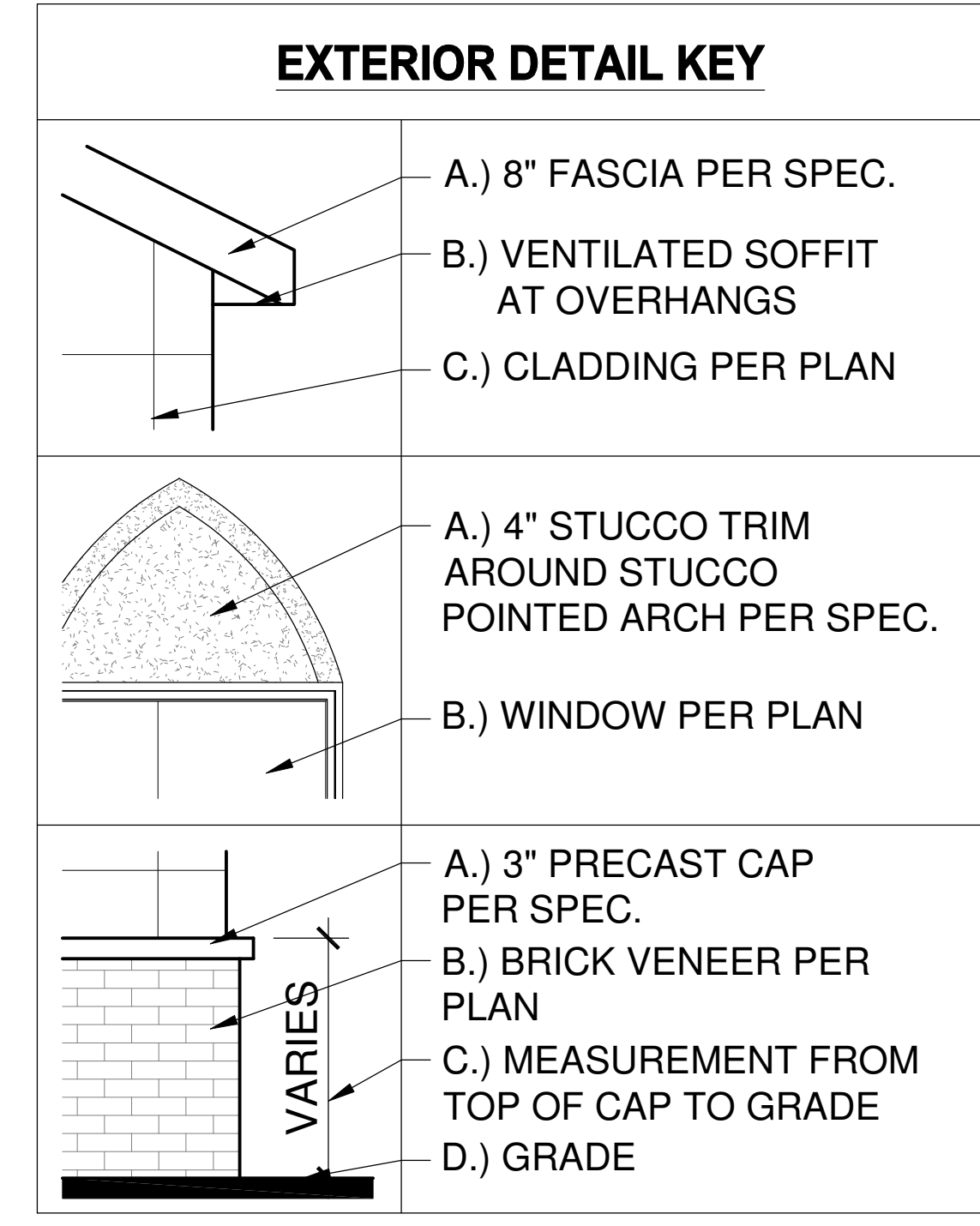
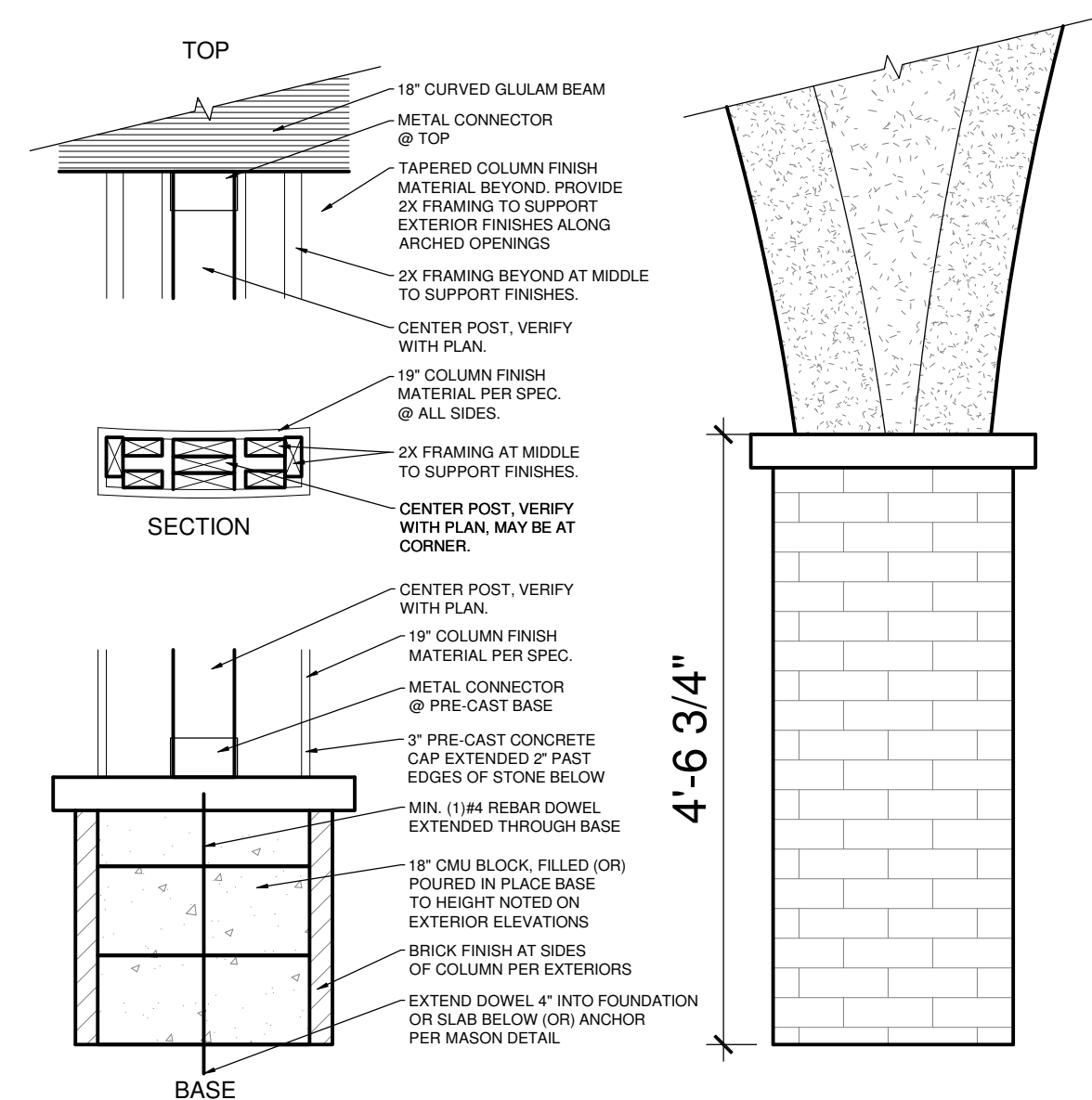
PROJECT NO.: 24-130
 SHEET NO. C16

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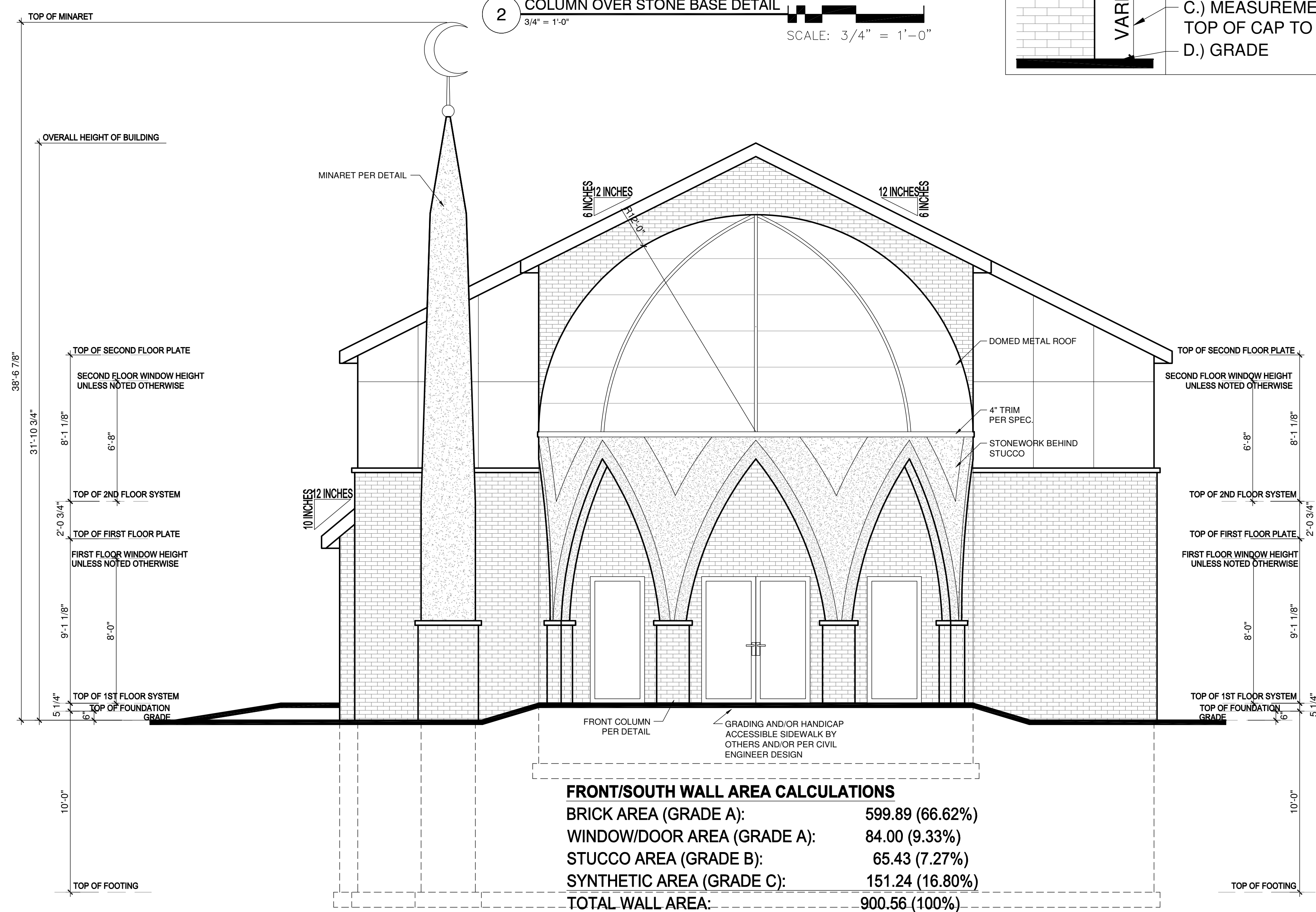
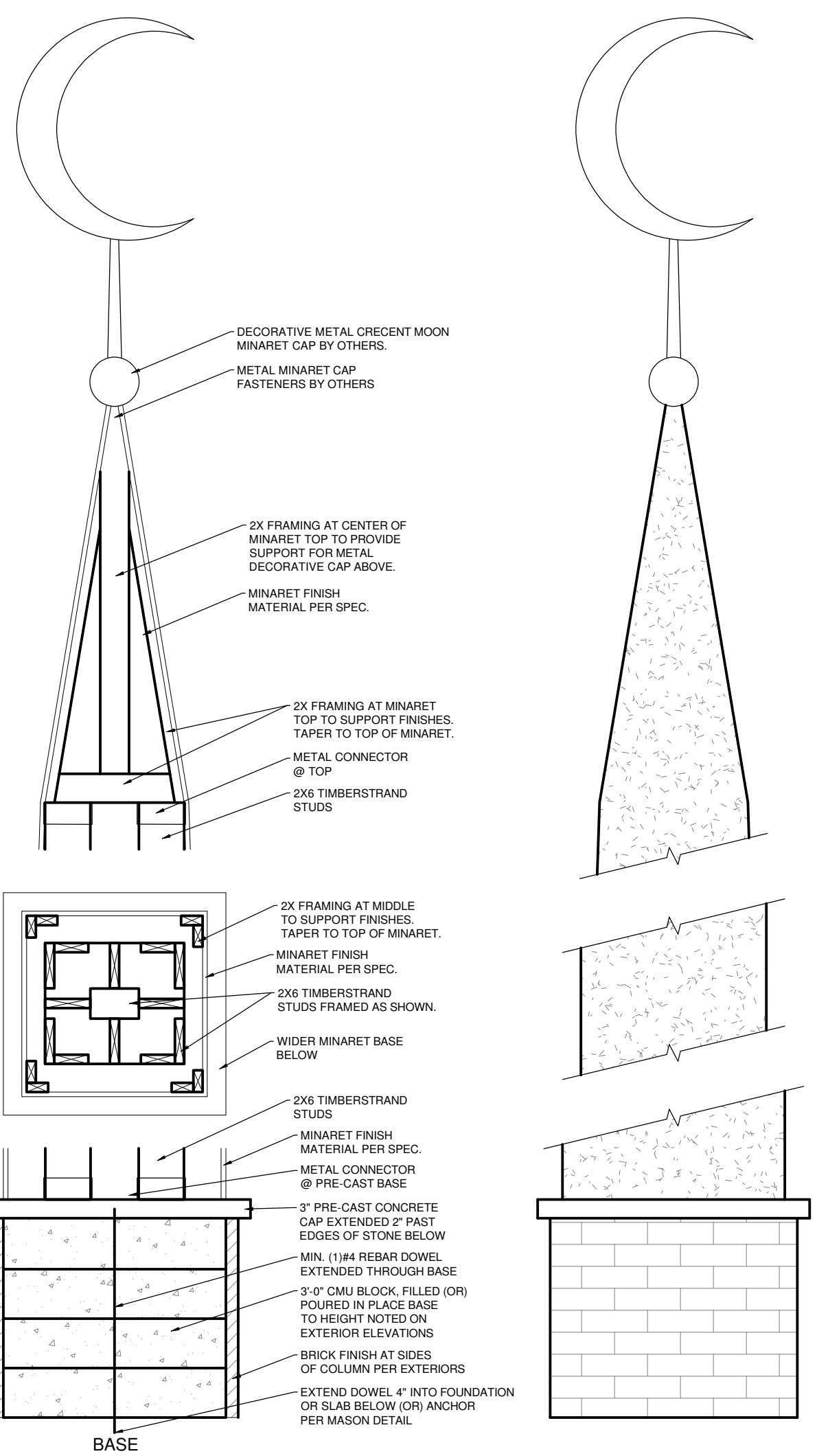
GENERAL EXTERIOR NOTES:

- ICE AND WATER BARRIER @ BOTTOM 6" OF ALL ROOF LINES, EXTEND BARRIER MIN. 3' ON EACH SIDE OF VALLEY, COVER ENTIRE FACE OF ROOF SADDLES. VERIFY ADDITIONAL LOCATIONS OF ICE AND WATER BARRIER AS NEEDED IN FIELD.
- PROVIDE ROOF AND SOFFIT VENTS PER CODE REGULATIONS.
- ALL FURNACE FLUES, PLUMBING VENTS, FIREPLACE VENTS, AND OTHER PENETRATIONS THROUGH ROOF OR WALLS TO EXTEND THROUGH REAR OF HOME WHENEVER POSSIBLE.
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- SUPPLY SEPARATION BETWEEN WOOD, COMPOSITE WOOD, AND ANY OTHER WOOD MATERIAL PER SPECIFICATIONS.

- HOLD STONE OFF GRADE MINIMUM OF 3" OR PER TRADE SPECIFICATIONS.
- REFER TO MANUFACTURE SPECIFICATIONS FOR STONE.
- GRADE CONDITIONS MAY VARY ON SITE.



EXTERIOR MATERIAL KEY	
FIBERGLASS ROOFING -MATERIAL: FABRICATED FIBERGLASS SHINGLES.	
METAL ROOFING -MATERIAL: STANDING SEAM METAL.	
STUCCO -MATERIAL: STUCCO, VERIFY W/ SPEC.	
BRICK VENEER -MATERIAL: BRICK, VERIFY W/ SPEC.	
PANEL SIDING -MATERIAL: ARCHITECTURAL PANELS W/SIMULATED NATURAL MATERIAL FINISH, VERIFY W/SPEC.	



FRONT/SOUTH WALL AREA CALCULATIONS

BRICK AREA (GRADE A):	599.89 (66.62%)
WINDOW/DOOR AREA (GRADE A):	84.00 (9.33%)
STUCCO AREA (GRADE B):	65.43 (7.27%)
SYNTHETIC AREA (GRADE C):	151.24 (16.80%)
TOTAL WALL AREA:	900.56 (100%)

RDS ARCHITECTS
10135 47th AVE. N.
PLYMOUTH MN. 55442
612-810-9628

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Richard D. Storlien
Name: Richard D. Storlien
Reg. No. 27298
Date: 3/2/26

RICHARD D. STORLIEN
REGISTERED PROFESSIONAL ARCHITECT
27298
STATE OF MINNESOTA

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNED: *Robbie Hyland*
PRINTED: ROBBIE HYLAND
DATE: 5/27/2026 LICENSE. NO.: 49580

EXHIBIT I

REVISION: STRUCTURAL NOTES ADDED PAGES E1-E3 & BRICK VENEER DETAILS ADDED (D1)	REV. DATE: 3-6-26 5-27-26	DRAWING TITLE: AL HADI MOSQUE LOCATION: 17732 JUNELLE PATH, LAKEVILLE, MN	ALL PLANS & DESIGNS SHOWN ARE THE PROPERTY OF LITTFIN DESIGN. USE OF THESE PLANS ON ANY OTHER PROJECT/LOT OTHER THAN NOTED ON THIS TITLEBLOCK WITHOUT THE WRITTEN CONSENT OF LITTFIN DESIGN IS PROHIBITED. © COPYRIGHT 2026		LITTFINDESIGN.COM MLITTFIN@HOTMAIL.COM 320-224-7844 WINSTED, MN	CURRENT DATE: 5-27-26	PAGE A1 PAGE DESCRIPTION: FRONT ELEVATION SCALED PRINT @ 24X36
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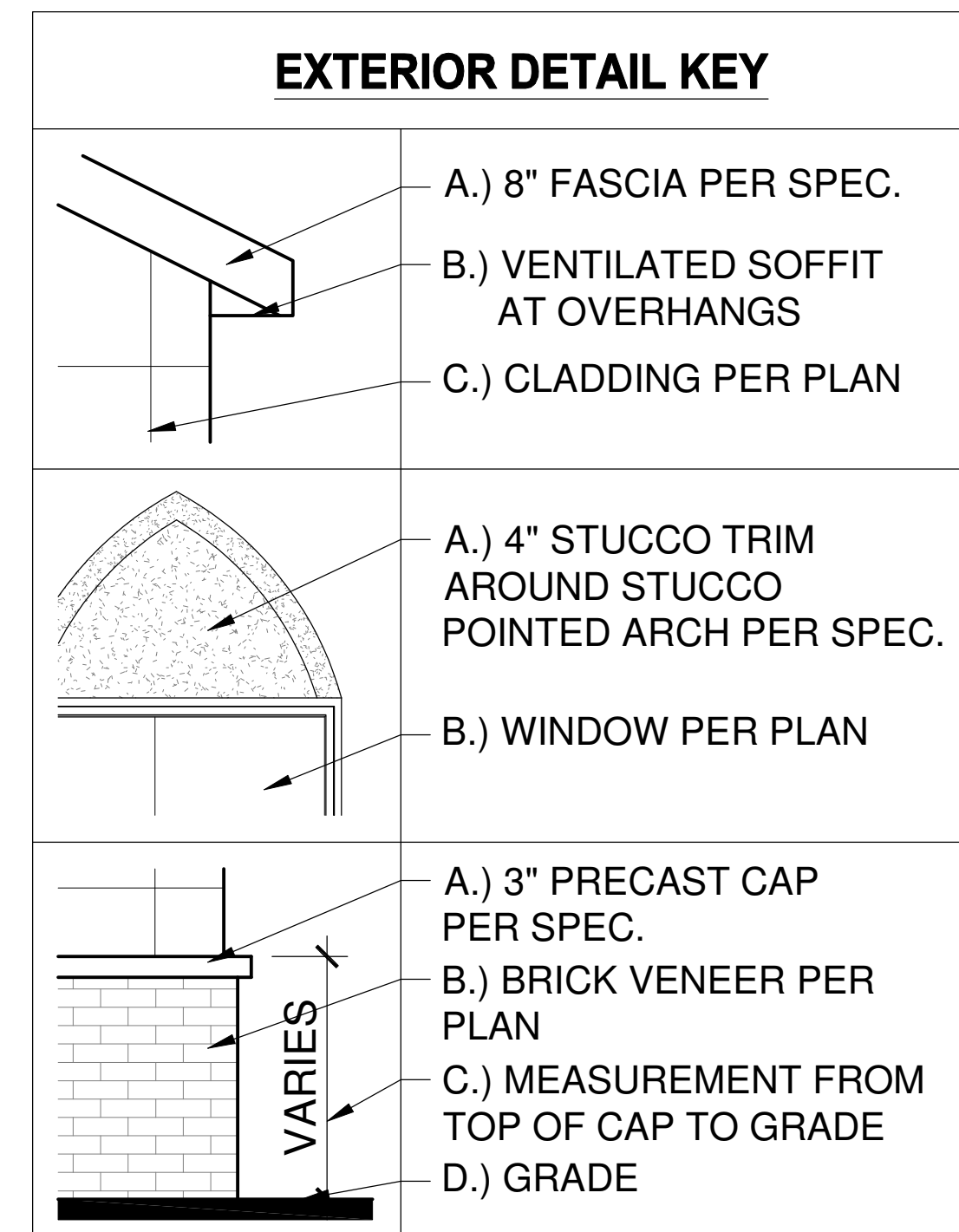
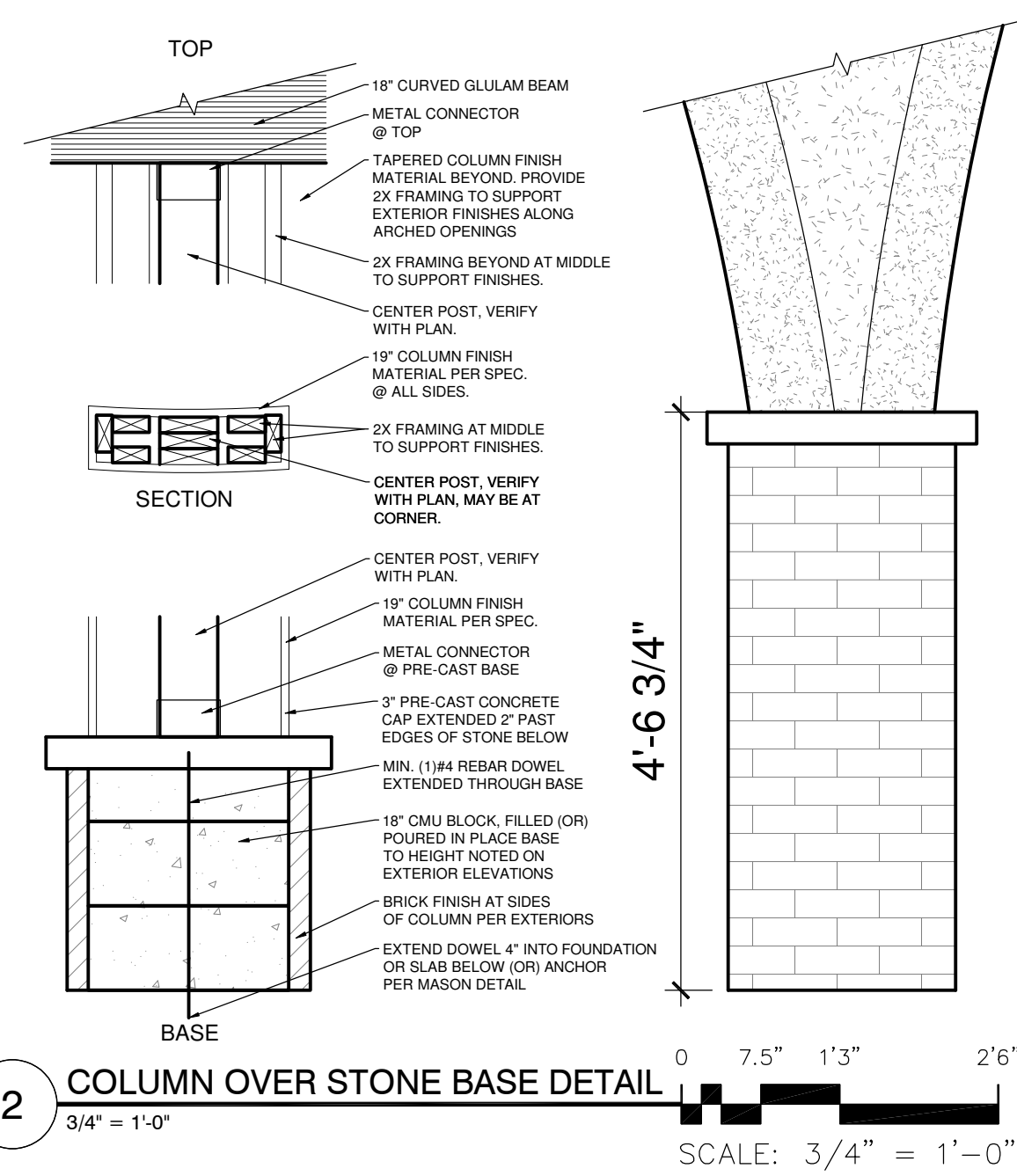
GENERAL EXTERIOR NOTES:

- ICE AND WATER BARRIER @ BOTTOM 6" OF ALL ROOF LINES, EXTEND BARRIER MIN. 3' ON EACH SIDE OF VALLEY, COVER ENTIRE FACE OF ROOF SADDLES. VERIFY ADDITIONAL LOCATIONS OF ICE AND WATER BARRIER AS NEEDED IN FIELD.
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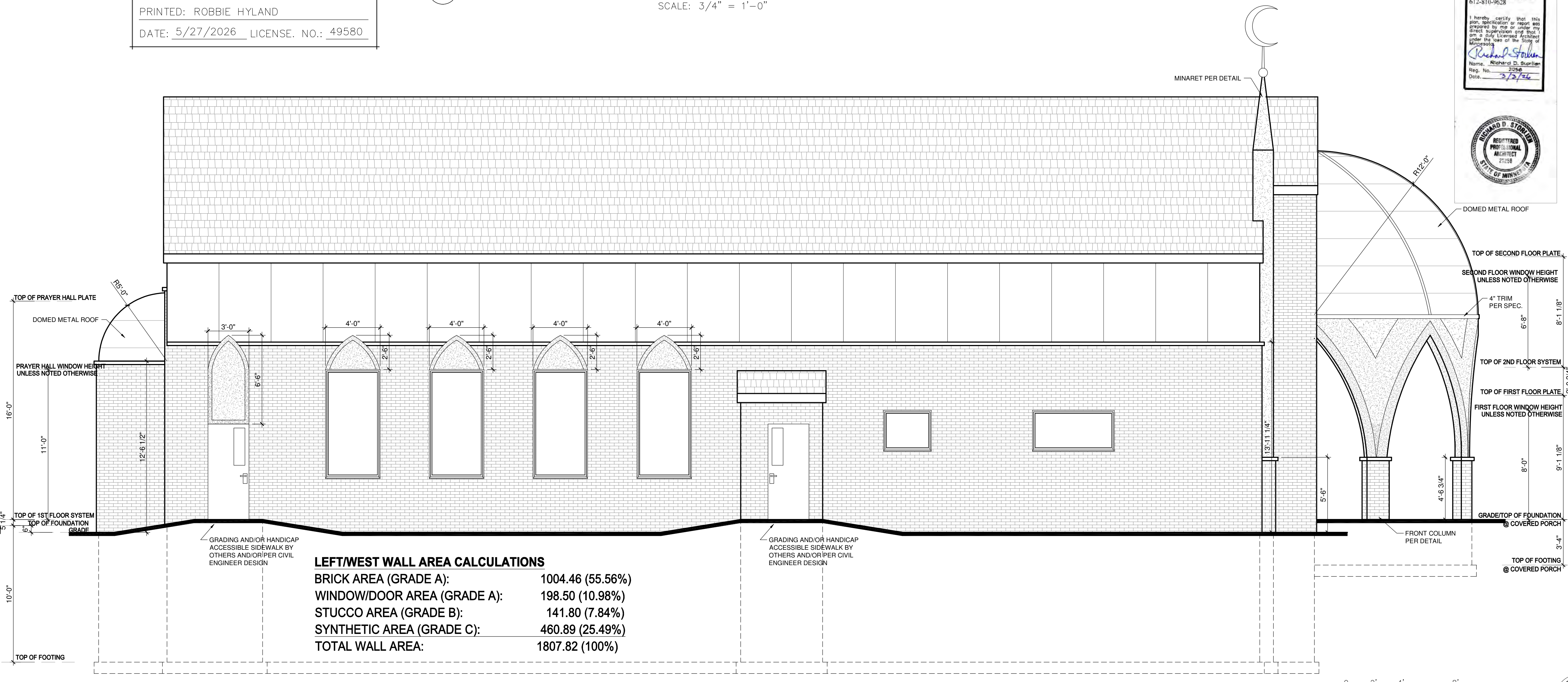
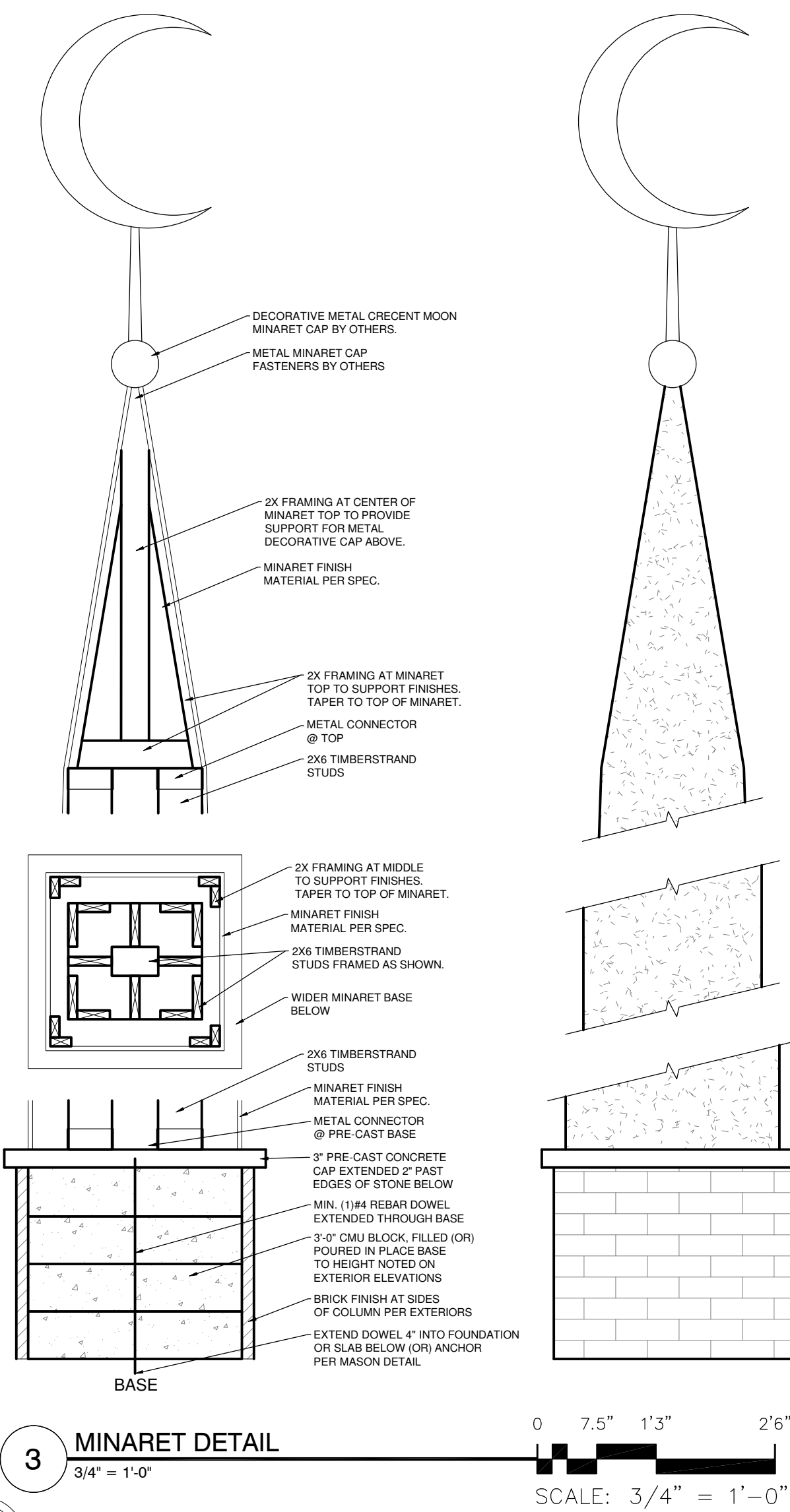
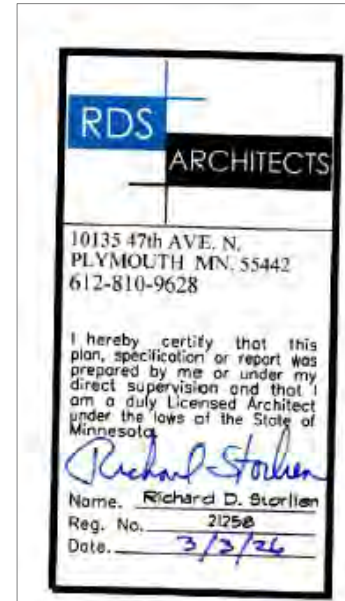
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- GRADE CONDITIONS MAY VARY ON SITE.

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SIGNED: *Robbie Hyland*
 PRINTED: ROBBIE HYLAND
 DATE: 5/27/2026 LICENSE. NO.: 49580



EXTERIOR MATERIAL KEY	
FIBERGLASS ROOFING -MATERIAL: FABRICATED FIBERGLASS SHINGLES.	
METAL ROOFING -MATERIAL: STANDING SEAM METAL.	
STUCCO -MATERIAL: STUCCO, VERIFY W/ SPEC.	
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PANEL SIDING -MATERIAL: ARCHITECTURAL PANELS W/SIMULATED NATURAL MATERIAL FINISH, VERIFY W/SPEC.	



LEFT/WEST WALL AREA CALCULATIONS

BRICK AREA (GRADE A):	1004.46 (55.56%)
WINDOW/DOOR AREA (GRADE A):	198.50 (10.98%)
STUCCO AREA (GRADE B):	141.80 (7.84%)
SYNTHETIC AREA (GRADE C):	460.89 (25.49%)
TOTAL WALL AREA:	1807.82 (100%)

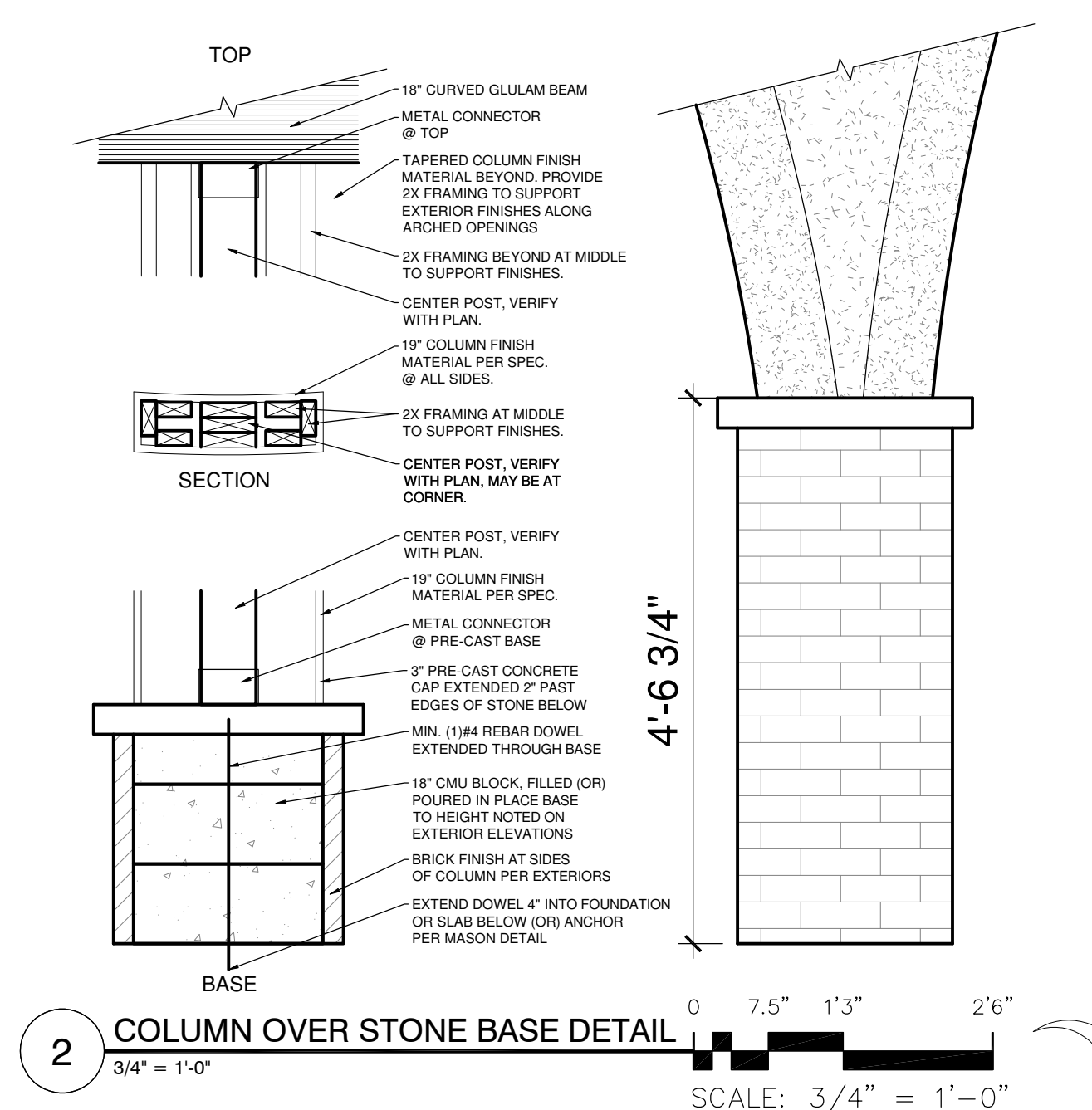
LEFT/WEST ELEVATION

THIS PLAN PROVIDES BUILDING DETAILS FOR A PROJECT TO BE BUILT IN ACCORDANCE WITH MINNESOTA BUILDING CODES AS WELL AS ANY LOCAL CODES. CONTRACTOR, OWNER, AND/OR TRADES ARE RESPONSIBLE FOR ANY FINES, PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. LITTFIN DESIGN IS NOT RESPONSIBLE FOR OMISSIONS OR ERRORS MADE DURING DESIGN, BIDDING, OR CONSTRUCTION PHASES. ANY AND ALL SITE REVIEW IS TO BE PERFORMED BY OTHERS SUCH AS THE CONTRACTOR, OWNER, SURVEYOR, OR OTHER TRADES RESPONSIBLE FOR SITE CONDITIONS. LITTFIN DESIGN IS NOT RESPONSIBLE FOR CONTRACTOR/TRADE ERRORS, UNKNOWN CODE ADJUSTMENTS AT THE TIME OF PLAN CREATION OR CONSTRUCTION.

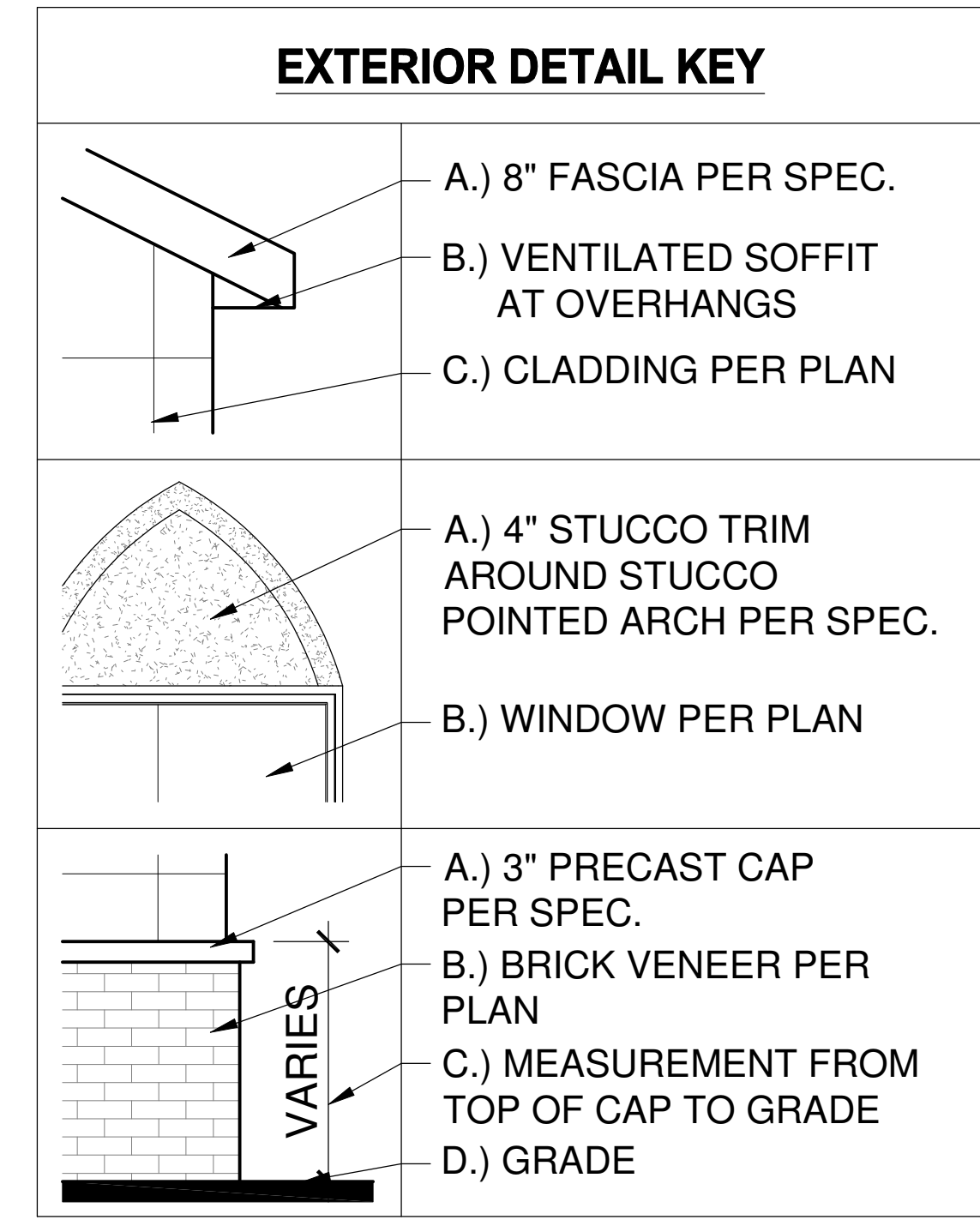
REVISION: STRUCTURAL NOTES ADDED PAGES E1-E3 & BRICK VENEER DETAILS ADDED (D1)	REV. DATE: 3-6-26 5-27-26	DRAWING TITLE: AL HADI MOSQUE LOCATION: 17732 JUNELLE PATH, LAKEVILLE, MN	ALL PLANS & DESIGNS SHOWN ARE THE PROPERTY OF LITTFIN DESIGN. USE OF THESE PLANS ON ANY OTHER PROJECT/LOT OTHER THAN NOTED ON THIS TITLEBLOCK WITHOUT THE WRITTEN CONSENT OF LITTFIN DESIGN IS PROHIBITED. © COPYRIGHT 2026		LITTFINDESIGN.COM MLITTFIN@HOTMAIL.COM 320-224-7844 WINSTED, MN	CURRENT DATE: 5-27-26	PAGE: A2	PAGE DESCRIPTION: LEFT ELEVATION SCALED PRINT @ 24X36
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GENERAL EXTERIOR NOTES:

- ICE AND WATER BARRIER @ BOTTOM 6' OF ALL ROOF LINES, EXTEND BARRIER MIN. 3' ON EACH SIDE OF VALLEY, COVER ENTIRE FACE OF ROOF SADDLES. VERIFY ADDITIONAL LOCATIONS OF ICE AND WATER BARRIER AS NEEDED IN FIELD.
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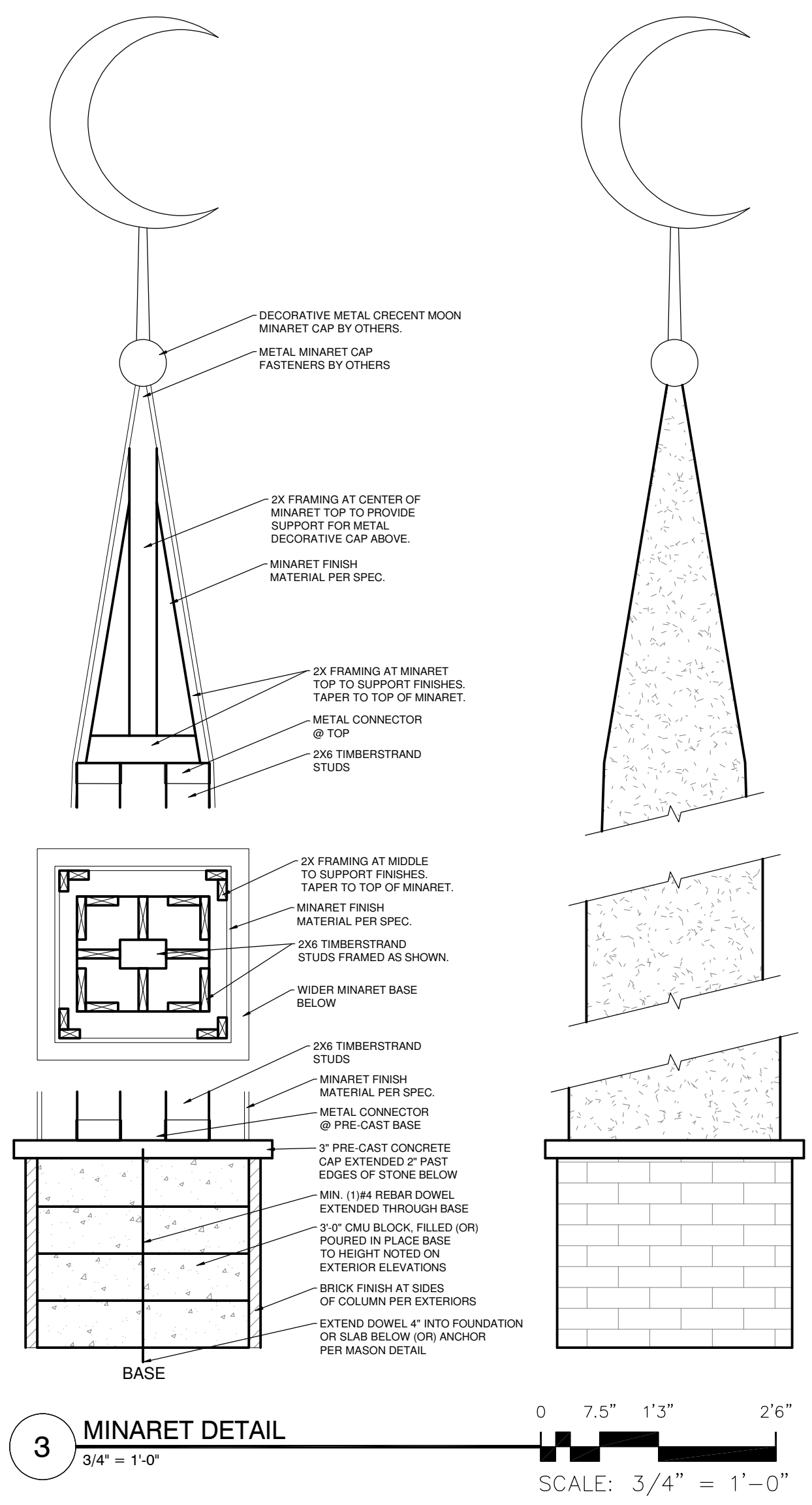
2 COLUMN OVER STONE BASE DETAIL
 SCALE: 3/4" = 1'-0"



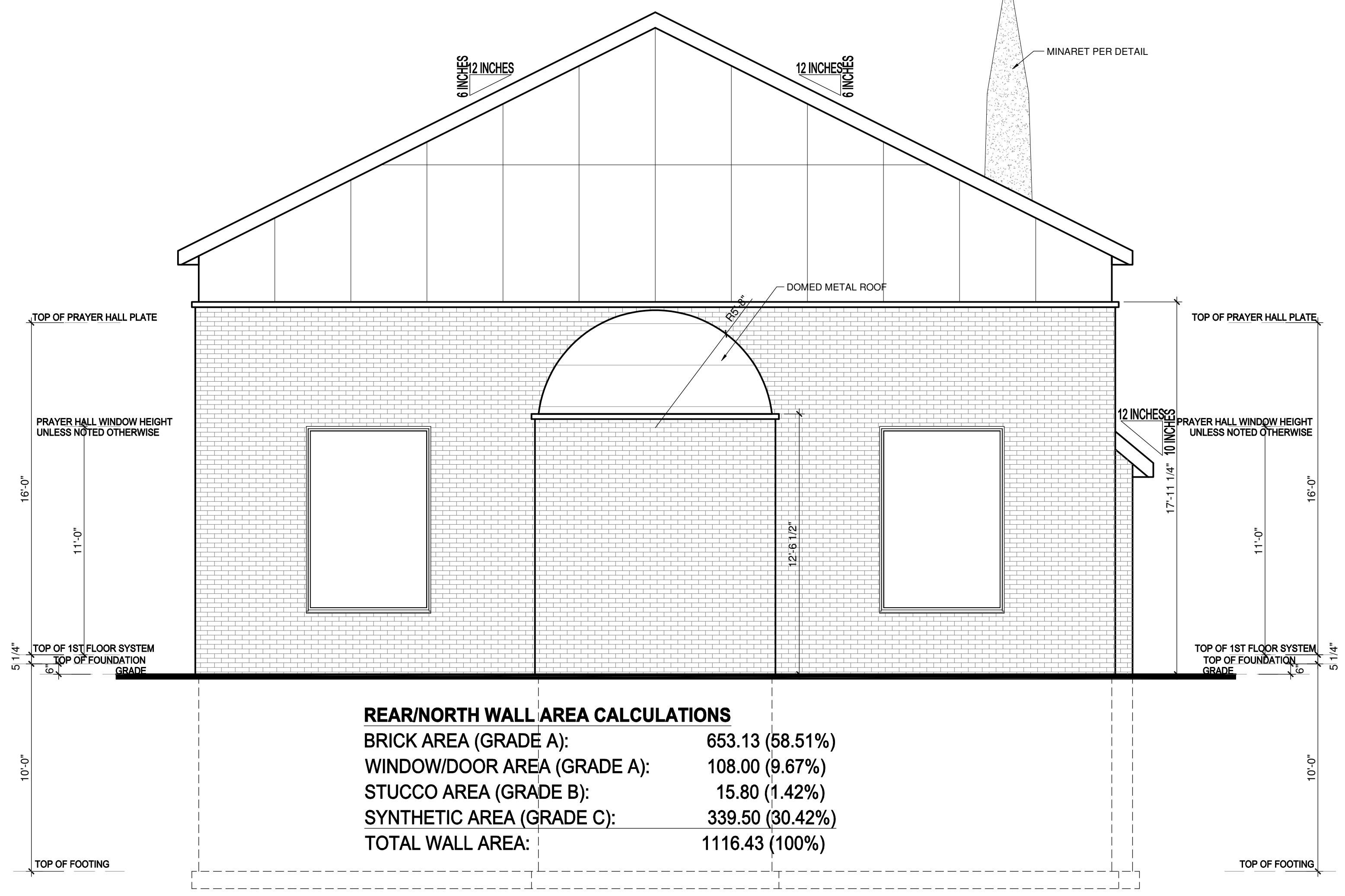
EXTERIOR DETAIL KEY

EXTERIOR MATERIAL KEY

FIBERGLASS ROOFING -MATERIAL: FABRICATED FIBERGLASS SHINGLES.	
METAL ROOFING -MATERIAL: STANDING SEAM METAL.	
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3 MINARET DETAIL
 SCALE: 3/4" = 1'-0"



1 REAR/NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

REAR/NORTH WALL AREA CALCULATIONS

BRICK AREA (GRADE A):	653.13 (58.51%)
WINDOW/DOOR AREA (GRADE A):	108.00 (9.67%)
STUCCO AREA (GRADE B):	15.80 (1.42%)
SYNTHETIC AREA (GRADE C):	339.50 (30.42%)
TOTAL WALL AREA:	1116.43 (100%)

RDS ARCHITECTS
 10135 47th AVE. N.
 PLYMOUTH MN, 55442
 612-810-9628

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Richard D. Storlien
 Name: Richard D. Storlien
 Reg. No.: 21258
 Date: 3/2/26

RICHARD D. STORLIEN
 REGISTERED PROFESSIONAL ARCHITECT
 STATE OF MINNESOTA
 21258

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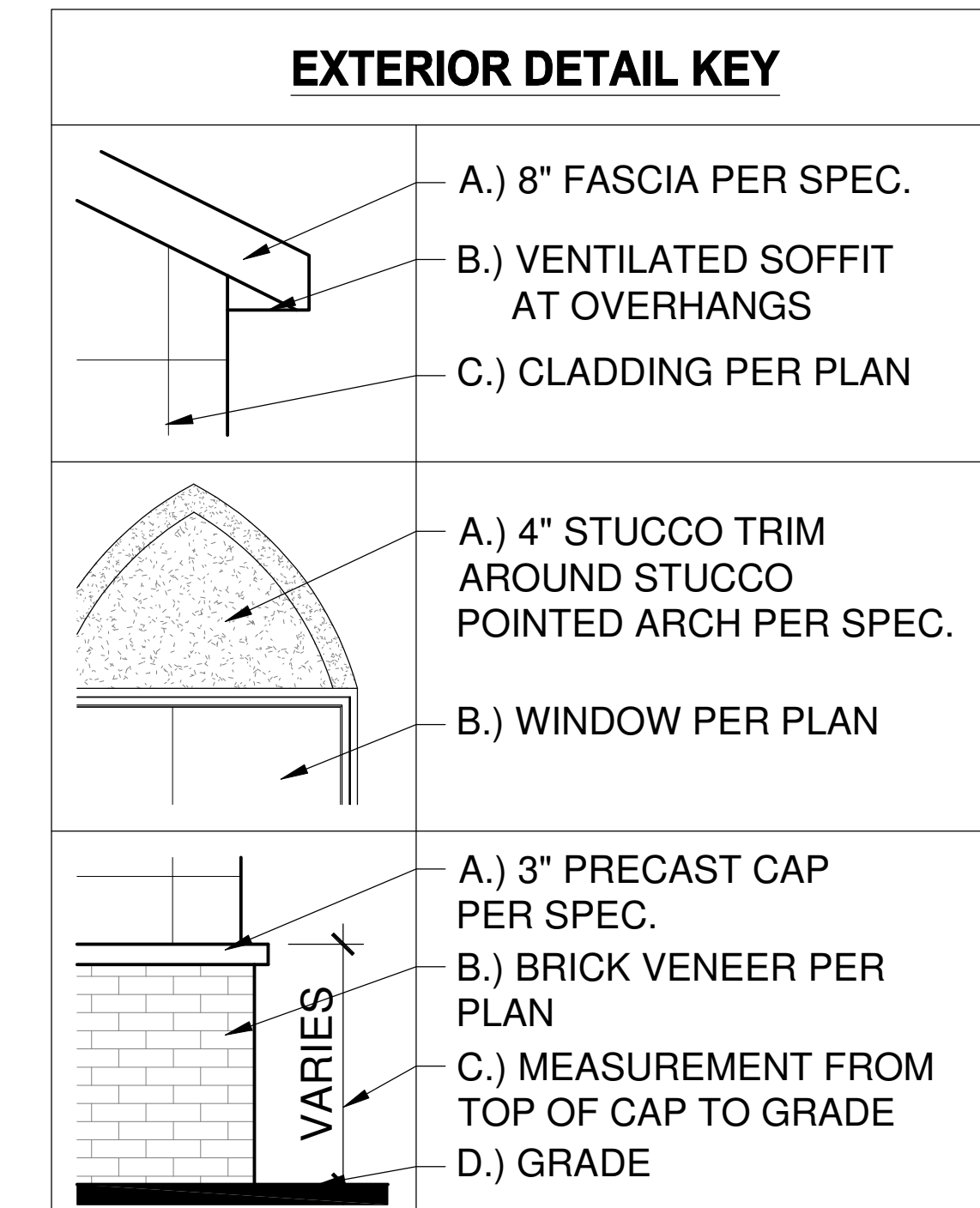
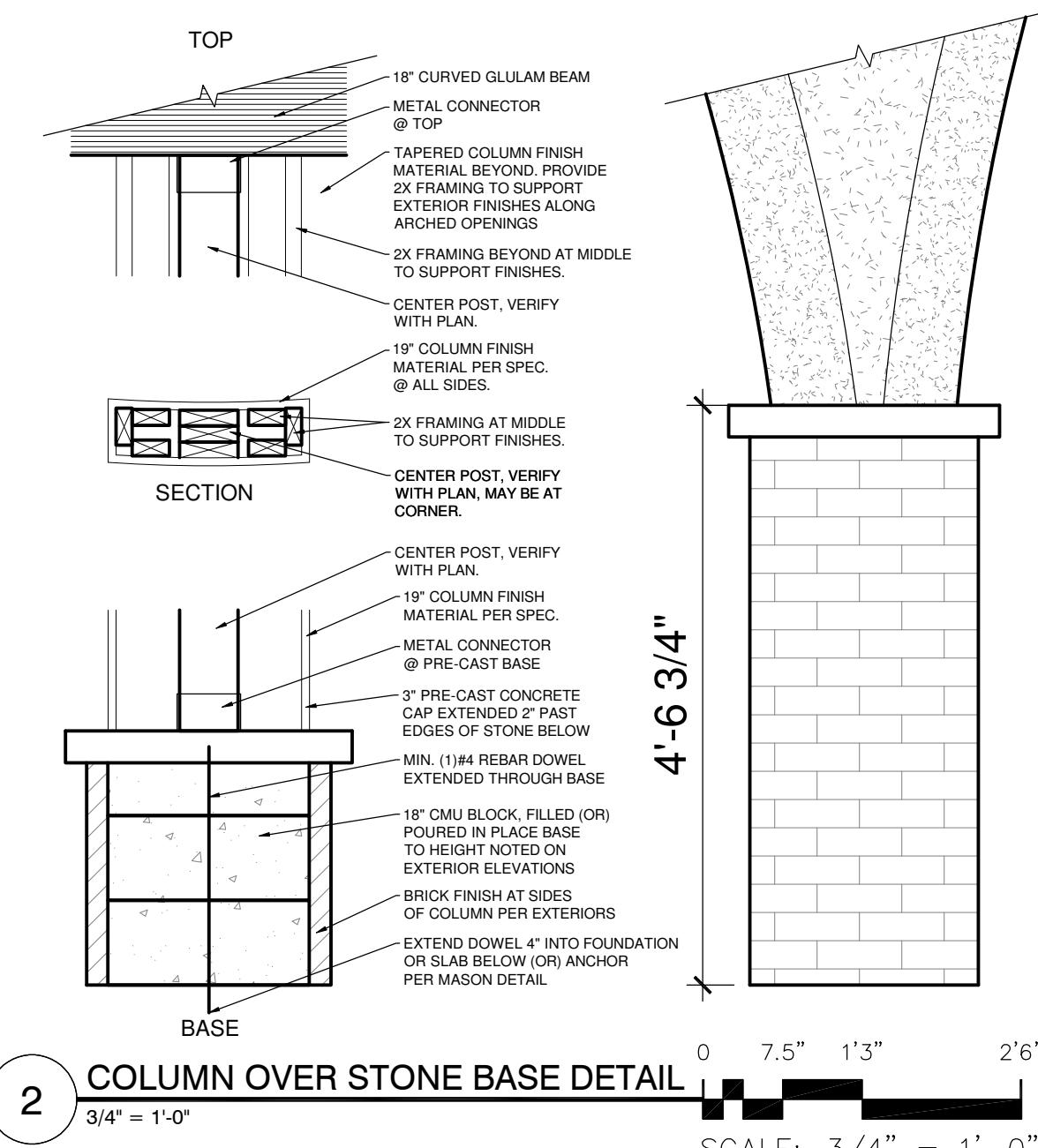
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 PRINTED: ROBBIE HYLAND
 DATE: 5/27/2026 LICENSE. NO.: 49580

REVISION: STRUCTURAL NOTES ADDED PAGES E1-E3 & BRICK VENEER DETAILS ADDED (D1)	REV. DATE: 3-6-26 5-27-26	DRAWING TITLE: AL HADI MOSQUE LOCATION: 17732 JUNELLE PATH, LAKEVILLE, MN	ALL PLANS & DESIGNS SHOWN ARE THE PROPERTY OF LITTFIN DESIGN. USE OF THESE PLANS ON ANY OTHER PROJECT/LOT OTHER THAN NOTED ON THIS TITLEBLOCK WITHOUT THE WRITTEN CONSENT OF LITTFIN DESIGN IS PROHIBITED. © COPYRIGHT 2026		LITTFINDESIGN.COM MLITTFIN@HOTMAIL.COM 320-224-7844 WINSTED, MN	CURRENT DATE: 5-27-26	PAGE A3 PAGE DESCRIPTION: REAR ELEVATION SCALED PRINT @ 24X36
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GENERAL EXTERIOR NOTES:

- ICE AND WATER BARRIER @ BOTTOM 6" OF ALL ROOF LINES, EXTEND BARRIER MIN. 3" ON EACH SIDE OF VALLEY, COVER ENTIRE FACE OF ROOF SADDLES. VERIFY ADDITIONAL LOCATIONS OF ICE AND WATER BARRIER AS NEEDED IN FIELD.
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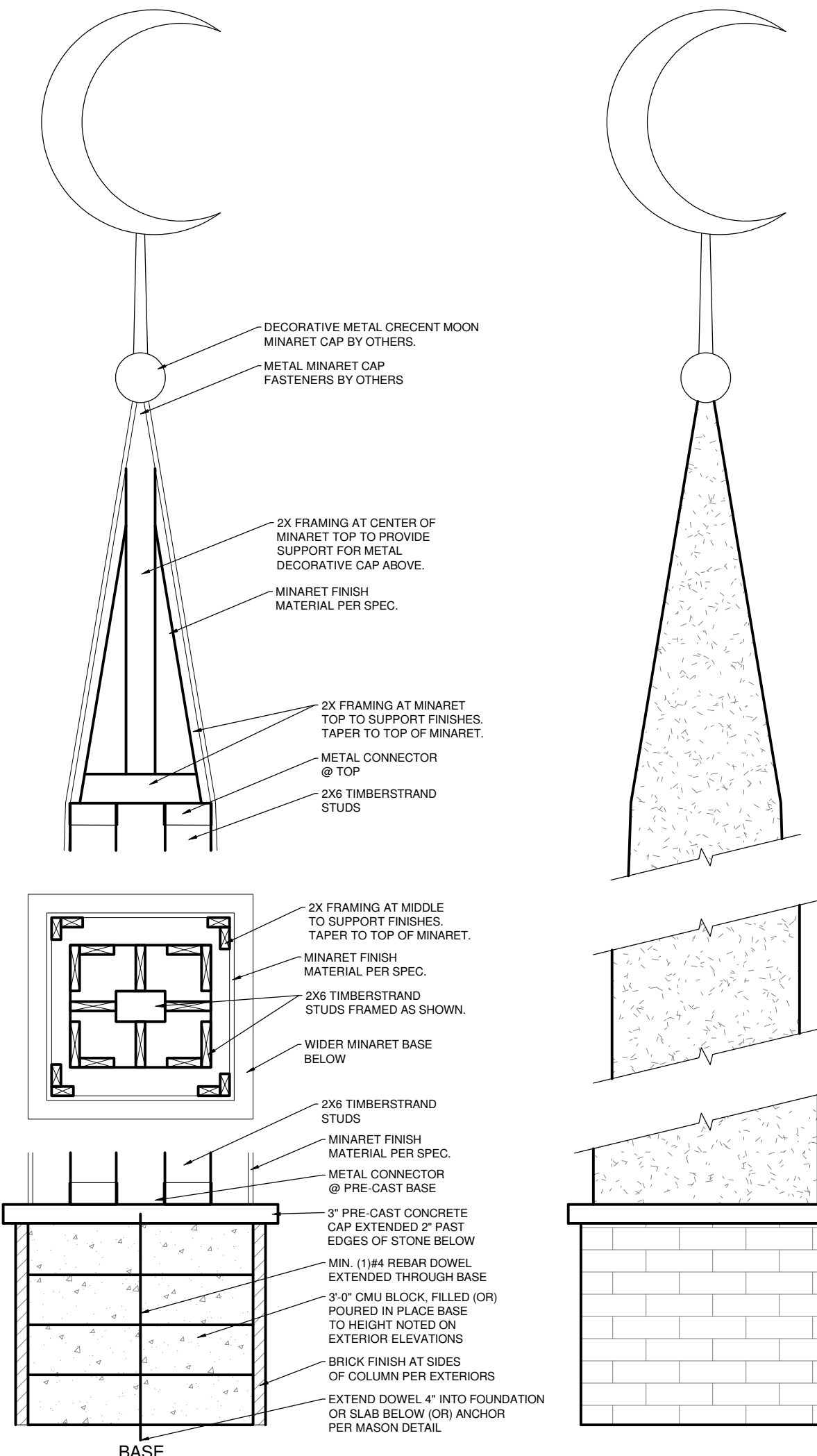
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SIGNED: *Robbie Hyland*
 PRINTED: ROBBIE HYLAND
 DATE: 5/27/2026 LICENSE NO.: 49580

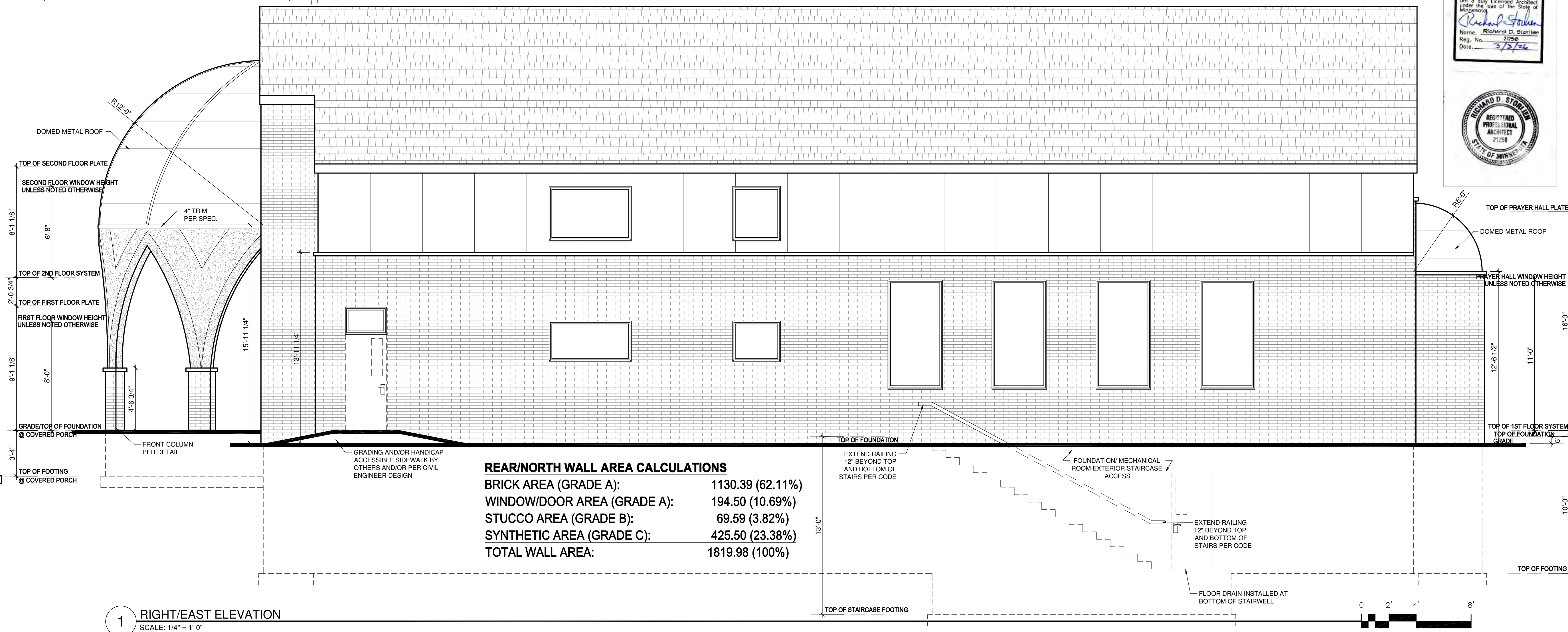
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 PLYMOUTH, MN, 55442
 612-810-9628

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Richard D. Storlien
 Name: Richard D. Storlien
 Reg. No. 3256
 Date: 5/27/26



3 MINARET DETAIL
 SCALE: 3/4" = 1'-0"



1 RIGHT/EAST ELEVATION
 SCALE: 1/4" = 1'-0"

REAR/NORTH WALL AREA CALCULATIONS

BRICK AREA (GRADE A):	1130.39 (62.11%)
WINDOW/DOOR AREA (GRADE A):	194.50 (10.69%)
STUCCO AREA (GRADE B):	69.59 (3.82%)
SYNTHETIC AREA (GRADE C):	425.50 (23.38%)
TOTAL WALL AREA:	1819.98 (100%)

REVISION:	REV. DATE:
STRUCTURAL NOTES ADDED	3-6-26
PAGES E1-E3 & BRICK VENEER DETAILS ADDED (D1)	5-27-26

DRAWING TITLE:
AL HADI MOSQUE

LOCATION:
 17732 JUNELLE PATH, LAKEVILLE, MN

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 MLITTFIN@HOTMAIL.COM
 320-224-7844
 WINSTED, MN

CURRENT DATE:
 5-27-26

PAGE
 L **A4** D

PAGE DESCRIPTION:
RIGHT ELEVATION
 SCALED PRINT @ 24X36

STRUCTURAL NOTES:

1. ALL HEADERS TO BE SUPPORTED BY A MINIMUM OF (1) TRIMMER. REFER TO COVER SHEET FOR ADDITIONAL INFO.
2. ALL HEADERS TO HAVE AT LEAST (1) KING STUD (UNLESS NOTED).
3. BLOCKING @ ROOF & FLOOR PLAN PER TRUSS MANUFACTURER.
4. POINT LOADS TO BE CARRIED THROUGH FLOOR AREAS AND DOWN TO FOUNDATION FOR SUPPORT. USE SAME MATERIAL AS COLUMN SUPPORTING MEMBER ABOVE.
5. ALL HANGERS & CONNECTORS PER TRUSS MANUFACTURER, SUPPLIERS & CONTRACTOR.
6. ALL EXTERIOR SHEATHING TO BE 7/16" OSB OR PLYWOOD SHEATHING & NAILED PER CODE (MAY BE REFERRED TO AS 1/2" NOMINAL THICKNESS).
7. ROOF DECKING TO BE 3/4" NOMINAL (OR 3/8") OSB DECKING W/ CLIPS, NAILED TO ROOF FRAMING W/ MIN. 8d COMMON NAILS. 6" O.C. @ EDGES/12" O.C. @ FIELD.
8. FLOOR DECKING TO BE 3/4" PLYWOOD DECKING, NAILED OR SCREWED TO FLOOR SYSTEM PER CODE W/ ADHESIVE PER SPEC. (OR) MIN. 6d COMMON NAILS 6" O.C. @ EDGES/12" O.C. @ FIELD (CODE MINIMUM).

GENERAL FRAMING NOTES:

1. ALL NON-BEARING FRAMING IS TO BE 16" O.C. UNLESS OTHERWISE NOTED.
2. ALL WALLS TO HAVE A DOUBLE TOP PLATE UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS ARE TO BE 2X6 WOOD STUDS WITH 7/16" OSB SHEATHING, UNLESS NOTED OTHERWISE.
4. ALL INTERIOR WALLS ARE TO BE 2X4 WOOD STUDS UNLESS NOTED OTHERWISE.
5. ALL COLUMN SIZES ARE TO BE CONTINUED THROUGH FLOOR TRUSS SPACES WHEN SPANNING MORE THAN 1 FLOOR.
6. ALL WOOD MATERIALS ARE TO BE PROTECTED PER CODE & MANUF. SPECIFICATIONS WHILE BEING STORED ON SITE.

WINDOW & DOOR SIZE NOTES (EXAMPLES)

- SH3'X5' = SINGLE HUNG 3'0" BY 5'0"
- FX2'6"X2'6" = FIXED 2'6" BY 4'6"
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- SD 110V, INTERCONNECTED SMOKE DETECTOR
- SD(CO) 110V, INTERCONNECTED SMOKE DETECTOR / CARBON MONOXIDE DETECTOR COMBO
- EXHAUST FAN

FRAMING FLOOR PLAN NOTES:

1. FOR EASE OF UNDERSTANDING GRADE IS CONSIDERED 0'0" ON THIS PLAN
2. ALL STAIRWAYS (INTERIOR AND EXTERIOR) ARE TO BE ILLUMINATED AT EACH LANDING PER CODE
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RDS ARCHITECTS

10135 47th AVE. N.
PLYMOUTH MN, 55442
612-810-9628

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Richard D. Stoller

Name: Richard D. Stoller
Reg. No. 20298
Date: 5/27/2026

REGISTERED
PROFESSIONAL ARCHITECT
STATE OF MINNESOTA
21258

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNED: *Robbie Hyland*

PRINTED: ROBBIE HYLAND

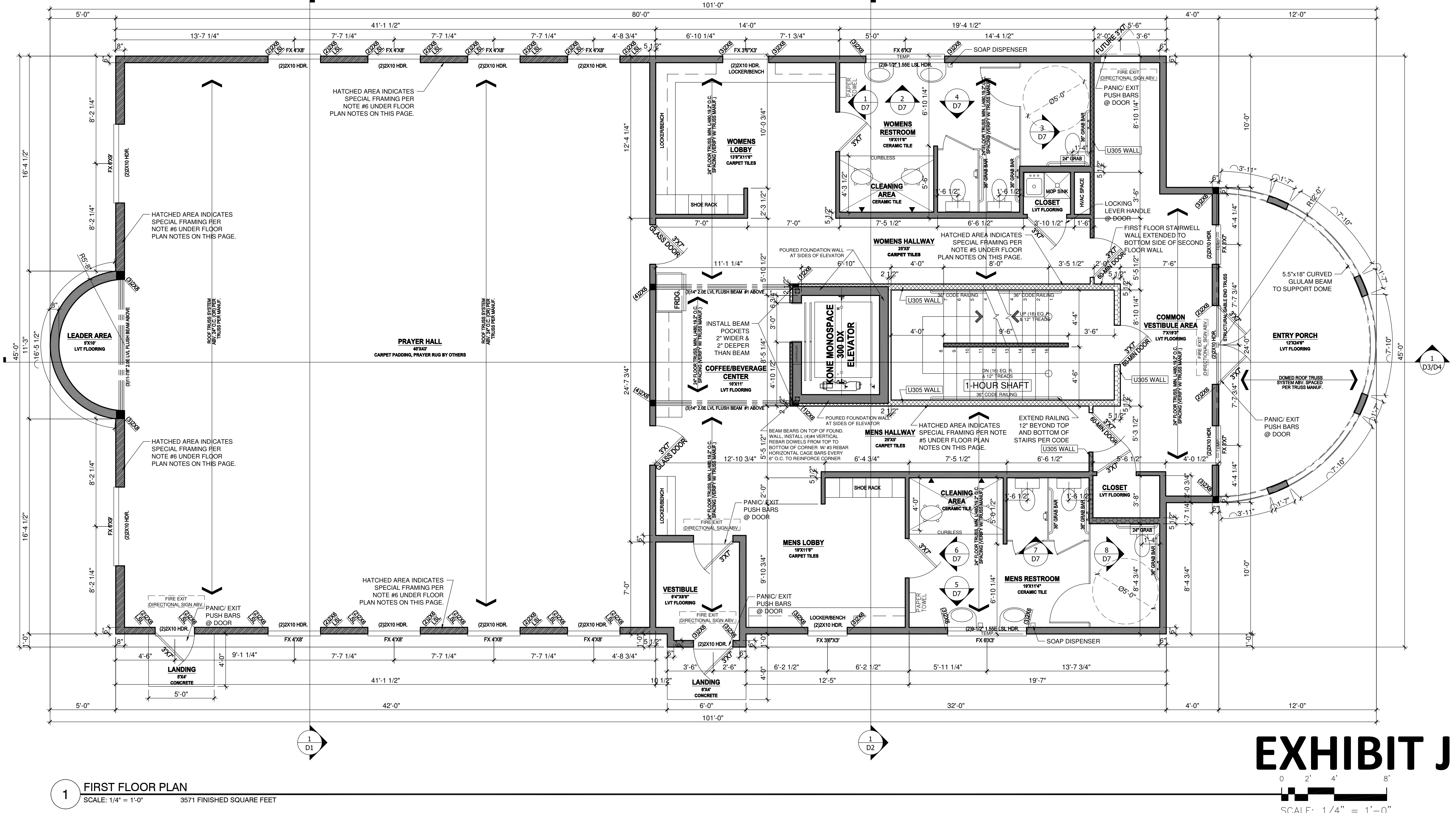
DATE: 5/27/2026 LICENSE. NO.: 49580

DOOR INFORMATION :

1. ALL DOORS TO BE SOLID CORE UNLESS NOTED OTHERWISE.
2. EXTERIOR DOORS TO BE HOLLOW METAL OR ALUMINUM DOORS AND FRAMES.
3. PROVIDE 60-MINUTE FIRE-RATED DOORS AT ALL STAIR ENCLOSURES.
4. PROVIDE LEVER-TYPE HANDLES AT ALL DOORS.
5. PROVIDE LOCKING LEVER HANDLES AT:
 - 5.1. WASH SINK CLOSET
 - 5.2. OFFICES (2)
 - 5.3. PROVIDE PANIC/EXIT PUSH BARS ON INTERIOR SIDE OF:
 - 6.1. FRONT ENTRANCE DOORS
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 - 6.3. SIDE PRAYER HALL DOOR
 - 6.4. FUTURE DOOR (VESTIBULE AREA)
 - 6.5. BASEMENT EGRESS DOOR

SQUARE FOOTAGE CALCULATIONS

BASEMENT:	UNFINISHED SQ. FTG.	3341 SQ. FT.
FIRST FLOOR:	FINISHED SQ. FTG.	3571 SQ. FT.
SECOND FLOOR:	FINISHED SQ. FTG.	1662 SQ. FT.
TOTAL FINISHED SQ. FTG:		5233 SQ. FT.
GRAND TOTAL SQ. FTG:		8574 SQ. FT.




1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" 3571 FINISHED SQUARE FEET

EXHIBIT J

0 2' 4' 8'

SCALE: 1/4" = 1'-0"

REVISION:	REV. DATE:	DRAWING TITLE:	ALL PLANS & DESIGNS SHOWN ARE THE PROPERTY OF LITTFIN DESIGN. USE OF THESE PLANS ON ANY OTHER PROJECT/LOT OTHER THAN NOTED ON THIS TITLEBLOCK WITHOUT THE WRITTEN CONSENT OF LITTFIN DESIGN IS PROHIBITED.	CURRENT DATE:	PAGE	PAGE DESCRIPTION:
STRUCTURAL NOTES ADDED PAGES E1-E3 & BRICK VENEER DETAILS ADDED (D1)	3-6-26 5-27-26	AL HADI MOSQUE LOCATION: 17732 JUNELLE PATH, LAKEVILLE, MN	 LITTFIN DESIGN © COPYRIGHT 2026	5-27-26	A7	FIRST FLOOR PLAN SCALED PRINT @ 24X36

STRUCTURAL NOTES:

1. ALL HEADERS TO BE SUPPORTED BY A MINIMUM OF (1) TRIMMER. REFER TO COVER SHEET FOR ADDITIONAL INFO.
2. ALL HEADERS TO HAVE AT LEAST (1) KING STUD (UNLESS NOTED).
3. BLOCKING @ ROOF & FLOOR PLAN PER TRUSS MANUFACTURER.
4. POINT LOADS TO BE CARRIED THROUGH FLOOR AREAS AND DOWN TO FOUNDATION FOR SUPPORT. USE SAME MATERIAL AS COLUMN SUPPORTING MEMBER ABOVE.
5. ALL HANGERS & CONNECTORS PER TRUSS MANUFACTURER, SUPPLIERS & CONTRACTOR.
6. ALL EXTERIOR SHEATHING TO BE 7/16" OSB OR PLYWOOD SHEATHING & NAILED PER CODE (MAY BE REFERRED TO AS 1/2" NOMINAL THICKNESS).
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- SD@ 110V, INTERCONNECTED SMOKE DETECTOR / CARBON MONOXIDE DETECTOR COMBO
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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNED: *Richard D. Storlien*

PRINTED: ROBBIE HYLAND

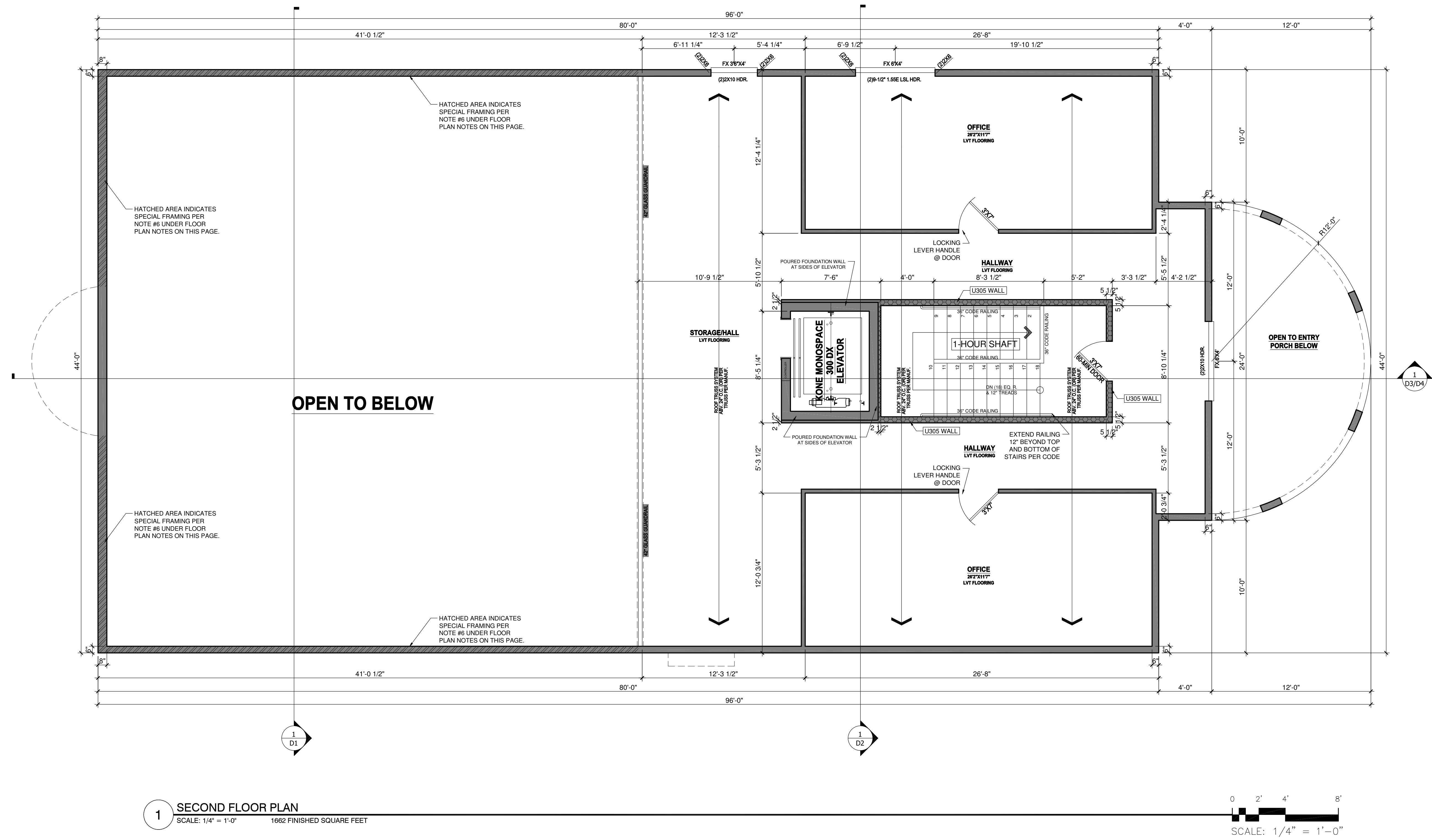
DATE: 5/27/2026 LICENSE. NO.: 49580

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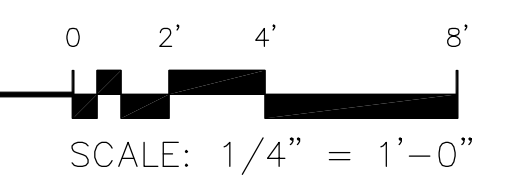
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SQUARE FOOTAGE CALCULATIONS

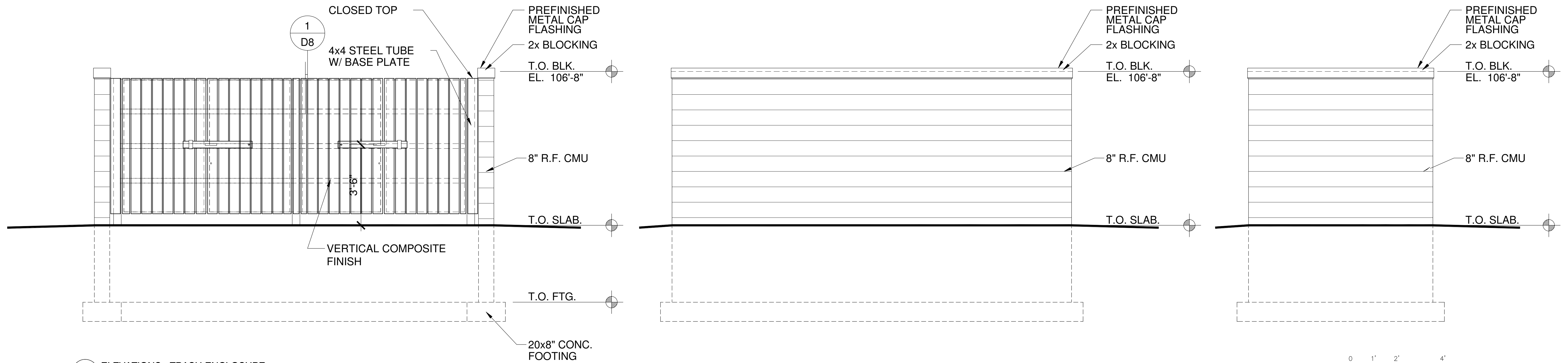
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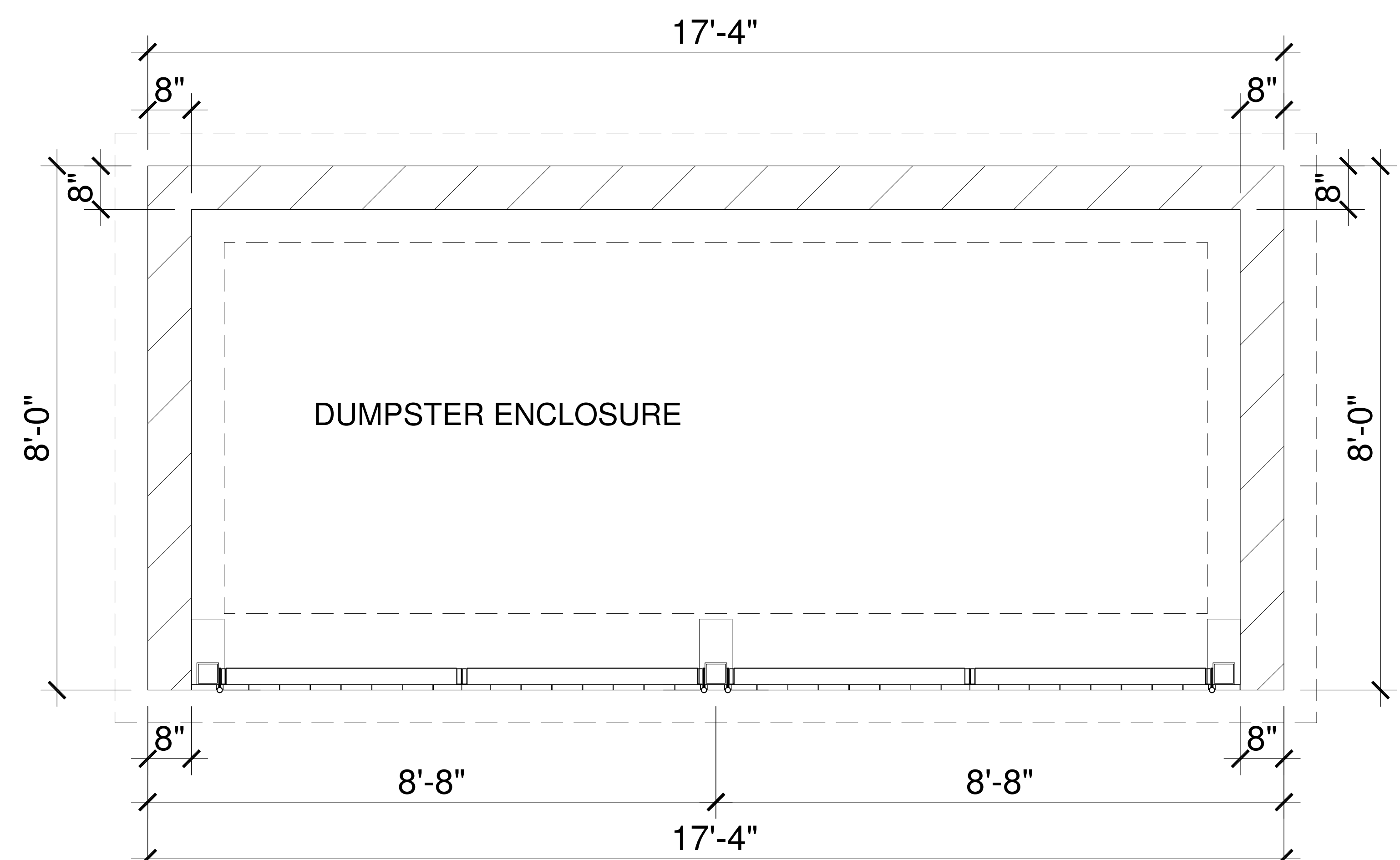
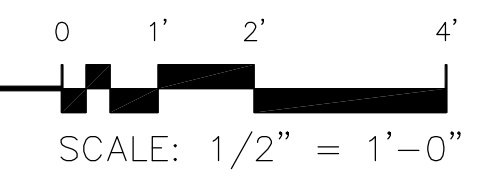
1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" 1662 FINISHED SQUARE FEET



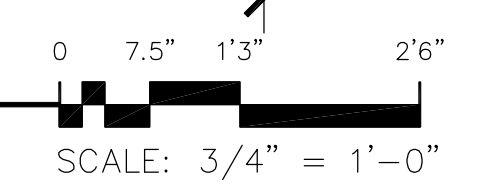
REVISION:	REV. DATE:	DRAWING TITLE:	ALL PLANS & DESIGNS SHOWN ARE THE PROPERTY OF LITTFIN DESIGN. USE OF THESE PLANS ON ANY OTHER PROJECT/LOT OTHER THAN NOTED ON THIS TITLEBLOCK WITHOUT THE WRITTEN CONSENT OF LITTFIN DESIGN IS PROHIBITED. © COPYRIGHT 2026		LITTFINDESIGN.COM MLITTFIN@HOTMAIL.COM 320-224-7844 WINSTED, MN	CURRENT DATE: 5-27-26	PAGE A8 D	PAGE DESCRIPTION: SECOND FLOOR PLAN SCALED PRINT @ 24X36
STRUCTURAL NOTES ADDED PAGES E1-E3 & BRICK VENEER DETAILS ADDED (D1)	3-6-26 5-27-26	AL HADI MOSQUE LOCATION: 17732 JUNELLE PATH, LAKEVILLE, MN						



1 ELEVATIONS - TRASH ENCLOSURE
1/2" = 1'-0"



2 FLOOR PLAN - TRASH ENCLOSURE
3/4" = 1'-0"



RDS ARCHITECTS
10135 47th AVE. N.
PLYMOUTH MN. 55442
612-810-9628

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Richard D. Stortien
Name: Richard D. Stortien
Reg. No. 21298
Date: 3/2/26

RICHARD D. STORTIEN
REGISTERED PROFESSIONAL ARCHITECT
STATE OF MINNESOTA

EXHIBIT K

THIS PLAN PROVIDES BUILDING DETAILS FOR A PROJECT TO BE BUILT IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AS WELL AS ANY LOCAL CODES. CONTRACTOR, OWNER, AND/OR TRADES ARE RESPONSIBLE FOR ANY FINES, PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. LITTFIN DESIGN IS NOT RESPONSIBLE FOR OMISSIONS OR ERRORS MADE DURING DESIGN, BIDDING, OR CONSTRUCTION PHASES. ANY AND ALL SITE REVIEW IS TO BE PERFORMED BY OTHERS SUCH AS THE CONTRACTOR, OWNER, SURVEYOR, OR OTHER TRADES RESPONSIBLE FOR SITE CONDITIONS. LITTFIN DESIGN IS NOT RESPONSIBLE FOR CONTRACTOR/TRADE ERRORS, UNKNOWN CODE ADJUSTMENTS AT THE TIME OF PLAN CREATION OR CONSTRUCTION.

REVISION:	REV. DATE:
STRUCTURAL NOTES ADDED	3-6-26
PAGES E1-E3 & BRICK VENEER DETAILS ADDED (D1)	5-27-26

DRAWING TITLE: AL HADI MOSQUE
LOCATION: 1732 JUNELLE PATH, LAKEVILLE, MN

ALL PLANS & DESIGNS SHOWN ARE THE PROPERTY OF LITTFIN DESIGN. USE OF THESE PLANS ON ANY OTHER PROJECT/LOT OTHER THAN NOTED ON THIS TITLEBLOCK WITHOUT THE WRITTEN CONSENT OF LITTFIN DESIGN IS PROHIBITED.
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320-224-7844
WINSTED, MN

CURRENT DATE:
5-27-26

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PAGE DESCRIPTION:
TRASH ENCLOSURE DETAILS
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EXHIBIT L

**CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA**

**CONDITIONAL USE PERMIT
FINDINGS OF FACT AND RECOMMENDATION**

On June 25, 2026, the Lakeville Planning Commission met at its regularly scheduled meetings to consider the application of Al Hadi Association for a conditional use permit to allow: 1) a building expansion of a religious institution in the RS-3, Single Family Residential District, and 2) to exceed 125% of the minimum parking stalls required by the Zoning Ordinance. The Planning Commission conducted a public hearing on the application preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The property is located in Comprehensive Planning District No. 2, the property is guided for residential uses, which allows public and quasi-public uses.
2. The property is zoned RS-2, Single Family Residential District.
3. The legal description of the property is:

The South Half of Lot 25, Argonne Farms, Dakota County, Minnesota.

4. Section 11-4-3E of the City of Lakeville Zoning Ordinance provides that a conditional use permit may not be issued unless certain criteria are satisfied. The criteria and our findings regarding them are:

- a) **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.**

Finding: The proposed religious institution is consistent with uses allowed in residential areas of the City. The building meets the height requirements of the RS-2 District and the exterior materials requirements for institutional uses, which is consistent with the policies and provisions of Planning District 2 of the Comprehensive Land Use Plan.

- b) **The proposed use is or will be compatible with future land uses of the area.**

Finding: A religious institution in the RS-2 District will be compatible with existing and future land uses in the area provided compliance with the stipulations outlined in the conditional use permit.

- c) **The proposed use conforms with all performance standards contained in the Zoning Ordinance and the City Code.**

Finding: The proposed religious institution use in the RS-2 District conforms to the performance standards set forth in the Zoning Ordinance required for a conditional use permit for the religious institution and additional parking.

- d) **The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.**

Finding: The proposed religious institution use will be served with existing public services and will not overburden the City's service capacity.

- e) **Traffic generation by the proposed use is within capabilities of streets serving the property.**

Finding: Traffic generation from the religious institution use can be accommodated by Junelle Path.

- 5. The Planning Commission report dated June 15, 2026 prepared by Kris Jenson, Planning Manager, is incorporated herein.

RECOMMENDATION

Dated: June 25, 2026

The Planning Commission recommends that the City Council approve the conditional use permit conditioned upon compliance with the planning report by Kris Jenson, Planning Manager, dated June 15, 2026.

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair



Memorandum

To: Kris Jenson, Planning Manager

From: Jon Nelson, Assistant City Engineer
McKenzie L. Cafferty, Environmental Resources Manager
Joe Masiarchin, Parks and Recreation Director

Copy: Zach Johnson, City Engineer
Tina Goodroad, Community Development Director
Julie Stahl, Finance Director
Dave Mathews, Building Official

Date: June 17, 2026

Subject: Al Hadi Association CUP

- Site Plan Review
- Grading and Erosion Control Plan Review
- Utility Plan Review

BACKGROUND

Al Hadi Association has submitted a site plan application named Al Hadi Association – 17732 Junelle Path. The proposed site plan is located east of and adjacent to Junelle Path and south of 175th Street. The parent parcel is the South Half of Lot 25, Argonne Farms and is zoned RS-2 (Single Family Residential).

The site plan proposes construction of one parking lot and building on 3.78 acres.

The proposed development will be completed by:

Developer:	Al Hadi Association
Engineer/Surveyor:	Engineering Design & Surveying

SITE CONDITIONS

The site consists of an existing homestead, barn, garage, shed and gravel parking lot. The site generally drains from the east to the west and is bisected by a highpoint on the east side. Security of \$50,000 will be held for the demolition of the existing homestead, garage, and gravel parking lot and sealing and abandonment of the well.

EASEMENTS

The site shall not disturb or remove access from the existing shared access driveway to 17700 Junelle Path.

STREET AND SUBDIVISION LAYOUT

Junelle Path

Junelle Path is identified as a local street in the City's Transportation Plan. The site proposes utilizing and improving one access from Junelle Path.

Private Parking Lot

Development includes the construction of privately owned and maintained parking lot.

CONSTRUCTION ACCESS

Construction traffic access and egress for grading, utility and street construction will be from Junelle Path.

PARKS, TRAILS AND SIDEWALKS

The City's Parks, Trails and Open Space Plan does not designate a park within this site.

Development does not include the construction of public trails and sidewalks.

UTILITIES

SANITARY SEWER

The site is located within subdistricts OL-54300 of the Orchard Lake sanitary sewer district as identified in the City's Sanitary Sewer Comprehensive Plan.

No alterations to the existing sanitary sewer service are proposed with the site plan.

WATERMAIN

Development includes the extension of privately owned and maintained water service.

DRAINAGE AND GRADING

This site is located within subdistricts OL-045 and OL-045-A2 of the Orchard Lake stormwater district as identified in the City's Water and Natural Resources Management Plan.

Development includes the construction of one stormwater management basin, one underground infiltration basin and one rain garden. Drainage will be directed to the basins to collect and treat the stormwater runoff generated from the site. The basin will outlet to the storm sewer system in Junelle Path. The Developer shall sign a stormwater maintenance

agreement for the stormwater system prior to recording of the site improvement performance agreement. The stormwater system shall provide water quality treatment, volume reduction, and rate control of the stormwater runoff generated from the proposed site improvements. This site shall comply with City Ordinance requirements prior to city approval of the Site Improvement Performance Agreement (SIPA) and construction commencing. A stormwater maintenance agreement (SMA) is required with the site.

This site contains greater than one acre of site disturbance and is considered a part of common development greater than one acre. A National Pollution Discharge Elimination System General Stormwater Permit for construction activity is required from the Minnesota Pollution Control Agency for areas exceeding one acre being disturbed by grading.

STORM SEWER

The site includes the construction of privately owned and maintained storm sewer systems. Storm sewer will be installed to collect and convey stormwater runoff generated from the lot to drain off site.

Draintile construction is required in areas of non-granular soils for the parking lot sub-cuts. Any additional draintile construction, including perimeter draintile required for building footings, which is deemed necessary during construction shall be the developer's responsibility to install and finance.

FEMA FLOODPLAIN ANALYSIS

The site is shown on the Flood Insurance Rate Map (Map No. 27037C0184E; Eff. Date 12/2/2011) as Zone X by the Federal Emergency Management Agency (FEMA). Based on this designation, there are no areas in the site located within a Special Flood Hazard Area (SFHA), as determined by FEMA.

WETLANDS

A wetland delineation was completed for the site. The wetland delineation identified one wetland on the site. Future review of the wetland was completed by the wetland delineator and reviewed by the TEP. The Basin was determined to be incidentally created and was not historically a wetland. It was determined that the wetland met the requirement for a No-Loss.

TREE PRESERVATION

A tree preservation inventory was conducted on the west portion of the site and removals calculated. Trees within the east portion of the site will be retained. Forestry staff must confirm the final tree removal numbers prior to approval of the SIPA and construction commencing.

All trees identified for preservation shall be protected with appropriate tree protection fencing and measures installed prior to, and maintained throughout, construction. Any preserved trees that are damaged or removed during construction will require replacement in accordance with the Tree Preservation Ordinance.

EROSION CONTROL

The Developer is responsible for obtaining an MPCA Construction Permit for the site prior to construction. The permit requires that all erosion and sediment BMPs be clearly outlined in a site’s SWPPP. No grading can take place on the site until an updated SWPPP is submitted and approved by the city. Changes made throughout construction must be documented in the SWPPP.

Additional erosion control measures may be required during construction as deemed necessary by City staff. Any additional measures required shall be installed and maintained by the developer.

The MS4 Administration Fee has not been collected on the parent parcel and is due with the site plan. The developer shall provide construction cost estimates prior to City Council consideration.

\$250,000.00	x 2%	= \$5,000.00
Grading Cost Al Hadi CUP	2026 Rate	MS4 Administration Fee Al Hadi CUP

SECURITIES

The Developer shall provide a Letter of Credit as security for the Developer-installed improvements relating to the site. Construction costs shall be provided by the developers engineer prior to approval of the SIPA and construction commencing.

CONSTRUCTION COSTS

Watermain Connection	\$ 5,000.00
Storm Sewer Connection	5,000.00
Grading, Erosion Control and Restoration	250,000.00
SUBTOTAL - CONSTRUCTION COSTS	\$ 260,000.00

OTHER COSTS

Developer’s Design (3.0%)	\$ 7,800.00
Developer’s Construction Survey (2.5%)	6,500.00
City’s Legal Expense (0.5%)	1,300.00
City Construction Observation (5.0%)	13,000.00
Developer’s Record Drawing (0.5%)	1,300.00
Landscaping	100,000.00
SUBTOTAL - OTHER COSTS	\$ 129,900.00
TOTAL PROJECT SECURITY	\$ 389,900.00

CASH FEES

The Developer shall submit the site plan and construction drawings in an electronic format. The electronic format shall be in .pdf and either .dwg/.dxf or .shx format.

The Developer shall also pay a cash fee for City Engineering Administration. The fee for City Engineering Administration will be based on three percent (3.00%) of the estimated construction cost, or \$7,800.00.

Cash fees shall be collected with the SIPA for the site.

CASH REQUIREMENTS

MS4 Administration Fee	\$5,000.00
City Engineering Administration (3.00%)	7,800.00
TOTAL CASH REQUIREMENTS	\$ 12,800.00

RECOMMENDATION

Engineering recommends approval of the site plan, grading and erosion control plan, and utility plan for Al Hadi Association – 17732 Junelle Path Site Plan, subject to the requirements and stipulations within this report.



Memorandum

FYI

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: June 17, 2026
Subject: Future and Continued Planning Commission Agenda Items
Summary of City Council Actions on Planning Commission Items

The following is a list of possible agenda items to be considered at upcoming Planning Commission meetings:

- Amendments to Title 10 (Subdivision) and Title 11 (Zoning)
- IUP/variance to allow the expansion of a single-family home in the RH-CBD District
- CUP for accessory structure size in the RST-2 District

The following items were approved by the City Council at the June 1, 2026 City Council meeting.

- Valvoline Instant Oil Change conditional use permit

The following items were approved by the City Council at the June 15, 2026 City Council meeting.

- Lot 3, Marketplace at Cedar conditional use permit
- Restoration Covenant Church conditional use permit
- EB First Addition conditional use permit and right-of-way vacation
- Authentix Lakeville Second Addition preliminary plat



3601 Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

MEMORANDUM

TO: Community Development Director Tina Goodroad
Planning Manager Kris Jenson

FROM: D. Daniel Licht

DATE: 17 June 2026

RE: Lakeville – Zoning Ordinance; Annual Review

TPC FILE: 135.01

BACKGROUND

The Community Development Department initiates an annual review of the Zoning Ordinance, Subdivision Ordinance, and/or City Code to address issues identified in the course of ongoing administration of the City’s development regulations and review of development applications. City staff and our office have collaborated to draft proposed amendment language addressing topics identified by City staff for review in 2026. The proposed amendments are attached to this memorandum with deleted text ~~stricken~~ and added text shown as double underlined.

Exhibits:

- Draft ordinance

ANALYSIS

Required Garages. Section 10-4-2.M and Section 10-4-3.S.4.b(2) of the Subdivision Ordinance address lot and street design standards requiring either construction of, or space for, a three-car attached garage on single family lots. In 2025, to proactively address Missing Middle Housing issues, the Zoning Ordinance was amended to remove those requirements. These provisions of the Subdivision Ordinance are likewise proposed to be repealed.

City staff has further identified provisions within Section 11-17-9.F and Section 11-17-23 of the Zoning Ordinance addressing requirements for providing space or construction of three car attached garages. These provisions are either redundant of other sections of the Zoning Ordinance or were not repealed with the Missing Middle Housing changes in 2025. The draft ordinance amendment repeals these sections.

Definitions: The following are proposed amendments of Section 11-2-2 of the Zoning Ordinance related to definitions:

- The City Attorney identified that the current definition of residential care facilities included in the Zoning Ordinance should be revised to align with current statute language.
- The Zoning Ordinance is to be amended to include definitions for data centers and data center campus uses as a basis for establishing allowances and regulations for data centers by zoning district.

Non-Conforming Lots. Section 11-15-9 of the Zoning Ordinance establishes provisions regulating development of non-conforming lots. The current regulations include that abutting non-conforming undeveloped lots of record must be combined or, at a minimum, considered as one lot for zoning purposes. This requirement is mandated for shoreland-regulated properties, but outside of the Shoreland Overlay District it is a local policy choice.

The Zoning Ordinance also establishes provisions by which non-conforming lots may be developed or redeveloped subject to approval of a Conditional Use Permit. From City staff's perspective, if any non-conforming lot of record meets the requirements established by the Zoning Ordinance for development or redevelopment, then the improvements should be allowed notwithstanding ownership of one or more abutting lots.

In reviewing this section of the Zoning Ordinance regarding a proposal for non-conforming platted lots within the Orchard Lake area, City staff also identified a circular reference within the Zoning Ordinance related to minimum lot area for unsewered parcels. Section 11-15-9.C requires that lots without access to public sewer must comply with the minimum lot area requirement established by Section 11-17-19 of the Zoning Ordinance. However, if the lot in question is non-conforming due to lot area for an unsewered lot, the non-conforming lot provisions of the Zoning Ordinance do not provide opportunity for a reasonable use except by variance. To address this circumstance, the provisions of Section 11-15-9.C of the Zoning Ordinance are proposed to include minimum standards for lot area (one acre) and adequate area for installation of a Subsurface Sewage Treatment System in accordance with Minnesota Rules to be deemed to be buildable.

Deck Setbacks. Section 11-17-11 of the Zoning Ordinance outlines application of setback requirements to buildings within a lot. Included in these provisions are allowed encroachments into principal building setbacks for open decks. The extent of the allowed encroachment is based upon whether the deck is up to a height of 30 inches above grade or if it is higher when attached at the first level of a home having a lookout or walkout basement. As currently adopted, any deck greater than 30 inches above grade is subject to the same setbacks as the principal building with the intent of not having an elevated deck overlook adjacent properties to maintain privacy. However, the smaller lot area and depth of the RS-4 and RST-2 Districts makes compliance with the same setback requirement not practical. The deck setback requirement is also in conflict with the need for decking around above-ground pools. City staff recommends allowing the rear yard setback of a deck more than 30 inches above grade to be 10 feet to allow greater flexibility and options for homeowners to determine the size and location of a deck within their properties.

Accessory Buildings. The City has been processing numerous requests for conditional use permits to allow construction of accessory buildings for single family properties greater than the limits established by Section 11-18-9.D of the Zoning Ordinance. Almost all these requests are being approved by the Planning Commission and City Council suggesting it would be appropriate to amend the Zoning Ordinance to allow greater accessory building area than currently established. City staff has discussed this idea, but not yet prepared language for consideration by the Planning Commission. Potential amendments being considered to allow greater area for single family accessory buildings include:

- Separating the limits for attached and detached accessory spaces.
- Allowing greater accessory building area for properties outside of the MUSA or for unplatted properties within the MUSA.
- Basing allowed accessory building area for properties within the A-P, RA, RS-1, and RS-2 Districts as a percentage of lot area.
- Increasing the allowed area for the RS-3, RS-4, RS-CBD, RST-1, and RST-2 Districts.

Off-Street Parking. Proposed amendments of Chapter 19 of the Zoning Ordinance establishing requirements for off-street parking include:

- Repeal of Section 11-16-5 of the Zoning Ordinance that duplicates an existing provision in Chapter 19 regarding required access to a public street.
- Revised language clarifying the number of off-street parking spaces required for motor fuel facilities by Section 11-19-13.A of the Zoning Ordinance.
- Section 11-19-13.A includes an off-street parking space requirement for auto repair uses established after 17 March 2003, but no standard for uses in place prior to that date. The existing language reflects an amendment in 2003 whereby non-retail uses in commercial districts were required to provide parking necessary for a retail use in anticipation of future changes in occupancy. The proposed draft ordinance reestablishes the off-street parking space requirement for uses existing prior to March 17, 2003, so that the use is not non-conforming solely due to the updated parking standard.
- The City in 2025 adopted a provision requiring a Conditional Use Permit for any proposed commercial off-street parking area that had more than 125 percent of the number of parking spaces required by the Zoning Ordinance. The intent of the requirement was to encourage appropriately sized off-street parking areas to maximize the use of property, minimize initial investment and maintenance costs, and reduce impervious surfaces. City staff has found the limit on maximum number of off-street parking spaces to be impractical to administer on a case-by-case basis to the extent that it can hinder economic development efforts. City staff recommends that the requirement establishing a maximum number of off-street parking spaces be repealed.

Residential Buffer Yards. The Zoning Ordinance has been amended to establish minimum lot requirements for single family dwellings within the RST-2 District based on the standards of the RS-4 District and made even smaller for detached townhouse dwellings. Section 11-21-9.E of the Zoning

Ordinance establishes lot width and lot depth requirements increased over the base district requirements for lots abutting major collector or arterial streets to allow for planting a residential buffer yard. The buffer yard lot width standards for RST-2 Districts remain based on the former RS-3 District minimums and are proposed to be reduced to maintain the same minimum building pad width as an interior lot in consideration of the required buffer yard setbacks.

Signs. Proposed amendments of Chapter 23 of the Zoning Ordinance regulating signs include:

- Clarification that the maximum area of any individual wall sign within a multiple occupancy commercial or industrial building established by Section 11-23-15.R of the Zoning Ordinance is limited to the maximum area of an individual sign for a single occupancy building allowed in the same zoning district.
- Changes to 11-23-15.X of the Zoning Ordinance address timing of approval for installation of permanent subdivision identification signs and the duration that temporary signs are allowed for new development sites.
- City staff recommends repealing the minimum lot area requirement for religious facilities to have dynamic display signs. The remaining regulations requiring an operation license, that the sign be in a yard abutting a major collector or arterial street, and that the sign be set back a minimum of 50 feet from any residential zoning district is sufficient to maintain land use compatibility with surrounding properties.
- The I-3, Special Industrial District designated for Airlake Airport is included within provisions regulating signs for the O-P, I-CBD, I-1, and I-2 Districts.
- Sign standards included for convenience food uses within the M-2 District adopted in Section 11-66-7 of the Zoning Ordinance are to be repealed to reference only the standards in Chapter 23 of the Zoning Ordinance.

Chickens. The City Council discussed regulations for keeping chickens on residential properties at a work session. Based on these discussions, City staff is proposing the following changes to Section 11-35-3.C of the Zoning Ordinance:

- The number of allowed chickens is to be increased from three to six birds.
- Allowed exterior finish materials for the required coop are to be expanded to include painted metal or weather resistant composite materials, in addition to wood.
- Sale of eggs produced by chickens kept upon a property will be allowed subject to use of temporary, unenclosed display areas and signs.

Motor Fuel Facilities. City staff is recommending the Planning Commission consider making allowance for motor vehicle fuel sales and including those uses with convenience grocery and/or prepared food (but not including truck stops) within the I-1 District. With the increase in industrial development along the CSAH 70 corridor, there is increased demand for vehicle fuel, both for employee and business vehicles, as well as convenience shopping opportunities. The addition of motor fuel facilities is considered by City staff to be an opportunity to expand retail and service businesses in the area that will

be complementary to existing and planned industrial development. Allowance of motor fuel facilities within the I-1 District is to be subject to the same performance standards as apply within the M-1, C-2, C-3, and C-CBD Districts ensuring high standards of development, functional site plans, and adequate consideration of potential negative impacts or compatibility issues through a Conditional Use Permit process. In addition, a condition requires the site to have direct frontage to a principle arterial roadway.

Secondary Dwelling Units. The Zoning Ordinance makes allowance for multigenerational housing within single family dwellings through an administrative permit within the RS-1, RS-2, RS-3, and RS-4 Districts. To increase the opportunity for property owners to have a secondary dwelling area within their homes, City staff recommends removing the requirement that there be a three-car attached garage with direct access to each stall. The Zoning Ordinance continues to require a minimum number of off-street parking spaces and the City Code addresses limits on on-street parking. Removal of the requirement for a three-car garage will allow the property owner to manage their own parking needs, which in the case of multigenerational housing, may not include having additional drivers within the household. City staff also recommends amending the Zoning Ordinance to allow secondary dwelling units as an allowed use by Administrative Permit within the RS-CBD District as this type of housing is commonly found in older, more traditional city neighborhoods characteristic of Downtown Lakeville.

Private Drive Setbacks. Within the RM and RH Districts, townhouse and multiple family buildings are required to be set back a minimum of 30 feet from the back-of-curb of private drives. To be able to achieve the minimum density required by the Comprehensive Plan, it is necessary to consider reducing the setback between the building and private drive to 20 feet. However, City staff recommends maintaining a minimum 30 foot setback between the back-of-curb of a private drive to a garage face to allow parking on the apron in front of the garage.

RH District Townhouses. Within the RH Districts, townhouses are allowed to be up to six units in a row or twelve units back-to-back. However, as written, the permitted use language does not include the “up to” clause and is to be amended for clarification so as not to require townhouse buildings to be only built six in a row or 12 unit back-to-back.

RH-CBD District. There are single family properties within Downtown Lakeville zoned as RH-CBD District to allow for redevelopment based on the recommendations of the Downtown Development Guide and land uses guided by the 2040 Land Use Plan. As the RH-CBD District does not allow for single family dwellings, the uses are non-conforming. The non-conforming status of the use limits the current property owners’ ability to make desired improvements that would otherwise comply with the Zoning Ordinance standards for single family dwellings in Downtown Lakeville. To remove the non-conforming status, City staff recommends making single family dwellings established before 17 June 2000, when the RH-CBD District was adopted, interim uses within the RH-CBD District. The conditions on the interim use are that the requirements of the RS-CBD District apply to the lot. The interim use permit is terminated upon redevelopment of the single family property to another permitted or conditional use of the RH-CBD District.

M-2 District Convenience Food. Convenience food uses are allowed in the M-2 District with approval of a conditional use permit. City staff recommends amending the standards applicable to a convenience food use within the M-2 District to establish minimum design standards for a drive through facility, including minimum stacking space and to adopt regulations for menu signs the same as provided for within the C-2, C-3 and M-1 Districts.

O-R District Retail Uses. The O-R District allows for retail sales as a conditional use up to 15 percent of the gross floor area of a building. City staff recommends that the Zoning Ordinance be amended to allow retail sales up to 15 percent of a building's floor area by approval of an Administrative Permit to facilitate the review and approval process for property owners and businesses.

Data Centers. Considerable attention is being given to development of data centers as the demand for these facilities has increased with expansion of internet-based services that has resulted in both more and larger facilities.

- The Zoning Ordinance currently allows data centers as a permitted use within the O-P, I-1, and I-2 Districts.

The O-P District is no longer considered by City staff to be an appropriate zoning district for data center uses based on it being designated generally adjacent to existing residential neighborhoods and the lot characteristics that are too small for these contemporary facilities.

Due to potential impacts of data centers, including but not limited to noise, exterior lighting, water use, and electric utilities, City staff further recommends that continued allowance of data centers within the City be as a conditional use to allow the City a thorough review process for any specific development. To this end, data centers are to be defined as single building facilities and allowed in both the I-1 and I-2 Districts. Data center campuses, defined as multiple building facilities, would only be allowed in the I-1 District.

- Allowance of data centers and data center campuses is to be subject to performance standards to address potential negative impacts of the facilities:
 - Data centers and data center campuses would be required to be set back a minimum of 500 feet from CSAH 70, any existing residential use, or any residential zoning district. The setback requirement would also apply from the jurisdictional boundary of the City to avoid any spillover of off-site impacts into adjacent jurisdictions where the City does not control the allowed land use. The intent of the setback requirements further concentrates the location of potential data centers and data center campuses in areas surrounded by other existing or planned industrial uses based on the current 2040 Land Use Plan map.
 - Impacts to electric utilities from a data center or data center campus are largely regulated beyond the City's jurisdiction. However, an application for development of a data center or data center campus would require an energy consumption plan to be submitted to identify electric service needs as represented by the utility provider and any improvements associated with the proposed use. The need for additional transmission lines to provide service to a proposed facility would also be required to be identified so that the potential impacts of that infrastructure can be evaluated concurrent with the data center or data center campus proposal. Finally, all electric utility improvements required to serve the proposed data center or data center campus are to be paid for by the developer.
 - Water use for cooling systems is a primary concern for allowance of data centers and data center campuses. An application for approval of a data center or data center campus would include a requirement for a water consumption plan to outline water

use requirements for the proposed use and impacts to municipal water supplies and groundwater or surface water resources applicable to Department of Natural Resources review. The standards specify that cooling systems must be a closed-loop system to minimize water use or air-cooling systems must be employed.

- The cooling systems utilized by data centers and data center campuses create concern regarding potential noise impacts, not only from the sound level but also because the noise is constant. An application to develop a data center or data center campus would require a noise study be submitted that details existing noise levels, outlines noise mitigation to be employed by the facility, and estimates post-development noise levels, which are required to comply with applicable Minnesota Pollution Control Agency standards. A post-development sound study is also to be required to demonstrate the accuracy of the initial study estimates and effectiveness of the noise mitigation once the facility is operational. The setback requirement stated above is also a means of mitigation to ensure separation from uses that may be impacted by noise generated by a data center or data center campus.
- Data centers and data center campuses may have equipment or facilities that are not fully enclosed within a building. The draft performance standards include a requirement that any equipment or facility not enclosed within a building must be screened using berms, landscaping, fences/walls, or a combination thereof. The required screening is to be to a minimum height of 14 feet and must fully screen the equipment or facilities from adjacent public rights-of-way and from the windows of abutting residential dwellings. Again, the setback requirement established as a performance standard is also intended to be a means of screening a data center or data center campus from view of major roadways and residential uses.
- The Zoning Ordinance establishes limits for exterior lighting in Section 11-16-17 of the Zoning Ordinance. These standards are increased for data centers and data center campuses to limit the amount of blue light allowed, decrease the maximum intensity of light cast at property lines, and require that exterior lighting be reduced in intensity by 50 percent during overnight hours.

Shoreland Overlay District. The following amendments are proposed within Chapter 102 of the Zoning Ordinance regulating lands within the Shoreland Overlay District:

- The City annexed land for Airlake Airport that includes a tributary waterway. The table in Section 11-102-9.B.2 of the Zoning Ordinance designating public waters that are subject to regulation under the Shoreland Overlay District must be updated to include this segment of the tributary.
- The City deals regularly with requests to expand existing homes that were constructed prior to establishment of the Shoreland Overlay District. The Department of Natural Resources' model ordinance for shoreland regulations includes a provision allowing for construction of an open deck onto an existing dwelling not meeting the minimum setback requirement from the Ordinary High Water Level. City staff recommends including these provisions in the Zoning Ordinance, which would allow certain improvements consistent with shoreland standards without application for a variance.

CONCLUSION

City staff will review the proposed amendments presented in this memorandum with the Planning Commission at a work session on 24 June 2026. City staff is requesting questions and comments regarding the proposed amendments of the Subdivision Ordinance and Zoning Ordinance. Following the work session, City staff will proceed to prepare final ordinance language and to notice a public hearing for a future date to allow formal consideration of the Subdivision Ordinance and Zoning Ordinance amendments by the Planning Commission.

ORDINANCE NO. _____

CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA

AN ORDINANCE AMENDING THE SUBDIVISION ORDINANCE AND ZONING ORDINANCE
OF THE LAKEVILLE CITY CODE

THE CITY COUNCIL OF THE CITY OF LAKEVILLE ORDAINS:

Section 1. Section 10-4-2.M of the Subdivision Ordinance (Design Standards – Lots) is hereby repealed and subsequent sections renumbered accordingly.

~~M. — Lots Platted After February 16, 1999: All single family residential lots in the RS 1, RS 2, and RS 3 districts platted after February 16, 1999, shall be designed in consideration of potentials for buildings accommodating three (3) car garages, porches and decks, etc. Said buildings and structures are to be compatible in size and character with the surrounding area.~~

Section 2. Section 10-4-3.S.4.b(2) of the Subdivision Ordinance (Design Standards – Streets and Alleys) is hereby repealed and subsequent sections renumbered accordingly.

~~(2) — All houses shall have an attached accessory garage of three (3) stalls with corresponding front driveway parking apron. The curb cut opening on the street shall, however, meet established standards.~~

Section 3. Section 10-4-4.A of the Subdivision Ordinance (Design Standards – Easements) is hereby amended to read as follows:

A. Width And Location: An easement for drainage and utilities at least ten feet (10') wide along front and rear lot lines and five feet (5') wide along all abutting side lot lines shall be provided. An easement for drainage and utilities not less than ten feet (10') wide shall be provided adjacent to all plat boundaries when no easement exists on the abutting parcels. If necessary for the extension of main water or sewer lines or similar utilities, easements of greater width may be required along lot lines or across lots.

Section 4. Section 11-2-3 of the Zoning Ordinance (Rules and Definitions – Definitions) is hereby amended to revise the following existing definition:

~~RESIDENTIAL FACILITY, STATE LICENSED: Any residential care program, defined by Minnesota Statutes section 245A.02 and~~ A state licensed residential facility, including an assisted living facility under chapter 144G, licensed by the State of Minnesota.

Section 5. Section 11-2-3 of the Zoning Ordinance (Rules and Definitions – Definitions) is hereby amended to add the following definitions alphabetically:

Data center: A facility within a single building used primarily for the storage, management, processing, and transmission of digital data, which houses computer or network equipment, systems, services, appliances, and other associated components related to digital data storage and operations, together with its accessory and appurtenant facilities, which may also include offices, air handlers, back-up power generators, water

cooling systems and water storage facilities, utility substations, and other associated infrastructure necessary to support sustained operations at a data center.

Data center campus: A facility comprised of more than one data center building, but otherwise interconnected by power supply, communication systems, power generation or other operational systems to form a unified data center facility. This definition may include the terms “technology campus”, “cloud computing campus” or similar phrases and terms.

Section 6. Section 11-2-3 of the Zoning Ordinance (Rules and Definitions – Definitions) is hereby amended to repeal the following definition:

~~RESIDENTIAL CARE FACILITY: Any residential care program, defined by Minnesota Statutes section 245A.02 and licensed by the State of Minnesota.~~

Section 7. Section 11-15-9.B of the Zoning Ordinance (Non-conforming Buildings, Structures and Uses – Non-Conforming Lots) is hereby amended to read as follows:

B. Required Merger Of Common Ownership Lots: ~~Except as provided for in section 11-102-15 of this title or as may otherwise be allowed pursuant to this chapter,~~

1. If in a group of two (2) or more contiguous lots or parcels of land owned or controlled by the same person, any individual lot or parcel is nonconforming as to lot width, lot area, or lot frontage ~~such individual~~ the non-conforming lot(s) or parcel(s) shall not be sold or developed as a separate ~~parcel of land~~ lot of record, except as provided for by sections 11-15-9.B.2 or 11-16-9.C of this section, but shall be combined with adjacent lots or parcels under the same ownership or control so that the combination of lots or parcels will equal one (1) or more zoning lots each meeting the full lot requirements of this title or lessening the nonconformity.

~~1a.~~ 1a. The designation of a zoning lot pursuant to this section shall be approved by the Zoning Administrator if the zoning lot complies with the lot requirements of the district in which it is located and will have a single tax identification number.

~~2b.~~ 2b. Interior lot lines within a designated zoning lot shall be disregarded in applying setbacks and other zoning ordinance standards.

~~3e.~~ 3e. The subdivision of a designated zoning lot shall be in accordance with title 10 of this Code.

~~2.~~ 2. A lot or parcel within the Shoreland Overlay District shall be regulated by section 11-103.15 of this title.

Section 8. Section 11-15-9.C.3.b of the Zoning Ordinance (Non-conforming Buildings, Structures and Uses – Non-Conforming Lots) is hereby amended to read as follows:

b. Unsewered Lots: A legal nonconforming lot or parcel not having access to Municipal sewer shall be considered buildable provided ~~it complies with section 11-17-19 of this title.~~ that:

(1) The lot or parcel is a minimum of one (1) acre in area.

(2) The lot or parcel is of sufficient area and dimensions that all structures and buildings comply with applicable setback requirements.

(3) There is an ability to provide for a subsurface sewerage treatment system within the lot or parcel in accordance with Minnesota Rules.

Section 9. Section 11-16-5.H of the Zoning Ordinance (General Performance Standards – Platted and Unplatted Property) is hereby repealed in its entirety:

~~H. Except as may be allowed by conditional use permit and property subdivision, each lot shall have frontage and access directly onto an abutting, improved and city accepted public street.~~

Section 10. Section 11-17-11.A.2 of the Zoning Ordinance (General Yard, Lot Area and Building Regulations – Yards) is hereby amended to read as follows:

2. Terraces, steps, decks, stoops or similar structures:

a. For lots of record or preliminary platted lots established prior to March 17, 2003: ~~Except as may be limited within environmental protection districts, t~~Terraces, steps, decks, stoops or similar structures constructed to the height of the ground floor of the principal structure may extend up to five feet (5') of a side yard lot line or ten feet (10') of a rear yard lot line, but not more than five feet (5') into a required front yard or side yard adjacent to a public right-of-way.

b. For lots of record or preliminary platted lots established after March 17, 2003: ~~Except as may be limited within environmental protection districts,~~

(1) the required side yard and rear yard setbacks for terraces, steps, decks, and stoops that are thirty inches (30") or less above grade shall be:

(+A) Side yard: Five feet (5') but not encroaching more than five feet (5') into the required side yard adjacent to a public right- of-way.

(2B) Rear yard: Ten feet (10').

~~e.(2) Except as may be limited within environmental protection districts, t~~The required rear yard setbacks for steps, decks, and stoops that are more than thirty inches (30") above grade shall be: ~~twenty feet (20').~~

(A) Side yard: Equal to the side yard setback applicable to the principal building.

(B) Rear yard: Ten feet (10')

c. The building and structure setback requirements of the environmental protection district shall apply.

Section 11. Section 11-17-19.A of the Zoning Ordinance (General Yard, Lot Area and Building Regulations – Minimum Lot Area, Unsewered Lots) is hereby amended to read as follows:

A. Single-Family Dwellings:

~~1. Except as herein provided, t~~The minimum single-family lot size is shall be ten (10) acres.

~~2. The minimum lot size of ten (10) acres shall not apply to smaller separate parcels of record in separate ownership existing prior to January 1, 1984, provided that they comply with minimum standards for the district in which they are located or chapter 15 of this title and that it can be demonstrated by means satisfactory to the City that the smaller parcels will not result in groundwater, soil or other contamination which may endanger the public health.~~

Section 12. Section 11-17-23.F of the Zoning Ordinance (General Yard, Lot Area and Building Regulations – Single Family Dwelling) is hereby amended read as follows:

F. Site Plan:

1. ~~For lots of record and preliminary platted lots having legal standing established on January 1, 1994, a~~ All site plans for single-family homes shall provide for the location of a two (2) stall garage, whether or not construction is intended.
2. For lots of record established after January 1, 1994, ~~all site plans for single family homes must provide for the location of a three (3) stall attached garage, whether or not construction is intended~~ each single family dwelling shall include an attached garage meeting the requirements of section 11-18-7.D of this title.

Section 13. Section 11-19-13.A of the Zoning Ordinance (Off-Street Parking Requirements – Number of Spaces Required) is hereby amended to revise the following rows:

Motor fuel stations and auto repair facilities	<u>42 spaces, in addition to spaces at fuel islands, plus 2 spaces for each service stall plus other requirements for retail sales, convenience food, auto repair, or uses not directly auto related to the dispensing of fuel.</u>
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Section 14. Section 11-19-13.A of the Zoning Ordinance (Off-Street Parking Requirements – Number of Spaces Required) is hereby amended to revise the add the following row alphabetically:

Commercial	
<u>Auto repair uses established on or before March 17, 2003</u>	REVIEW FILE FOR PRIOR STANDARD

Section 15. Section 11-19-13.J of the Zoning Ordinance (Off-Street Parking Requirements – Number of Spaces Required) is hereby repealed:

~~J. Maximum Number Of Spaces. Construction of more than one hundred twenty five percent (125%) of the number of spaces required by section 11-19-13.A of this section for a specific use shall require approval of a conditional use permit based on a parking demand study prepared by a qualified professional.~~

Section 16. Section 11-21-9.B.2 of the Zoning Ordinance (Fencing/Screening/Landscaping – Required Screening and Landscaping) is hereby amended to read as follows:

2. Detached townhouses, two family, and ~~townhouse and multiple family~~ uses shall comply with the landscape requirements of the RST-~~1~~2, RM-1, RM-2, and RM-3, RH 1, RH 2, M-1, and M-2 Districts.

Section 17. Section 11-21-9.E.1.b of the Zoning Ordinance (Fencing/Screening/Landscaping – Required Screening and Landscaping) is hereby amended to read as follows:

- b. For corner lots where the side yard abuts the major collector or arterial street, following standards shall apply:

	RS-1	RS-2	RS-3	RS-4	RST-1	RST-2
Lot width	130'	130'	110'	95'	95'	95' <u>80'</u>

Section 18. Section 11-23-15.R.3.a(4) of the Zoning Ordinance (Signs – General Regulations) is hereby amended to read as follows:

- (4) ~~Each sign and the total area of all wall signs on a single elevation for an individual tenant shall be limited to the maximum wall sign size permitted area that is allowed for individual signs~~ in the applicable zoning district provisions in section 11-23-19 of this chapter.

Section 19. Section 11-23-15.X.1 of the Zoning Ordinance (Signs – General Regulations) is hereby amended to read as follows:

- 1. Permanent Signs: For a subdivision having not less than three (3) lots or principal buildings, one (1) sign shall be allowed upon recording of a final plat at each corner of an intersection within the plat or abutting a lot or outlot within the plat with a collector or arterial street defined by the Lakeville transportation plan, provided that:
 - a. The area of the face of each sign shall not exceed one hundred (100) square feet.
 - b. Freestanding signs shall be limited to a maximum height of:
 - (1) Ten feet (10') for residential uses.
 - (2) Twenty feet (20') for commercial, industrial, and institutional uses.

Section 20. Section 11-23-15.X.2.c of the Zoning Ordinance (Signs – General Regulations) is hereby amended to read as follows:

- c. Unless extended by the Zoning Administrator, the temporary signs and flags allowed by this section shall only be displayed for a period not to exceed:
 - (1) Single family, two family, detached townhouse, and townhouse uses:
~~Three~~ (3) years from the date a permit is issued for the sign or flag or until building permits have been issued for one hundred percent (100%) of the lots within a final plat or subsequent phases of the same preliminary plat of a subdivision.
 - (2) Multiple family, commercial, industrial, or institutional uses:
 - (A) Subdivisions: Three (3) years from the date a permit is issued for the sign or flag or until building permits have been issued for one hundred percent (100%) of the lots within a final plat or subsequent phases of the same preliminary plat of a subdivision.

(B) Individual Lots: Not more than ninety (90) days after issuance of a Certificate of Occupancy, after which the provisions of section 11-23-7.F shall govern.

Section 21. Section 11-23-19.B.1.a(4)(B) of the Zoning Ordinance (Signs – District Regulations) is hereby amended to read as follows:

- (B) One (1) dynamic display sign may be allowed for ~~lots each lot that are a minimum of five (5) acres in area or greater~~ provided that:
- (i) Operation: The operation of the dynamic display sign shall require issuance of a license pursuant to section 3-22-3 of this Code.
 - (ii) The sign shall be displayed only in a yard abutting a major collector or arterial street as defined by the Comprehensive Plan.
 - (iii) The sign shall be set back a minimum of fifty feet (50') from any side or rear lot line abutting a residential district.

Section 22. Section 11-23-19.E of the Zoning Ordinance (Signs – District Regulations) is hereby amended to read as follows:

E. Within the O-P, I-CBD, I-1, I-2, and I-23 Districts, but not those properties within the freeway corridor district regulated by section 11-23-19.F of this section, the following additional regulations shall apply:

1. Freestanding Signs:

- a. Number Allowed: One (1) sign is allowed upon each lot.
- b. Area: The area of each sign shall not exceed one hundred (100) square feet for each sign face.
- c. Height: The sign shall be a maximum height not to exceed ten feet (10').

2. Wall Signs:

a. Area:

- (1) For principal buildings with a gross floor area less than forty-five thousand (45,000) square feet.
 - (A) The total area of all wall signs shall not exceed one hundred (100) square feet.
 - (B) The maximum area of any one (1) individual wall sign shall not exceed one hundred (100) square feet.

- (2) For principal buildings with a gross floor area of forty-five thousand (45,000) square feet and less than two hundred fifty thousand (250,000) square feet:
 - (A) The total area of all wall signs shall not exceed four hundred (400) square feet.
 - (B) The maximum area of any one (1) individual wall sign shall not exceed two hundred (200) square feet.
- (3) For principal buildings with a gross floor area of two hundred fifty thousand (250,000) square feet or greater:
 - (A) The total area of all wall signs shall not exceed eight hundred (800) square feet.
 - (B) The maximum area of any one (1) individual wall sign shall not exceed for hundred (400) square feet.
- b. Number. There is no limit as to the number of wall signs except as governed by the total area of all wall signs allowed by section 11-23-19.E.2.a of this section.
- c. Elevations. Wall signs may be located on any elevation of the principal structure except that facing a side or rear lot line abutting a residential district.

Section 23. Section 11-35-3.C.2.b(1) of the Zoning Ordinance Animals – Keeping Animals) is amended to read as follows:

- (1) The maximum number of chickens allowed to be kept on a property shall be ~~three (3)~~ six (6) chickens.

Section 24. Section 11-35-3.C.2.c(2) of the Zoning Ordinance Animals – Keeping Animals) is amended to read as follows:

- (2) Coop Exterior: The exterior finish of the coop shall be wood, provided that the surfaces are painted or stained for exterior use or the wood is of proven durability for exterior use, such as cedar, redwood, or cypress; painted metal; or composite weather resistant material.

Section 25. Section 11-35-3.C of the Zoning Ordinance Animals – Keeping Animals) is amended to include the following provisions:

- 3. Sales of eggs produced solely upon the property shall be allowed provided that:
 - a. Only occupants of the property are engaged in the sales operation.
 - b. Only temporary, unenclosed display facilities are allowed.
 - c. Signs:
 - 1. One (1) sign not to exceed four (4) square feet shall be allowed to be displayed upon the property with the sales operation.

2. Signs shall only be displayed at times when the sales operation is closed.

Section 26. Section 11-37-3.A of the Zoning Ordinance (Motor Vehicle Fuel Facilities – Motor Vehicle Fuel Sales, Not Including Truck Stops or Automobile Repair) is hereby amended to read as follows:

- A. District Application: Motor vehicle fuel sales shall be allowed in a M-1, ~~C-1~~, C-2, ~~and C-3~~, and I-1 district as a conditional use. The standards and requirements for motor fuel sales shall be in addition to those which are imposed for other uses and activities occurring on the property.

Section 27. Section 11-37-3.D of the Zoning Ordinance (Motor Vehicle Fuel Facilities – Motor Vehicle Fuel Sales, Not Including Truck Stops or Automobile Repair) is hereby amended to read as follows:

- D. Hours: Hours of operation shall be limited within the respective zoning districts as follows, unless extended by the city council as part of the conditional use permit.
1. M-1 district: No limit except as may be required by the city council.
 - ~~2. C-1 district: Five o'clock (5:00) A.M. to eleven o'clock (11:00) P.M.~~
 - ~~3.~~ C-2 district: No limit except as may be required by the city council.
 - ~~4.~~ C-3 district: No limit except as may be required by the city council.
 4. I-1 district: No limit except as may be required by the city council.

Section 28. Section 11-37-5.A of the Zoning Ordinance (Motor Vehicle Fuel Facilities – Motor Vehicle Fuel Sales, Including Convenience Grocery And/Or Prepared Food, Not Including Truck Stops or Automobile Repair) hereby is amended to read as follows:

- A. Conditional Use: Motor vehicle fuel sales including convenience grocery and/or prepared food shall be allowed in the M-1, ~~C-1~~, C-2, C-3, ~~and C-CBD~~, and I-1 Districts subject to approval of a conditional use permit.

Section 29. Section 11-37-5.D.1 of the Zoning Ordinance (Motor Vehicle Fuel Facilities – Motor Vehicle Fuel Sales, Including Convenience Grocery And/Or Prepared Food, Not Including Truck Stops or Automobile Repair) hereby is amended to read as follows:

1. Food is to be prepackaged and warmed only and no drive-through window is provided; convenience food may be allowed as a secondary use with approval of a conditional use permit as provided for within the respective zoning district. ~~Furthermore, that the enclosed area devoted to such activity, use and merchandise shall not exceed fifteen percent (15%) of the gross floor area.~~

Section 30. Section 11-50-11.F.6 of the Zoning Ordinance (RS-1 District – Uses by Administrative Permit) is hereby repealed:

- ~~6. There shall be a minimum of three (3) garage having direct exterior access (not in a tandem arrangement) attached to the principal building with a driveway access in front of each stall so as to allow direct vehicle maneuvering to each of the stalls.~~

Section 31. Section 11-51-11.F.6 of the Zoning Ordinance (RS-2 District – Uses by Administrative Permit) is hereby repealed:

- ~~6. There shall be a minimum of three (3) garage having direct exterior access (not in a tandem arrangement) attached to the principal building with a driveway access in front of each stall so as to allow direct vehicle maneuvering to each of the stalls.~~

Section 32. Section 11-52-11.F.6 of the Zoning Ordinance (RS-3 District – Uses by Administrative Permit) is hereby repealed:

- ~~6. There shall be a minimum of three (3) garage having direct exterior access (not in a tandem arrangement) attached to the principal building with a driveway access in front of each stall so as to allow direct vehicle maneuvering to each of the stalls.~~

Section 33. Section 11-53-11.F.6 of the Zoning Ordinance (RS-4 District – Uses by Administrative Permit) hereby repealed:

- ~~6. There shall be a minimum of three (3) garage having direct exterior access (not in a tandem arrangement) attached to the principal building with a driveway access in front of each stall so as to allow direct vehicle maneuvering to each of the stalls.~~

Section 34. Section 11-53-11. of the Zoning Ordinance (RS-CBD District – Uses by Administrative Permit) hereby amended to include the following provisions:

G. Separate living quarters that include kitchen facilities for housing multiple generations as an accessory use within a single-family dwelling provided that:

1. The design and construction of the principal building is not a two-family dwelling as defined by this title and shall comply with the following:
 - a. The area of the accessory dwelling unit shall be limited to not more than thirty (30) percent of the gross floor area of the principal building (not including attached accessory floor area).
 - b. There shall be no more than two (2) bedrooms as defined by the building code within the accessory dwelling unit.
2. There shall be an interior connection between the main living area and accessory living quarters that is able to be unlocked from each side of the connection and that is not secured by a deadbolt or keyed lockset.
3. The principal building shall be served by single municipal water, sanitary sewer, gas and/or electric utility service lines each with a single meter for the respective utility where applicable.
4. The principal building shall have one heating and air conditioning system.
5. The property shall have one postal address.

Section 35. Section 11-58-17.E of the Zoning Ordinance (RM-1 District – Lot Requirements and Setbacks) is amended to read as follows:

- E. Private Drive Setbacks. Buildings shall be set back a minimum of twenty feet (20') to the principal building and thirty feet (30') to the garage face from the back of curb line of private drives.

Section 36. Section 11-59-17.E of the Zoning Ordinance (RM-2 District – Lot Requirements and Setbacks) is hereby amended to read as follows:

- E. Private Drive Setbacks. Buildings shall be set back a minimum of twenty feet (20') to the principal building and thirty feet (30') to the garage face from the back of curb line of private drives.

Section 37. Section 11-60-17.E of the Zoning Ordinance (RM-3 District – Lot Requirements and Setbacks) is hereby amended to read as follows:

- E. Private Drive Setbacks. Buildings shall be set back a minimum of twenty feet (20') to the principal building and thirty feet (30') to the garage face from the back of curb line of private drives.

Section 38. Section 11-61-15.F of the Zoning Ordinance (RH-1 District – Lot Requirements and Setbacks) is hereby amended to read as follows:

- F. Private Drive Setbacks. Buildings shall be set back a minimum of fifteen feet (15') to the principal building and thirty feet (30') to the garage face from the back of curb line of private drives and off-street parking areas.

Section 39. Section 11-61-3.F of the Zoning Ordinance (RH-1 District – Permitted Uses) is hereby amended to read as follows:

- F. ~~Townhouses, six (6) units in a row or twelve (12) units back to back~~ Townhomes with no more than six (6) dwelling units per structure if in a row or no more than twelve (12) dwelling units if back to back.

Section 40. Section 11-62-3.F of the Zoning Ordinance (RH-2 District – Permitted Uses) is hereby amended to read as follows:

- F. ~~Townhouses, six (6) units in a row or twelve (12) units back to back~~ Townhomes with no more than six (6) dwelling units per structure if in a row or no more than twelve (12) dwelling units if back to back.

Section 41. Section 11-62-11 of the Zoning Ordinance (RH-2 District – Interim Uses) is hereby amended to include the following provisions with subsequent sections renumbered accordingly:

C. Single-family dwellings existing as of July 17, 2000, provided that:

1. The use shall be subject to the requirements applicable to single-family uses within the RS-CBD district.
2. The interim use shall terminate upon subdivision or redevelopment of the property for a use allowed within the RH-CBD district or as provided for by section [11-5-7](#) of this title.

Section 42. Section 11-62-15.F of the Zoning Ordinance (RH-2 District – Lot Requirements and Setbacks) is hereby amended to read as follows:

- F. Private Drive Setbacks. Buildings shall be set back a minimum of fifteen feet (15') to the principal building and thirty feet (30') to the garage face from the back of curb line of private drives and off-street parking areas.

Section 43. Section 11-66-7.F of the Zoning Ordinance (M-2 District – Conditional Uses) is hereby amended to include the following provisions with subsequent sections renumbered accordingly:

7. Drive-Through Windows: Service windows shall be allowed if the following additional criteria are satisfied:

a. Not less than one hundred eighty feet (180') of segregated automobile stacking lane must be provided for the service window.

b. No part of the public street or boulevard may be used for stacking of automobiles.

Section 44. Section 11-66-7.E.8 of the Zoning Ordinance (M-2 District – Conditional Uses) is hereby amended to read as follows:

8. Signs: All signs and informational or visual communication devices shall be minimized and shall be in compliance with chapter 23 of this title, and the following provisions:

~~a. Comprehensive Sign Plan: A Comprehensive Sign Plan must be submitted as part of a conditional use permit application.~~

~~b. Freestanding Sign: A freestanding sign allowed by chapter 23 of this title shall be a monument sign constructed as follows:~~

~~(1) The sign shall be self supported vertically by a solid base extending horizontally for a minimum of the entire width of the sign face. Total height of the monument sign including the base shall not exceed fifteen feet (15').~~

~~(2) The sign base and supporting material shall be equal to at least forty percent (40%) of the total allowable sign square footage, and shall not be counted toward the sign area. The base shall be attached to the ground for its entire horizontal width of the sign. The base shall be stone, brick, or decorative masonry and shall not contain any sign copy.~~

e1. Menu Signs: In addition to the freestanding sign allowed by chapter 23 of this title, eConvenience food uses may display menu signs related to drive-through facilities when approved subject to section 11-66-7G of this title, provided that:

(1) Not more than two (2) menu signs per drive-through lane are allowed.

(2) The menu sign(s) shall be single sided with an area not to exceed fifty (50) square feet.

(3) The height of the menu sign(s) shall not exceed eight feet (8') including its base or pole measured from grade to the top of the structure.

(4) The menu sign(s) shall not encroach into any principal building setback and shall be located directly adjacent to the drive-through aisle and oriented in such a manner so that the sign provides information to the drive-through patrons only and does not provide supplemental advertising to pass-by traffic and does not impair site visibility or obstruct circulation.

Section 45. Section 11-70-7.B of the Zoning Ordinance (O-R District – Conditional Uses) is hereby repealed in its entirety subsequent sections renumbered accordingly:

~~B. Commercial Activities: Retail commercial activities, provided that:~~

- ~~1. Merchandise is sold at retail.~~
- ~~2. The retail activity is located within a structure whose principal use is not commercial sales.~~
- ~~3. The retail activity shall not occupy more than fifteen percent (15%) of the gross floor area of the building.~~
- ~~4. No directly or indirectly illuminated sign or sign in excess of ten (10) square feet identifying the name of the business shall be visible from the outside of the building.~~
- ~~5. No signs or posters of any type advertising products for sale shall be located on the outside of the building.~~

Section 46. Section 11-70-11.A of the Zoning Ordinance (O-R District – Uses by Administrative Permit) is hereby amended to include the following provision and subsequent sections renumbered accordingly:

A. Commercial Activities: Retail commercial activities, provided that:

1. Merchandise is sold at retail.
2. The retail activity is located within a structure whose principal use is not commercial sales.
3. The retail activity shall not occupy more than fifteen percent (15%) of the gross floor area of the building.
4. No directly or indirectly illuminated sign or sign in excess of ten (10) square feet identifying the name of the business shall be visible from the outside of the building.
5. No signs or posters of any type advertising products for sale shall be located on the outside of the building.

Section 47. Section 11-75-3.L of the Zoning Ordinance (O-P District – Permitted Uses) is hereby repealed in its entirety and subsequent sections renumbered accordingly.

~~L. Data centers.~~

Section 48. Section 11-86-3.T of the Zoning Ordinance (I-1 District- Permitted Uses) is hereby repealed in its entirety and subsequent sections renumbered accordingly:

~~T. Data centers.~~

Section 49. Section 11-86-7 of the Zoning Ordinance (I-1 District – Conditional Uses) is amended to add the following provisions with subsequent sections renumbered accordingly:

D. Data centers or data center campuses, provided that:

1. All buildings, structures, and outdoor equipment (including generators) shall be setback a minimum of five hundred feet (500') from:

- a. Right-of-way for CSAH 70.
 - b. Residential zoned property and existing residential uses.
 - c. Corporate limits of the City of Lakeville.
2. An energy consumption plan, prepared by a qualified licensed engineer, shall be submitted with application for a conditional use permit outlining estimates of peak electricity demand and strategies for mitigating strain on local power infrastructure, including proposed improvements or alternatives to minimize the need for additional transmission lines, or identifying the need for new or upgraded transmission lines to be installed at developers expense to meet the use's electricity requirements.
 3. A water consumption plan, prepared by a qualified licensed engineer, shall be submitted with application for a conditional use permit outlining the total water requirements of the use including average daily and peak water demand, impacts on municipal water supply infrastructure, impacts on groundwater and surface water resources and available utility capacity to serve the use. The use must utilize the use of water-efficient cooling technologies and closed-loop cooling systems or alternative technologies that demonstrate equal or lower water consumption. Alternative cooling methods are encouraged such as air-cooled systems.
 4. Noise: Sound generated by the use shall comply with section 11-16-25 of this title and the following additional requirements:
 - a. A sound study prepared by an acoustic engineer shall be submitted with application for a conditional use permit documenting existing baseline noise levels in the area of the proposed use, outlining proposed sound mitigation measures to be incorporated in construction to reduce noise and estimating proposed noise levels of the use measured at the property lines of the lot.
 - b. An additional sound study shall be prepared by the operator after the use becomes fully operational to document compliance with section 11-16-25 of this title and that the noise generated by the use is within five (5) percent of the estimated sound levels established by the initial sound study.
 5. Generators may operate only between the hours of 9:00 am and 5:00 pm, Monday through Friday, excluding Federal holidays, except when providing emergency electric power during an outage, which is not a voluntary curtailment or shutdown of electric service.
 6. Principal and accessory buildings shall comply with the exterior finish material and design requirements as required in Section 11-17-9 D of this title.
 7. Any accessory structures or any equipment not enclosed within a principal building shall be fully screened to a minimum height of fourteen feet (14') through the use of topography, berms, landscaping, fences, and walls of in accordance with section 11-19-13 of this title so as not to be visible from view of abutting public rights-of-way, residential districts, or residential uses from the perspective measured at a point five feet (5') above grade or from the view of any window of a residential building facing the data center.
 8. All exterior lighting shall comply with the requirements of Section 11-16-17 of this title and the following:

- a. Manufacturer specifications for all sources of exterior lighting shall not exceed a maximum Correlated Color Temperature of 3,000 degrees Kelvin.
- b. All exterior lighting fixtures shall be reduced in intensity by fifty percent (50%) between the hours of 10:00 P.M. and 5:00 A.M.
- c. For a use abutting property guided by the Comprehensive Plan for residential, public and quasi-public, or park land uses; zoned residential or public-open space district; or developed with a residential use:
 - (1) All exterior lighting fixtures shall setback a minimum of fifty feet (50') feet from any property line.
 - (2) The intensity of exterior lighting measured at a setback of ten feet (10') from all property lines shall not exceed 0.0 footcandles.

F. Motor vehicle fuel sales with convenience grocery and/or prepared food as regulated by Chapter 37 of this title provided that:

- 1. The property is a minimum of four (4) acres with direct frontage to a principle arterial

Section 50. Section 11-87-7 of the Zoning Ordinance (I-2 District – Conditional Uses) is amended to add the following provisions with subsequent sections renumbered accordingly:

F. Data centers, provided that:

- 1. All buildings, structures, and outdoor equipment (including generators) shall be setback a minimum of five hundred feet (500') from:
 - a. Right-of-way for CSAH 70.
 - b. Residential zoned property and existing residential uses.
 - c. Corporate limits of the City of Lakeville.
- 2. An energy consumption plan, prepared by a qualified licensed engineer, shall be submitted with application for a conditional use permit outlining estimates of peak electricity demand and strategies for mitigating strain on local power infrastructure, including proposed improvements or alternatives to minimize the need for additional transmission lines, or identifying the need for new or upgraded transmission lines to be installed at developers expense to meet the use's electricity requirements.
- 3. A water consumption plan, prepared by a qualified licensed engineer, shall be submitted with application for a conditional use permit outlining the total water requirements of the use including average daily and peak water demand, impacts on municipal water supply infrastructure, impacts on groundwater and surface water resources and available utility capacity to serve the use. The use must utilize the use of water-efficient cooling technologies and closed-loop cooling systems or alternative technologies that demonstrate equal or lower water consumption. Alternative cooling methods are encouraged such as air-cooled systems.
- 4. Noise: Sound generated by the use shall comply with section 11-16-25 of this title and the following additional requirements:

- a. A sound study prepared by an acoustic engineer shall be submitted with application for a conditional use permit documenting existing baseline noise levels in the area of the use, outlining proposed sound mitigation measures to be incorporated in construction to reduce noise and estimating proposed noise levels of the use measured at the property lines of the lot.
- b. An additional sound study shall be prepared by the operator after the use becomes fully operational to document compliance with section 11-16-25 of this title and that the noise generated by the use is within five (5) percent of the estimated sound levels established by the initial sound study.
- 5. Generators may operate only between the hours of 9:00 am and 5:00 pm, Monday through Friday, excluding Federal holidays, except when providing emergency electric power during an outage, which is not a voluntary curtailment or shutdown of electric service.
- 6. Principal and accessory buildings shall comply with the exterior finish material and design requirements as required in Section 11-17-9 D of this title.
- 7. Any accessory structures or any equipment not enclosed within a principal building shall be fully screened to a minimum height of fourteen feet (14') through the use of topography, berms, landscaping, fences, and walls of in accordance with section 11-19-13 of this title so as not to be visible from view of abutting public rights-of-way, residential districts, or residential uses from the perspective measured at a point five feet (5') above grade or from the view of any window of a residential building facing the data center.
- 8. All exterior lighting shall comply with the requirements of Section 11-16-17 of this title and the following:
 - a. Manufacturer specifications for all sources of exterior lighting shall not exceed a maximum Correlated Color Temperature of 3,000 degrees Kelvin.
 - b. All exterior lighting fixtures shall be reduced in intensity by fifty percent (50%) between the hours of 10:00 P.M. and 5:00 A.M.
 - c. For a use abutting property guided by the Comprehensive Plan for residential, public and quasi-public, or park land uses; zoned residential or public-open space district; or developed with a residential use:
 - (1) All exterior lighting fixtures shall setback a minimum of fifty feet (50') feet from any property line.
 - (2) The intensity of exterior lighting measured at a setback of ten feet (10') from all property lines shall not exceed 0.0 footcandles.

Section 51. Section 11-102-9.B.2 of the Zoning Ordinance (Shoreland Overlay District – Shoreland Classification) is hereby amended read as follows:

2. Rivers:

Name	Classification	Location	
		To	From

Unnamed to Vermillion River (south branch of North Creek)	Tributary (T)	Sec 8 T 114 R 20	Sec 29 T 114 R 19
Unnamed to Vermillion River (north branch of North Creek)	Tributary (T)	Sec 34 T 115 R 20	Sec 12 T 114 R 20
Unnamed to unnamed	Tributary (T)	Sec 17 T 114 R 20	Sec 30 T 114 R 19
Unnamed to unnamed	Tributary (T)	Sec 21 T 114 R 20	Sec23 T 114 R 20
Unnamed to Vermillion River (south branch of South Creek)	Tributary (T)	Sec 36 T 114 R 21	Sec36 T 114 R 20
Unnamed to unnamed	Tributary (T)	Sec 19 T114 R20	Sec33 T 114 R 20
Unnamed to unnamed	Tributary (T)	Sec 33 T 114 R 20- <u>Sec 4</u> <u>T 113 R 20</u>	Sec 34 T 114 R 20

Section 52. Section 11-102-17 of the Zoning Ordinance (Shoreland Overlay District – Development Regulations) is hereby amended to add the following provisions:

J. Decks. Deck additions may be allowed without a variance to a structure not meeting the required setback from the ordinary high water level if all of the following criteria are met:

1. The structure existed on the date the structure setbacks were established;
2. A thorough evaluation of the property and structure reveals no reasonable location for a deck meeting or exceeding the existing ordinary high water level setback of the structure as determined by the Zoning Administrator;
3. The deck encroachment toward the ordinary high water level does not exceed fifteen (15) percent of the existing setback of the structure from the ordinary high water level or is no closer than thirty feet (30') feet from the ordinary high water level, whichever is more restrictive; and;
4. The deck shall not be roofed or screened.

(Remainder of page intentionally blank signatures follow)

Section 53. This Ordinance shall be effective immediately upon its passage and publication according to law.

ADOPTED by the Lakeville City Council this ____ day of _____, 2026.

CITY OF LAKEVILLE

BY: _____
Luke M. Hellier, Mayor

ATTEST

BY: _____
Ann Orlofsky, City Clerk