



AGENDA

PLANNING COMMISSION MEETING

January 9, 2025 - 6:00 PM
City Hall Council Chambers

Members of the public can participate in person at Lakeville City Hall, 20195 Holyoke Avenue. Members of the public may join the meeting via [Teams Meeting](#), Meeting ID: 288 995 085 506, Passcode: ZB6XQ6BL, or by calling Toll Number 1-323-433-2142; Conference ID: 465 329 689#. The Chair will allow for public comments and questions at the appropriate time.

1. Call to order and flag pledge
2. Roll Call
3. Approval of Minutes
 - a. November 7, 2024 Planning Commission meeting minutes
 - b. December 5, 2024 Planning Commission work session minutes
4. Announcements
5. Kenrick Corner Second Addition
Public Hearing to consider the application of Mesenbrink Construction and Engineering for the preliminary plat of one commercial lot to be known as Kenrick Corner Second Addition and the vacation of public drainage and utility easements, located north of 205th Street and east of Kenrick Avenue.
 - a. December 13, 2024 staff reports and exhibits
6. City of Lakeville
Public Hearing to consider amendments to Title 11 (Zoning) of the City Code.
 - a. January 2, 2025 Staff Report
7. Staff Notices
 - a. Planning Manager's Memo
8. Adjourn

**CITY OF LAKEVILLE
PLANNING COMMISSION MEETING MINUTES
November 7, 2024**

Chair Majorowicz called the meeting to order at 6:00 p.m. in the Council Chambers at City Hall. The Pledge of Allegiance to the flag was given.

Members Present: Chair Jenna Majorowicz, Vice Chair Christine Zimmer, Scott Einck, Pat Kaluza, Jason Swenson, Alternate Mark Traffas, Ex-Officio Jeff Hanson.

Members Absent: Amanda Tinsley, Patty Zuzek

Staff Present: Tina Goodroad, Community Development Director, Kris Jenson, Planning Manager, Frank Dempsey, Associate Planner, Jon Nelson, Assistant City Engineer

3. Approval of the Meeting Minutes

The October 17, 2024 Planning Commission meeting minutes were approved as presented.

4. Announcements

Planning Manager Jenson stated that an amended list of stipulations for the PCL Construction Services conditional use permit was distributed to the Planning Commission at tonight's meeting.

5. PCL Construction Services

Chair Majorowicz opened the public hearing to consider the application of PCL Construction Services for a conditional use permit to allow an exception to the exterior building material requirements in the I-1, Light Industrial District.

Trace Selly described the request to the Planning Commission. PCL is requesting approval of the conditional use permit to allow construction of a storage shed that is dissimilar to the exterior building materials of principal building on the property. The building would be constructed with steel shipping containers was the wall structure and a fabric covered/hoop type of roof structure.

Associate Planner Dempsey presented the staff report which recommended approval subject to the stipulations noted in the planning report. Dempsey recommended removal of stipulation No. 4 since the stipulation with a sunset clause is not enforceable under the terms of a conditional use permit per the advice of the City Attorney.

Chair Majorowicz opened the hearing to the public for comment.

There were no public comments.

Motion was made by Zimmer, seconded by Swenson to close the public hearing at 6:11 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Chair Majorowicz asked for comments from the Planning Commission. Discussion points included:

- Commissioner Traffas how long will the building be used? Mr. Selly explained that they are entering into a five-year lease with two five-year options.
- Commissioner Swenson explained he is struggling with storage containers being used as the base for this structure. What precedent is the City creating without a removal clause? Mr. Dempsey stated that it is staff's position that the containers have to remain in good condition, freshly painted. Staff also considers the location where the request is being made, in a location not directly adjacent to, or largely visible from a residential area.

Motion was made by Zimmer, seconded by Kaluza to recommend to City Council approval of the conditional use permit for PCL Construction Services, subject to the three stipulations listed below and approval of the Findings of Fact dated November 7, 2024, as amended:

1. The shipping container walls, and roof shall be freshly painted, free of dents, and hoop roof structure material shall be constructed of a durable material. The roof material shall be replaced or repair if significant damage occurs by weather or other source.
2. A building permit shall be approved by the City prior to construction of the accessory building.
3. The building shall be constructed in the location identified on the approved site plan.

Ayes: Traffas, Kaluza, Majorowicz, Zimmer, Einck

Nays: Swenson

Commissioner Swenson stated he felt the structure was acceptable when the request included the stipulation for removal, but he is not comfortable with it as a permanent structure, alluding to the long-term durability of the exterior building materials.

6. US Home, LLC (Lennar)

Chair Majorowicz opened the public hearing to consider the application of US Home, LLC (Lennar) for a preliminary plat of 88 single family lots and 144 attached townhome lots in the RST-2, Single- and Two-Family Residential District and RM-3, Medium Density District.

Steve Troskey of Lennar provided an introduction of the project to be known as Cedar Hills North.

Planning Manager Kris Jenson presented the staff report. The applicant is requesting approval of a preliminary plat for 232 dwelling units on 148.6 acres. The Planning Commission previously recommended approval of a comprehensive plan amendment and rezoning for this development at their October 7 meeting, which was later approved by the City Council.

Ms. Jenson reviewed the preliminary plat, including street layout, landscaping, and project phasing. She also noted that stipulation #14 in the October 29 Planning report should be removed as the language regarding garage width and area does not apply to the RM-3 district in this development.

Chair Majorowicz opened the hearing to the public for comment.

Joe Samson, 20086 Gamma Lane, expressed concern about the lack of traffic control at 200th Street and Cedar Avenue, making it difficult to turn left and go south. He has also witnessed accidents at this intersection.

Motion was made by Zimmer, seconded by Einck to close the public hearing at 6:26 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Chair Majorowicz asked for comments from the Planning Commission. Discussion points included:

- Commissioner Majorowicz ask if there are planned lights. Planning Manager Jenson explained that both Cedar Avenue and 200th Street are county roads and that the intersection is being monitored by Dakota County. It is likely that when 200th Street, west of Cedar Avenue, is rebuilt as a paved urban street that restrictions will be added to the intersection at that time. Assistant City Engineer Nelson added that the Developer is installing right turn lanes at the streets into the Cedar Hills North development.

Motion was made by Kaluza, seconded by Zimmer to recommend to City Council approval of the Cedar Hills North preliminary plat, subject to the 14 stipulations listed below, as amended:

1. Approval of the preliminary plat is contingent upon approval of the comprehensive plan amendment by Metropolitan Council.
2. Implementation of the recommendations listed in the October 29, 2024 engineering report.
3. Park dedication shall be satisfied with a cash contribution paid with the final plat for each development phase.
4. The developer shall construct five-foot-wide concrete sidewalks as shown on the preliminary plat plans. The developer shall construct a bituminous trail along the north side of 200th Street and the east side of Cedar Avenue, as shown on the plans.
5. Outlots B, C, and D shall be deeded to the City with the final plat.
6. Buffer yard landscaping shall be installed according to the approved landscape plan. A security for the buffer yard landscaping shall be submitted with the final plat. The lots abutting 200th Street must install sod to the side or rear property line and a \$1,000 per lot security will be required with the building permit.
7. The following lots shall have restricted driveway access:
 - Lots 24 and 39 shall have driveway access from Road 3.
 - Lots 25 and 38 shall have driveway access from Road 4.
 - Lot 50 and 57 shall have driveway access from Road 5.
 - Lot 58 and 87 shall have driveway access from Road 6.
8. All new local utilities and any existing overhead service utilities located on the property shall be placed underground.
9. The existing houses, accessory structures, fences, wells, and septic systems must be removed with the development of this property.
10. A homeowner's association must be established for ownership and maintenance of Lots 89 and 145-152.

11. The Developer must submit HOA documents for review and provide proof of recording of the HOA documents and deeds conveying the common area lots to the HOA, prior to building permits issued for the attached townhomes.
12. Attached townhomes must meet the exterior materials requirements of Section 11-60-21.B.3 of the Zoning Ordinance.
13. The developer must submit dimensioned floor plans for the detached townhome units to verify compliance with the minimum requirements for above grade floor area established by Section 11-17-13D of the Zoning Ordinance.
14. The developer shall provide details to verify compliance with the landscape requirements of Section 11-60-21H of the Zoning Ordinance.

Ayes: Kaluza, Majorowicz, Zimmer, Einck, Swenson, Traffas

Nays: 0

There being no further business, the meeting was adjourned at 6:29 p.m.

Respectfully submitted,

Kris Jenson, Planning Manager

CITY OF LAKEVILLE
PLANNING COMMISSION WORK SESSION MINUTES
December 5, 2024

Vice Chair Christine Zimmer called the work session to order at 6:02 pm.

Members Present: Vice Chair Christine Zimmer, Pat Kaluza, Jason Swenson, Amanda Tinsley, Patty Zuzek, Alternate Mark Traffas

Members Absent: Chair Jenna Majorowicz, Scott Einck

Staff Present: Community Development Director Tina Goodroad, Planning Manager Kris Jenson, Senior Planner Heather Botten

Others Present: Daniel Licht, The Planning Company, via Teams

Heather Botten, Senior Planner, was introduced to the Planning Commissioners, who in turn introduced themselves.

Zoning Ordinance discussion of possible amendments related to housing standards

Director Goodroad began by summarizing a meeting with local homebuilders, hosted by Mayor Hellier, to discuss ordinance requirements that may impact the construction cost of a home in Lakeville. Daniel Licht then began the discussion of topics raised in his November 22, 2024 memo.

Garages. The ordinance requires attached garages to have a minimum width, and for townhome units, a minimum floor area based on whether the unit has a basement or not. The Commission discussed the potential impacts of reducing/removing the width and/or area requirements, including the ability to park two vehicles in the garage and to keep trash and recycling containers inside. The Commissioners supported maintaining minimum garage width but supported dropping the requirement for a larger garage size for townhome units without a basement.

Residential Buffer Yards. The ordinance requires buffering to a minimum height of 10 feet, through a combination of berms and plantings, for residential developments adjacent to streets classified as major collector or higher. Reducing the height requirement could reduce or remove the need for a berm, which in turn reduces the amount of land needed for the buffer yard. Commissioners discussed buffer areas and acknowledged that homebuyers are purchasing a home knowing that the home is near or adjacent to a high traffic volume street and expressed support for reducing the minimum height for buffer yards.

Single Family Lot Requirements. Mr. Licht summarized the minimum lot size requirements within the RS-4 and RST-2 districts, as well as how the allowance for a minimum lot size of 7,500 SF by CUP in the RST-2 District came about. Director Goodroad suggested several options for the Planning Commission, including:

- Remove the 100 acre minimum plat area required for the 7,500 SF lot area by CUP
- Change the minimum lot area for single family homes in the RST-2 District from 8,400 SF to 7,500 SF.

- Allow the 7,500 SF lot area by CUP within the RS-4 District.
- If lot sizes are reduced, consider a requirement for curvilinear streets to avoid a ‘wall of garage doors’ look to a street.

As with garage size and buffer yards, buyers will be aware of smaller lots when they are purchasing a home. The reduced lot size also helps the City meet density levels required by the 2040 Comprehensive Plan. Commissioners added that they preferred allowing the smaller lot size by right rather than by CUP, that increasing the density allowed in the RS-4/RST-2 districts may offset the need for higher densities for multi-family developments. The general consensus was support for a reduced single family lot size within the RST-2 District and to simplify the CUP conditions for the reduced lot size and add it to the RS-4 District.

Base Lot Setbacks. Mr. Licht provided history on the base lot setbacks; that they were intended to mimic single family home setbacks, particularly for those areas near single family developments. As changes to setback requirements have been made over the years, there are some conflicts in what setback applies where. Reducing the base lot setback would provide clarity and consistency. Staff also raised the issue of changing the setback between townhome buildings to 14 feet in all districts. Currently some districts require 20 feet, so reducing to 14 feet again provides consistency and mimics the minimum setback requirements of single-family homes in the RS-4 District, which requires a minimum side yard setback of seven feet, for a minimum total of 14 feet between homes. Planning Commissioners expressed support for these changes.

Exterior Materials. The ordinance has minimum exterior material standards for all townhome units that requires at least 25% stone/brick/stucco on all four sides of the home. The ordinance does permit the side and rear elevations to use at least 60% engineered siding (LP Smartside, Hardie Board, etc.) in lieu of the stone/brick/stucco requirement. There is no minimum standard for the exterior materials of single-family homes, beyond a minimum of vinyl siding. Staff noted that the intent of the stone/brick/stucco requirement was to provide a more durable material at the base of the home as protection from yard maintenance equipment, in addition to aesthetics. Commissioners discussed the benefits of requiring more durable materials on townhomes so as to reduce maintenance costs in the future compared to the lower initial costs of using vinyl siding. Commissioners were open to learning more about exterior material options and generally supportive of removing or reducing the stone/brick/stucco requirement and to look at flexibilities for the side and rear elevations.

Planned Unit Development. The ordinance requires a minimum of 320 acres for a residential PUD of land that is guided for low density development. As more parcels west of Interstate 35 are considered for development, a PUD could be a valuable tool for those parcels which include wetlands, elevation changes, and heavily forested areas. Reducing the minimum acre threshold provides an additional development tool. Commissioners discussed the minimum requirements for a PUD and concurred that reducing the minimum threshold warranted consideration.

Accessory Dwelling Units (ADU). Staff reviewed the ordinance requirements for an ADU, which are currently only allowed within single family homes under certain conditions. The Commissioners discussed permitting ADUs in detached permanent structures in a rear yard, but ultimately did not support this change. The Commissioners indicated were open to considering allowing detached ADUs on a temporary basis, however.

Commissioner Zuzek excused herself from the meeting at 7:05 pm.

Concluding the discussion on possible Zoning Ordinance amendments, Mr. Licht ended the Teams call at 7:15.

2025 Planning Commission meeting calendar

Planning Manager Jenson reviewed the proposed 2025 meeting calendar, noting that the June 19 meeting date must be adjusted due to the Juneteenth holiday. Staff explained the reason behind shifting dates in May, in order to stay aligned with the Parks, Recreation, and Natural Resources Commission meeting dates. Due to the aforementioned Juneteenth holiday and that the first July meeting falls on July 3, meeting dates are proposed to be shifted such that a Planning Commission meeting is planned to occur every three weeks from June 5 to July 17. The remaining dates in 2025 will be unchanged.

The work session adjourned at 7:41 pm.

Respectfully submitted,

Kris Jenson, Planning Manager



Memorandum

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: December 13, 2024
Subject: Packet Material for the January 9, 2025 Planning Commission Meeting

Agenda

- Item:** Kenrick Corner Second Addition
1. Preliminary and final plat of one commercial lot to be known as Kenrick Corner Second Addition
 2. Vacation of drainage and utility easements

BACKGROUND

Applications for preliminary and final plat and the vacation of the drainage and utility easement have been submitted by Mesenbrink Construction for the development of a 1.61 acre parcel to be known as Kenrick Corner Second Addition. The proposal includes development of a 9,600 square foot single story building and is platting Outlot A, Kenrick Corner Second Addition. The subject property is the last developable commercial lot within the Kenrick Corner development.

The plans have been reviewed by the Engineering Division and Parks and Recreation Department.

EXHIBITS

- A. Location Map
- B. Zoning Map
- C. Preliminary Plat
- D. Final Plat
- E. Easement Vacation
- F. Site Dimension Plan
- G. Grading, Drainage, & Erosion Control Plan
- H. Utility Plan
- I. Tree Preservation Plan
- J. Landscape Plan
- K. Photometric Plan
- L. Building Elevations (3)
- M. Floor Plans (2)

STAFF ANALYSIS

PRELIMINARY AND FINAL PLAT

Comprehensive Plan. The subject property is guided Commercial in the 2040 Comprehensive Land Use Plan and is in Planning District No. 6. The proposed commercial uses of the property are consistent with the 2040 Land Use Plan and District 6 recommendations.

Zoning. The property is zoned C-3, General Commercial District, in which retail and medical offices are permitted uses.

Surrounding Land Uses and Zoning:

North – Attached townhomes (RM-2)

South – Porterhouse Restaurant (C-3)

East – Stormwater pond (P-OS), attached townhomes (RM-2)

West – Kenrick Avenue, Interstate 35 (ROW)

Lots/Blocks. The Kenrick Corner Second Addition preliminary and final plat consists of one lot of 1.61 acres. The proposed lot exceeds the minimum required lot area of 20,000 square feet and minimum required lot width of 100 feet.

Grading, Drainage, Erosion Control and Utilities. Proposed grading, drainage, erosion control, and utility plans for Kenrick Corner Second Addition are shown on the grading, drainage, and erosion control and utility plans. All existing and new local utilities shall be placed underground.

Grading, drainage, erosion control, and utility issues are addressed in the engineering review memo prepared by Jon Nelson, Assistant City Engineer and Mac Cafferty, Environmental Resources Manager dated December 13, 2024. A copy of the engineering report is attached for your review. The Engineering Division recommends approval of the Kenrick Corner Second Addition preliminary and final plat and easement vacation, subject to the comments outlined in the engineering report.

Access/Streets. All public streets adjacent to Kenrick Corner Second Addition are constructed. No additional right of way dedication or street construction is required. Two driveways are proposed via the private drive to serve each parking area. A shared access easement is in place for access to this plat and the two existing parcels from the existing shared drive. Direct access to Kenrick Avenue is not permitted.

Wetlands. There are no wetlands on the site.

Tree Preservation. Sixty-seven trees were identified on the tree preservation plan and 13 are proposed to be removed. The site will retain 54 trees, primarily located along the north side of the property, which provide a buffer to the townhomes to the north.

Park Dedication. The Park Dedication has not been paid on the parent parcel. The park dedication fee of \$15,257.97 must be paid with the final plat.

Overhead Utilities. The existing overhead utilities along Kenrick Avenue must be buried in conjunction with the final plat. See the December 13, 2024 Engineering memo for additional information.

Public Easement Vacation. The existing outlot a drainage and utility easement along the south property line. As the property is being platted as a lot, a public hearing for the vacation of the drainage and utility easements is required. New easements will be provided as shown on the proposed preliminary and final plat.

SITE PLAN REVIEW

The site plan proposes a 9,600 square foot, single story commercial building with parking lots on side of the building to serve each use, each accessing the private drive along the south side of the parcel. There will be no direct access to the west parking lot from Kenrick Avenue.

Building Setbacks. The C-3, General Commercial District requires the following setback requirements:

	Front Yard	Side Yard	Side Yard (adj. to residential)	Rear Yard
Minimum	30 feet	10 feet	30 feet	10 feet
Proposed	80+ feet	30+ feet	37+ feet	250+ feet

Building Design. The building is proposed to have 3,000 square feet of retail space and 6,600 square feet of space for a wellness/rehab facility. The retail portion will have an entrance facing the west parking lot, with a door for deliveries around the corner on the north side of the building. The rehab/wellness facility will have two entrances, one on the east side at the parking lot and another on the south side of the building, both of which are accessible by a sidewalk from the parking lot. Windows are included on all elevations, though the retail portion of the building does not have north-facing windows.

The exterior of the building is primarily black brick (54%) with windows (11%), black metal panel (28%), and wood and architectural metal accents (7%), consistent with the requirements for the C-3, General Commercial District. Overall, the building will have 65% Grade A materials, 28% Grade B material, and 7% Grade C material, in compliance with Zoning Ordinance requirements.

The architectural design of the proposed building is similar to the existing commercial buildings adjacent to the site, with the brick exterior from grade level at or past the top of the windows then topped with a band of different material.

Parking. The site proposes two parking lots, one at each end of the building. Based on the building's size and the uses proposed, 43 parking spaces are required to be provided. The west parking lot has 13 spaces while the east parking lot has 30 spaces. The number and design of the parking spaces for each lot and drive aisles meets the requirements of the Zoning Ordinance.

Landscaping. Landscaping on the site includes foundation plantings along the building's south side, parking lot screening, and general site trees on the site and within the buffer. The plantings along the west side of the west parking lot and the south side of the east parking lot are in place to minimize headlights shining onto Kenrick Avenue and onto the private drive from 205th Street. Eight coniferous trees will be added to the landscaped berm to provide additional screening to the site from the townhomes to the north. All landscaped areas are required to be

irrigated. The City Forester has reviewed and approved the landscape plan. A security will be required with the final plat to guarantee installation of the approved landscaping.

Retaining Wall. A retaining wall is proposed along the north side of the west parking lot, which allows the existing landscape berm to remain in place and facilitate construction of the parking lot. The maximum height of the wall is 2.5 feet. See the December 13, 2024 Engineering report for more information.

Trash Enclosure. The plans do not indicate how trash will be handled on site. If trash will be kept outdoors in an enclosure, the structure must meet the requirements of Section 11-18-11, including exterior materials, location, and screening. The plans must be updated prior to City Council consideration to reflect this information if a trash enclosure will be used.

Sight Lighting. The submitted lighting plan shows that the proposed lighting on site meets the Zoning Ordinance requirement of light levels not exceeding one foot candle at the property line along the Kenrick Avenue right-of-way and the north property line adjacent to residential-zoned property. Lighting is proposed on the building near the handicap accessible spaces, while the west parking lot will have one light pole and the east parking lot will have two light poles. The light pole height of 25 feet meets the ordinance requirements for height and the fixture style is a downcast LED light.

Signs. This site is within the Freeway Corridor District, which permits larger wall and freestanding signs. Wall signs shown on the building elevations are illustrative only. A location for a monument sign has not been indicated on the plans, but one would be permitted for the site. Sign permits must be issued prior to the installation of signs on the site.

Mechanical Equipment. At this time, the plans do not indicate whether any mechanical equipment will be located on the ground or placed on the roof. If located on the ground, the equipment must be screened, which is typically done with landscaping. If the equipment is roof mounted, it must be screened from view noise unless it is less than three (3) feet in height. Screening materials must be aesthetically harmonious and compatible with the building.

RECOMMENDATION

Community Development Department staff recommends approval of the Kenrick Corner Second Addition preliminary and final plat and vacation of drainage and utility, easements subject to the following stipulations.

1. The recommendations listed in the December 13, 2024 engineering report.
2. The site and building shall be developed in accordance with the plans approved by the City Council.
3. Landscaping shall be installed consistent with the approved landscape plan. A security shall be submitted with the development contract to guarantee installation of the approved landscaping.
4. The park dedication fee of \$15,257.97 must be paid with the final plat.
5. If exterior mechanical equipment is to be placed on the site, it must be screened from view with landscaping and fencing if ground mounted or with fencing if roof mounted and over three feet in height.

6. If trash will be kept outside of the building, a trash enclosure must be shown on the plans and in compliance with the requirements of Section 11-18-11. The plans must be updated to reflect this information prior to City Council consideration.

I-35

207TH ST

KENRICK AVE

Plat area

205TH ST

KENRICK AVE

N

City of Lakeville
Location Map
Kenrick Corner
Second Addition
Preliminary Plat

EXHIBIT A

I-35

RM-2

207TH ST

KENRICK AVE

RM-2

Plat area

C-3

C-3

205TH ST

P/OS

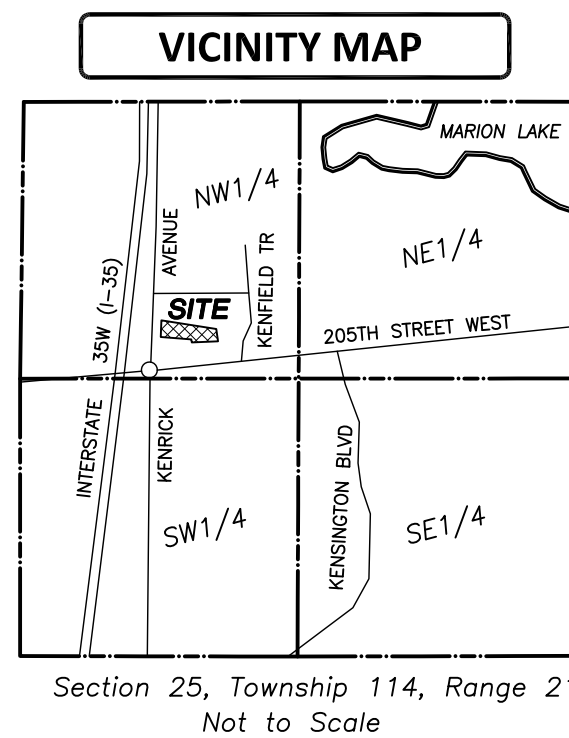
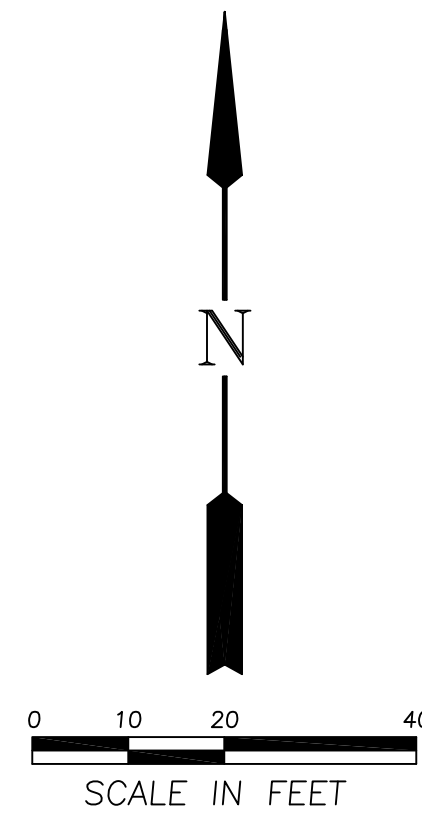
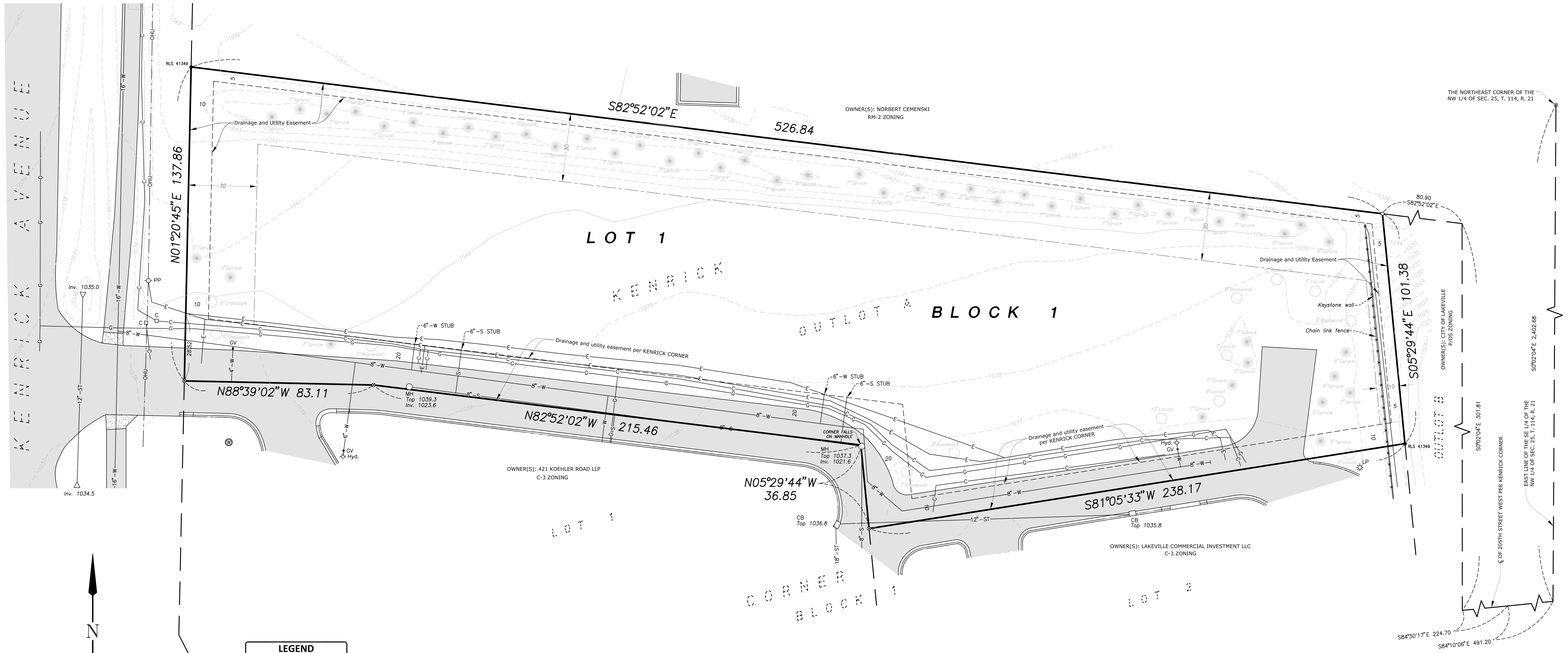
C-3

C-3

City of Lakeville
Zoning Map
Kenrick Corner
Second Addition
Preliminary Plat

EXHIBIT B

Preliminary Plat of:
KENRICK CORNER SECOND ADDITION



- LEGEND**
- Iron Monument Found
 - Iron Monument Set
 - ⊗ Mag Nail Set
 - ⊙ Dakota County Cast Iron Monument
 - S — Sanitary Sewer
 - ST — Storm Sewer
 - W — Watermain
 - Hyd. ⚡ Hydrant
 - GV • Gate Valve
 - MH ○ Manhole
 - CB □ Catch Basin
 - ▷ Flared End
 - Inv. Invert Elevation
 - ⊕ Water Well
 - PP ○ Power Pole
 - LP ⚡ Light Pole
 - Communications Pedestal
 - Concrete Surface
 - Bituminous Surface
 - G — Buried Gas
 - C — Buried Communications
 - E — Buried Electric
 - OHU — Overhead Utility
 - Setback Line

DEVELOPER

Mesenbrink Construction & Engineering, Inc.
7765 East 175th Street
Prior Lake, Minnesota 55372
Phone: 952-447-5058
Attention: John Mesenbrink

SURVEYOR/ENGINEER

Rehder & Associates, Inc.
3440 Federal Drive
Suite 110
Eagan, MN 55122
Phone: 651-452-5051
Attention: Matthew Thiel

PROPERTY DESCRIPTION

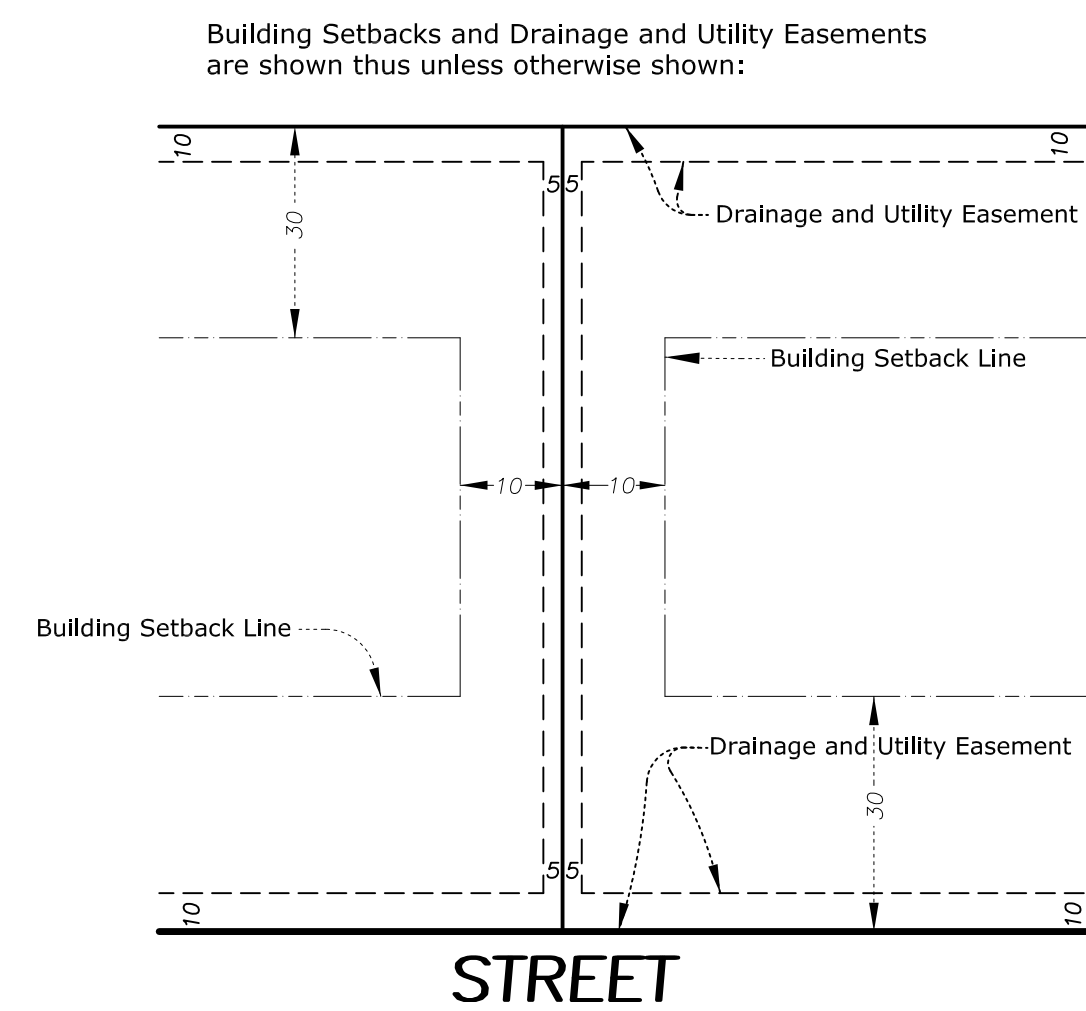
(Per Fidelity National Title Insurance Company Title Commitment, Commitment No. 24-1979, dated May 27, 2024)

Outlot A, Kenrick Corner, Dakota County, Minnesota.

Torrens Property - Certificate of Title No. 160297.

SURVEYOR'S NOTES

- Orientation of the bearing system used for this preliminary plat is based on the plat of KENRICK CORNER.
- Area: 69,956 square feet or 1.61 acres.
- Zoning: C-3, General Commercial District.



CERTIFICATION

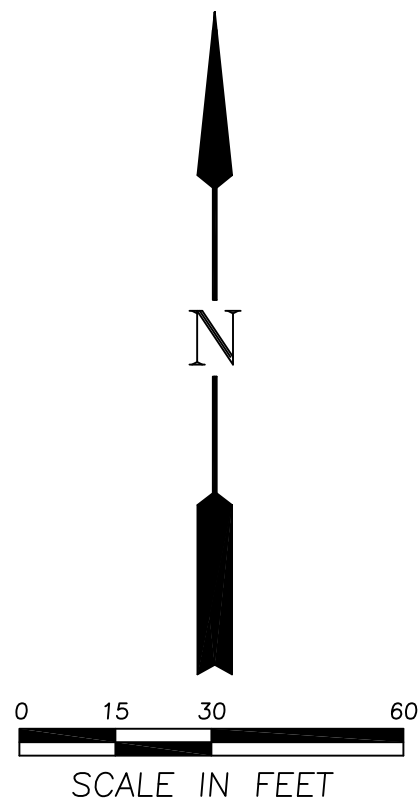
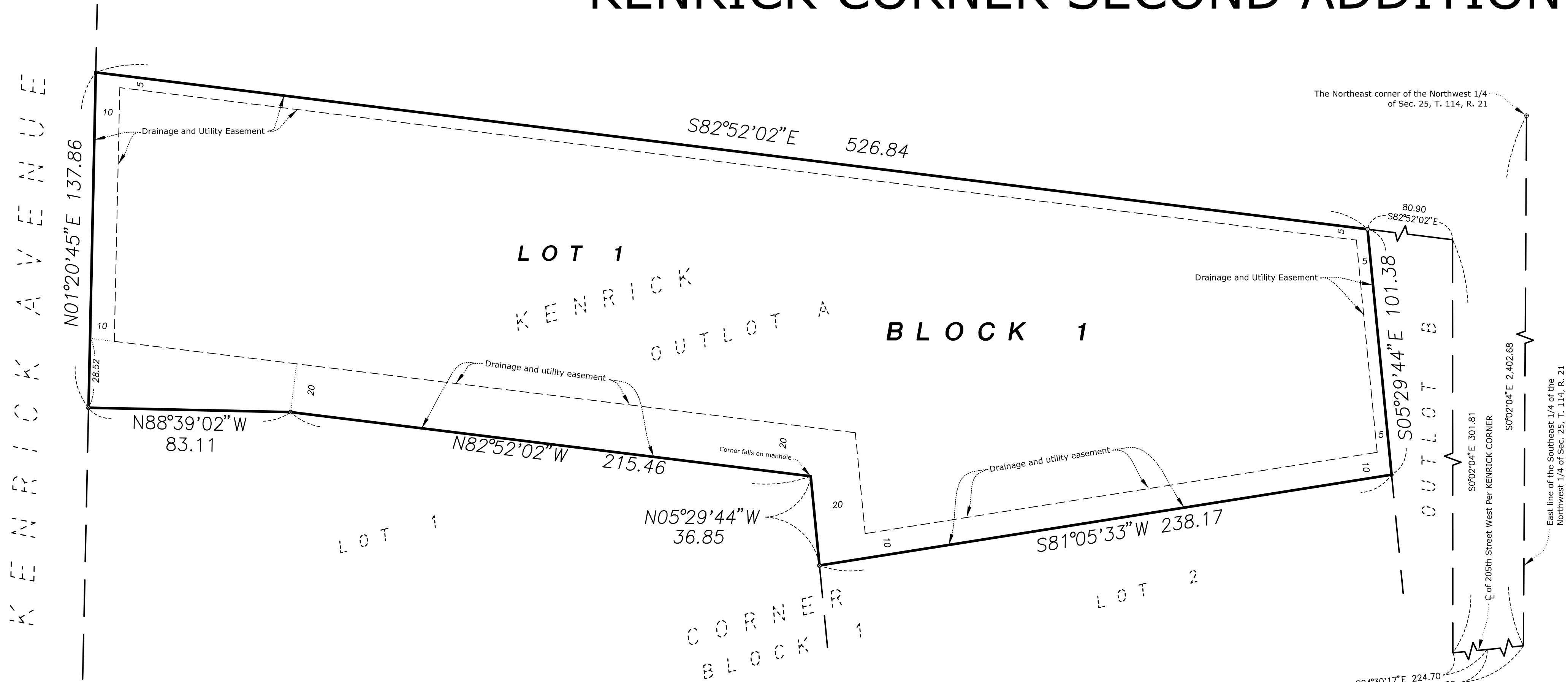
I hereby certify that this preliminary plat was prepared by me or under my direction and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 30th day of July, 2024
REHDER & ASSOCIATES, INC.

Gary C. Huber
Gary C. Huber, Land Surveyor
Minnesota License No. 22036

EXHIBIT C

KENRICK CORNER SECOND ADDITION



Bearings are based on the North line of Outlot A, KENRICK CORNER having a bearing of S82°52'02"E.

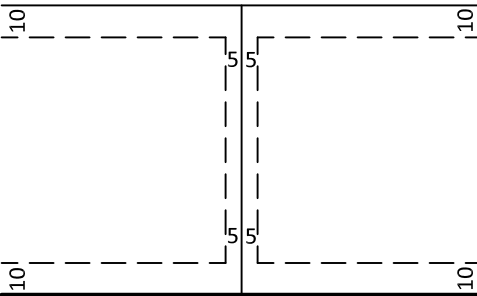
○ Denotes 1/2 inch by 14 inch iron monument set and marked by Minnesota License No. 22036.

⊗ Denotes Magnetic Nail Set

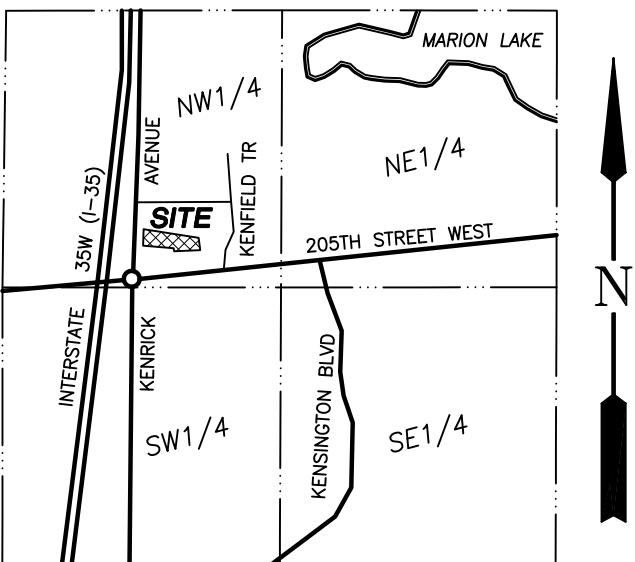
● Denotes found 1/2 inch iron pipe unless otherwise shown.

No monument symbols shown at any statute required location indicates a plat monument that will be set, and which shall be in place within one year of the recording date of the plat. Said monuments shall be 1/2 inch by 14 inch iron pipe marked by License No. 22036.

Drainage and Utility Easements are shown thus:



Being 5 feet in width and adjoining all side lot lines unless otherwise shown, and being 10 feet in width and adjoining all street lines and rear lot lines unless otherwise shown.



Vicinity Map
Section 25, Township 114, Range 21
No Scale

KNOW ALL PERSONS BY THESE PRESENTS: That Mesenbrink Construction & Engineering, Inc., a Minnesota corporation, owners of the following described property:

Outlot A, KENRICK CORNER, according to the recorded plat thereof, Dakota County, Minnesota.

Have caused the same to be surveyed and platted as KENRICK CORNER SECOND ADDITION and do hereby dedicate to the public for public use the public ways and the drainage and utility easements as created by this plat.

In witness whereof said Mesenbrink Construction & Engineering, Inc., a Minnesota corporation, has caused these presents to be signed by its partner this ____ day of _____, 2024.

Mesenbrink Construction & Engineering, Inc.

By _____
John E. Mesenbrink, President

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me on _____, 2024, by John E. Mesenbrink, President of Mesenbrink Construction & Engineering, Inc., a Minnesota corporation, on behalf of the corporation.

Signature _____
Printed _____
Notary Public, _____ County, Minnesota
My Commission Expires _____

I, Gary C. Huber do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 2024.

Gary C. Huber, Licensed Land Surveyor
Minnesota License No. 22036

COUNTY OF DAKOTA
STATE OF MINNESOTA

This instrument was acknowledged before me on _____, 2024, by Gary C. Huber.

Signature _____
Printed _____
Notary Public, _____ County, Minnesota
My Commission Expires _____

CITY COUNCIL, CITY OF LAKEVILLE, COUNTY OF DAKOTA, STATE OF MINNESOTA

This plat was approved by the City Council of Lakeville, Minnesota, this ____ day of _____, 2024, and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subd. 2.

By _____, Mayor By _____, Clerk

COUNTY SURVEYOR, COUNTY OF DAKOTA, STATE OF MINNESOTA

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of _____, 2024.

Todd B. Tollefson
Dakota County Surveyor

COUNTY BOARD, COUNTY OF DAKOTA, STATE OF MINNESOTA

We do hereby certify that on the ____ day of _____, 2024, the Board of Commissioners of Dakota County, Minnesota, approved this plat of NORTH CREEK SECOND ADDITION, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2, and pursuant to the Dakota County Contiguous Plat Ordinance.

Chair, County Board

County Treasurer-Auditor

DEPARTMENT OF PROPERTY TAXATION AND RECORDS, COUNTY OF DAKOTA, STATE OF MINNESOTA

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 2024 on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ____ day of _____, 2024.

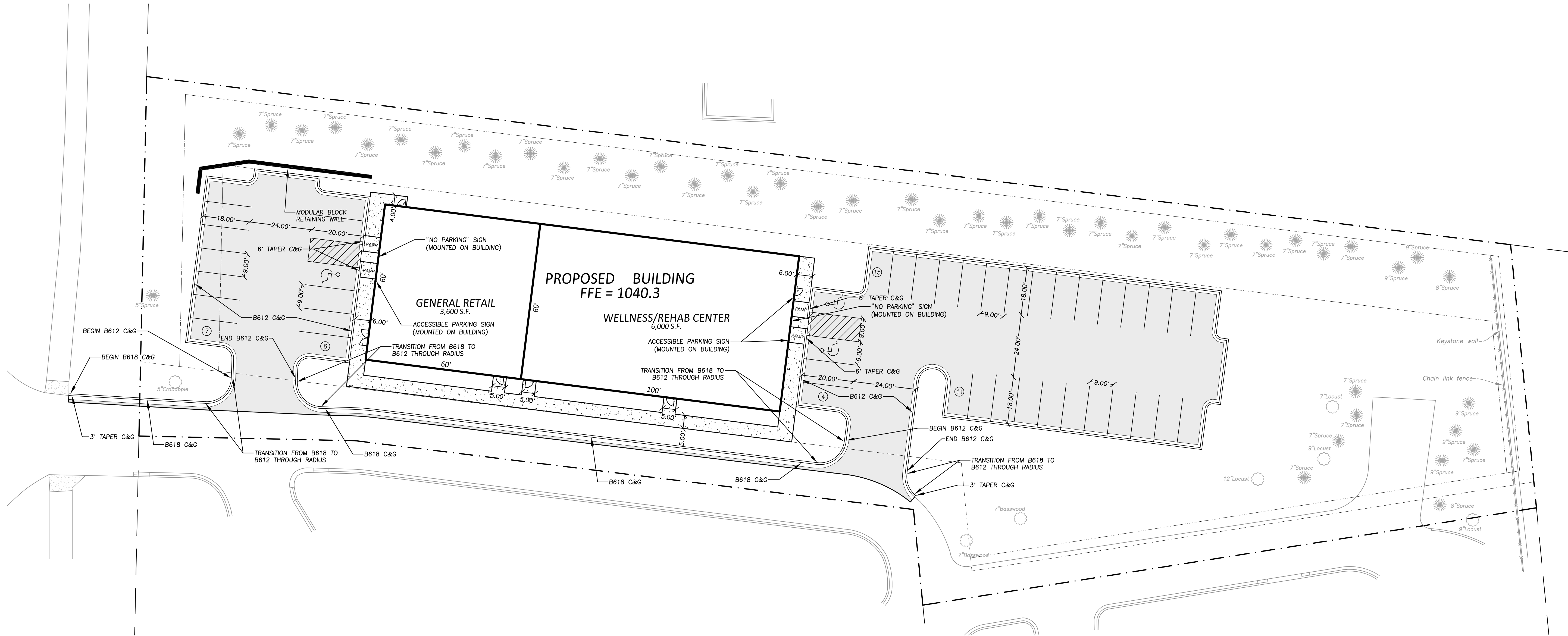
Amy A. Koethe
Director Department of Property Taxation and Records

COUNTY RECORDER, COUNTY OF DAKOTA, STATE OF MINNESOTA

I hereby certify that this plat of NORTH CREEK SECOND ADDITION was filed in the office of the County Recorder for public record on this ____ day of _____, 2024 at ____ o'clock ____M., and was duly filed in Book _____ of Plats, Page _____, as Document Number _____.

Amy A. Koethe
County Recorder

EXHIBIT D



GOPHER STATE ONE CALL

CALL 48 HOURS BEFORE YOU DIG
TWIN CITY AREA 651-454-0002
MN. TOLL FREE 1-800-252-1166

CODE COMPLIANCE:

1. WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LAWS, CODES & REQUIREMENTS OF REGULATORY AGENCIES HAVING JURISDICTION.
2. NOTIFY THE OWNER'S ENGINEER OF DISCREPANCIES BETWEEN THE WORK AND APPLICABLE CODES. DO NOT WORK IN AN AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED.
3. VERIFY CODES IN EFFECT AT THE TIME OF THE NOTICE TO PROCEED AND STAY CURRENT WITH CODE CHANGES WHICH AFFECT THE WORK UNTIL SUBSTANTIAL COMPLETION.

PARKING STALLS REQUIRED

BUILDING USE	BUILDING AREA	10% BLDG REDUCTION	STALL REQUIREMENT	STALLS REQUIRED
GENERAL RETAIL	3,600 S.F.	3,240 S.F.	1 STALL/200 S.F.	16 STALLS
WELLNESS/REHAB CENTER (MEDICAL)	6,000 S.F.	5,400 S.F.	1 STALL/200 S.F.	27 STALLS
TOTAL STALLS REQUIRED:				43 STALLS

PARKING STALLS PROVIDED

STANDARD STALLS	ACCESSIBLE STALLS	TOTAL
40	3	43

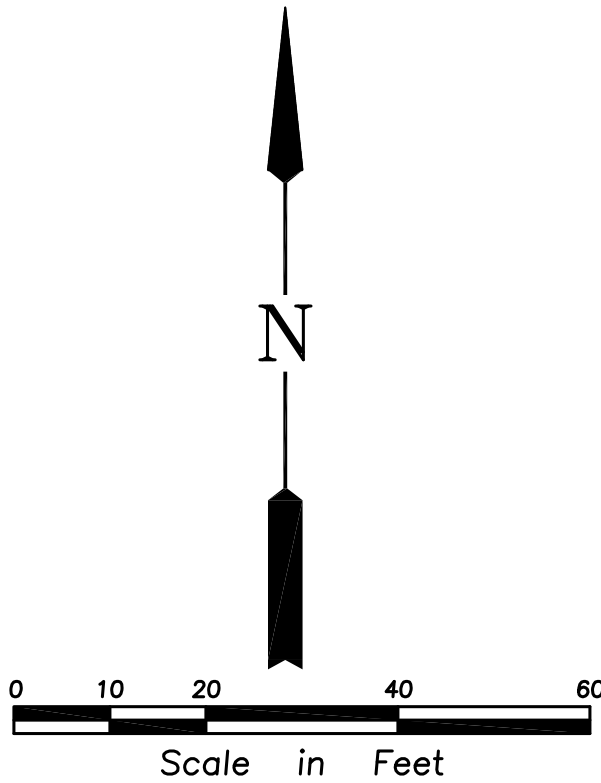
SITE SUMMARY

SITE AREA = 1.61 ACRES
DISTURBED AREA = 0.97 ACRES
EXISTING IMPERVIOUS AREA = 0.16 ACRES
POST CONSTRUCTION IMPERVIOUS AREA = 0.77 ACRES
NEW & RECONSTRUCTED IMPERVIOUS AREA = 0.62 ACRES

LEGEND

- BOUNDARY/ROW/BLOCK LINE
- - - EASEMENT
- - - BUILDING/PARKING SETBACK LINE
- PROPOSED CONCRETE
- PROPOSED BITUMINOUS

EXHIBIT F

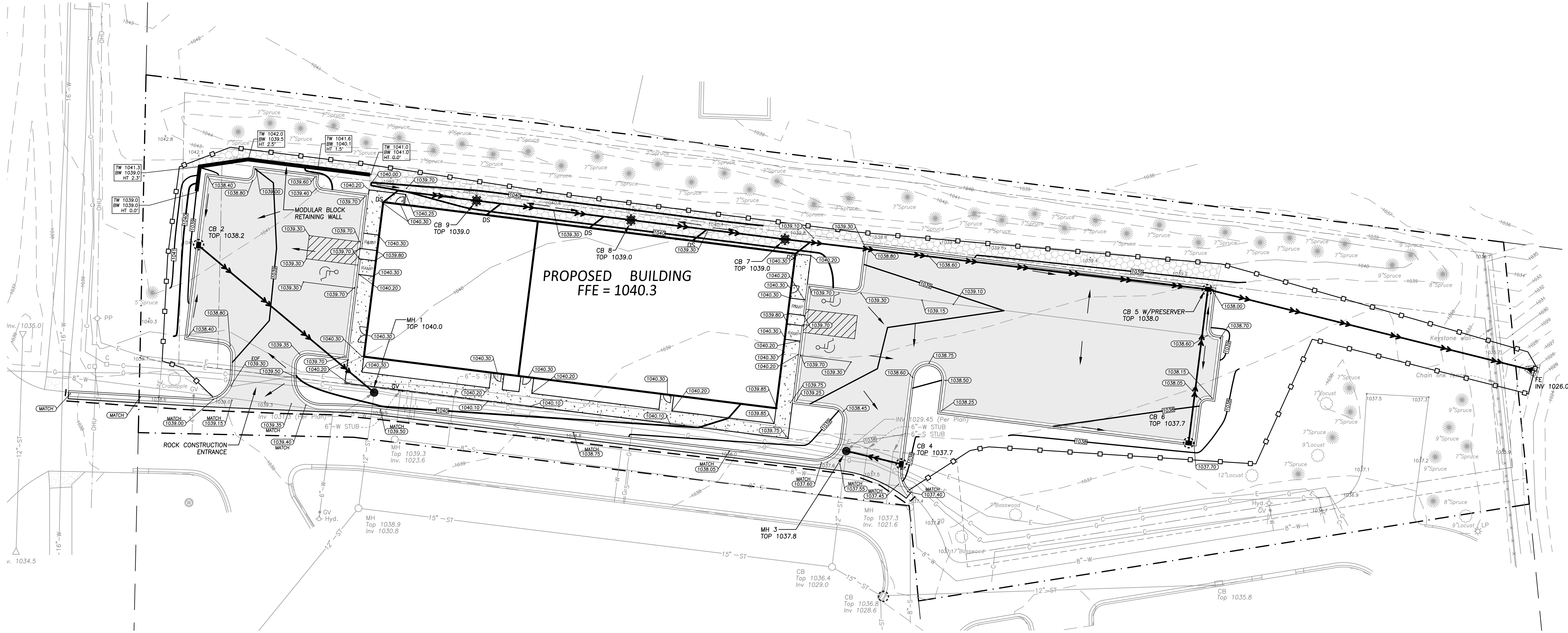


SITE DIMENSION PLAN
KENRICK CORNER SECOND ADDITION
CITY OF LAKEVILLE

SHEET NUMBER
C2

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Benjamin J. Quaes Date 11-1-24
Name Benjamin J. Quaes Reg. No. 59732

7-24-24	ISSUED
9-15-24	CITY SUBMITTAL
10-25-24	ADDRESS CITY COMMENTS
11-1-24	ADDRESS CITY STORMWATER COMMENTS



EROSION PREVENTION & SEDIMENT CONTROL BMP'S

ITEM	QUANTITY
SILT FENCE	975 L.F.
ROCK CONSTRUCTION ENTRANCE	50 TONS 1"-2" WASHED ROCK
INLET PROTECTION (PRE-CASTING)	7 DEVICES
INLET PROTECTION (POST-CASTING)	8 DEVICES
EROSION CONTROL BLANKET (CAT. 20)	390 S.Y.
SEDIMENT LOGS	350 L.F.

GOPHER STATE ONE CALL

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TWIN CITY AREA 651-454-0002
MN. TOLL FREE 1-800-252-1166

CODE COMPLIANCE:

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- NOTIFY THE OWNER'S ENGINEER OF DISCREPANCIES BETWEEN THE WORK AND APPLICABLE CODES. DO NOT WORK IN AN AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED.
- VERIFY CODES IN EFFECT AT THE TIME OF THE NOTICE TO PROCEED AND STAY CURRENT WITH CODE CHANGES WHICH AFFECT THE WORK UNTIL SUBSTANTIAL COMPLETION.

GRADING NOTES

- All elevations shown are to final surfaces.
- Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.

EROSION CONTROL NOTES

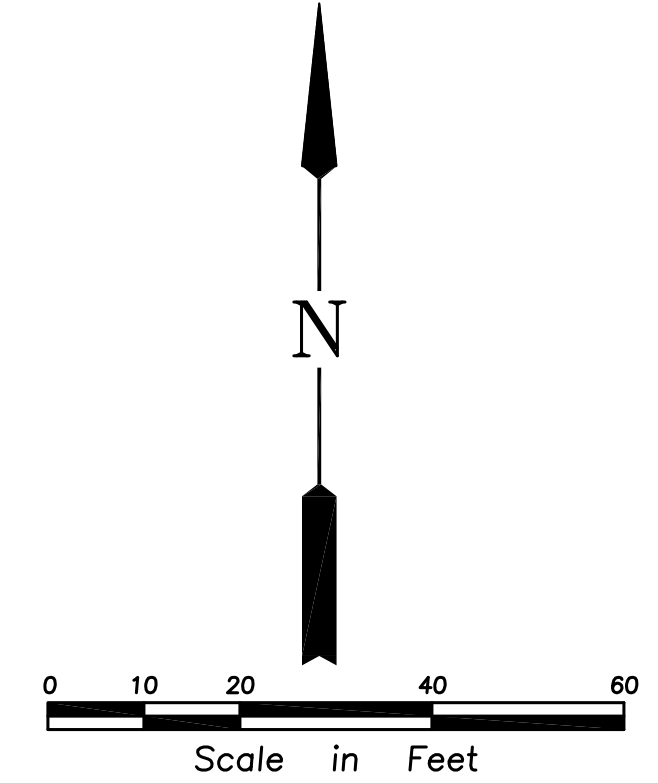
- Contractor is responsible for all notifications and inspections required by General Storm Water Permit.
- All erosion control measures shown shall be installed prior to grading operations and maintained until all areas disturbed have been restored.
- Sweep paved public streets as necessary where construction sediment has been deposited within 24 hours.
- Each area disturbed by construction shall be restored per the specifications within 14 days after the construction activity in that portion of the site has temporarily or permanently ceased.
- Temporary soil stockpiles must have silt fence around them and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.
- The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water.
- All pipe outlets must be provided with temporary or permanent energy dissipation within 24 hours of connection to a surface water.
- Excess concrete/water from concrete trucks shall be disposed of in portable washout concrete basin or disposed of in a contained area.
- Spring/Summer temporary turf establishment shall be MNDOT Seed Mixture 110 @ 100 lbs/acre and mulch shall be MNDOT Type 1.
- Winter temporary turf establishment shall be MNDOT Seed Mixture 100 @ 100 lbs/acre and mulch shall be MNDOT Type 1.
- All disturbed areas shall be restored with commercial turf establishment, MNDOT seed Mixture 25-131 @ 220 lbs/acre, fertilizer shall be 10-10-10(NPK) commercial grade, and mulch shall be MNDOT Type 1.

NOTE: INSTALL INLET PROTECTION DEVICE IN NEAREST
DOWNSTREAM CATCH BASIN OR AS DIRECTED BY THE CITY.

LEGEND

- | | | | |
|--------------|--|----------|------------------------------------|
| ● ■ | PROPOSED MANHOLE/CATCH BASIN | — · — | BOUNDARY/ROW/BLOCK LINE |
| ● | PROPOSED CLEANOUT | - - - - | EASEMENT |
| ◆ | PROPOSED HYDRANT | - - - - | BUILDING/PARKING SETBACK LINE |
| ⋈ | PROPOSED GATE VALVE | ⊙ | SOIL BORING |
| ◀ | PROPOSED FLARED END | → | DRAINAGE ARROW |
| → | PROPOSED STORM SEWER | — W — | EXISTING WATERMAIN |
| ■ | PROPOSED CONCRETE | — S — | EXISTING SANITARY SEWER |
| ■ | PROPOSED BITUMINOUS | — ST — | EXISTING STORM SEWER |
| — 0.000 — | PROPOSED CONTOUR | — G — | EXISTING BURIED GAS LINE |
| · 0.023.54 · | PROPOSED ELEVATION | — E — | EXISTING BURIED ELECTRIC LINE |
| — □ — | SILT FENCE | — C — | EXISTING BURIED COMMUNICATION LINE |
| — — | BIO-LOGS | — OHU — | EXISTING OVERHEAD UTILITY LINE |
| ⊙ | INLET PROTECTION DEVICE | — 980 — | EXISTING CONTOUR |
| ■ | PROPOSED EC BLANKET CATEGORY 20 (MNDOT 3885) | x 995.50 | EXISTING ELEVATION |

EXHIBIT G



REHDER & ASSOCIATES, INC.
Civil Engineers & Land Surveyors

3440 Federal Drive, Suite 110
Twin Falls, ID 83401
Telephone 651-452-5051
www.rehder.com

PROJECT NO.: 241-1321.179 DRAWING FILE: 1321179.DWG

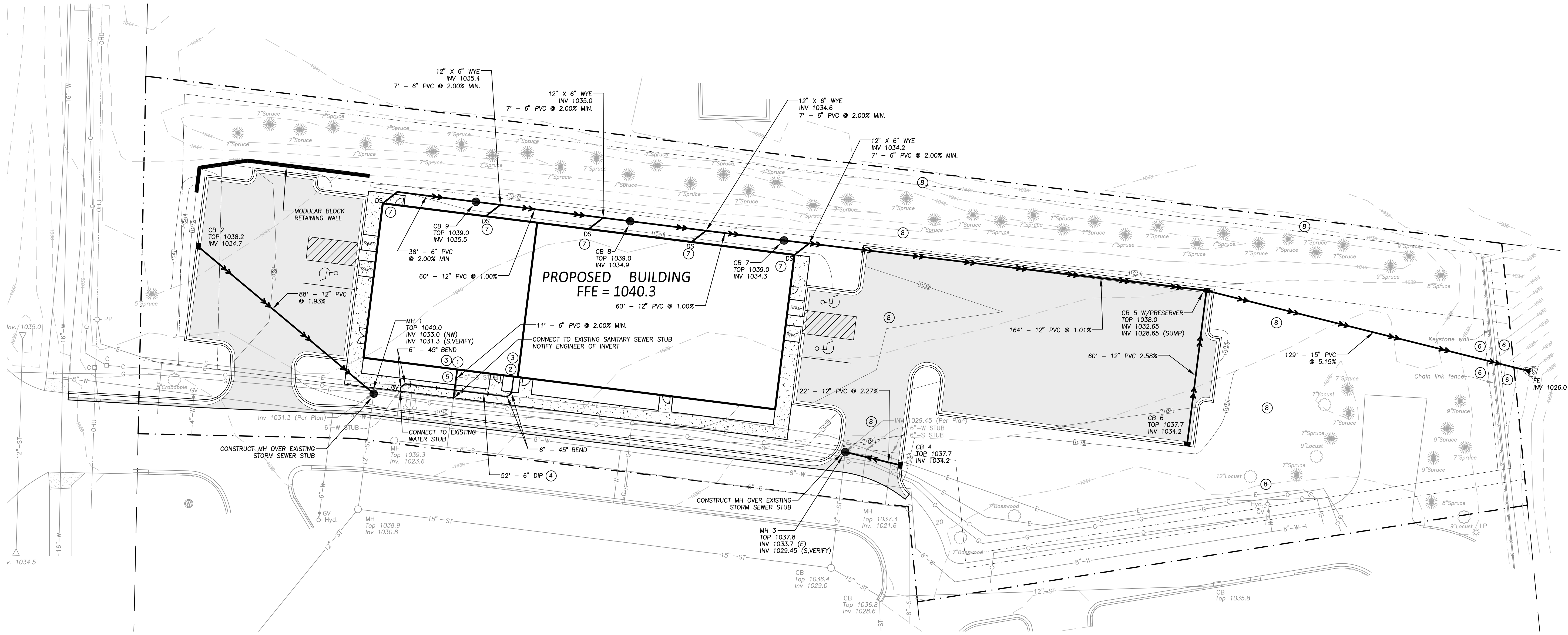
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Benjamin J. Quaes
Name: Benjamin J. Quaes Date: 11-1-24
Reg. No.: 59732

Issued	7-24-24
CITY SUBMITTAL	
CITY COMMENTS	
ADDRESS CITY COMMENTS	
ADDRESS CITY STORMWATER COMMENTS	
10-25-24	
11-1-24	

GRADING, DRAINAGE &
EROSION CONTROL PLAN
KENRICK CORNER SECOND ADDITION
CITY OF LAKEVILLE

SHEET NUMBER
C3



GOPHER STATE ONE CALL

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TWIN CITY AREA 651-454-0002
MN. TOLL FREE 1-800-252-1166

CODE COMPLIANCE:

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CATCH BASIN/MANHOLE SCHEDULE

STRUCTURE NO.	BARREL SIZE	NEENAH CASTING NO.
MH 1	48"	R-1642B
CB 2	24" X 36"	R-3067V
MH 3	48"	R-1642B
CB 4	24" X 36"	R-3067V
CB 5	60"	R-3067V
CB 6	24" X 36"	R-3067V
CB 7	48"	R-4342
CB 8	27"	R-4342
CB 9	27"	R-4342

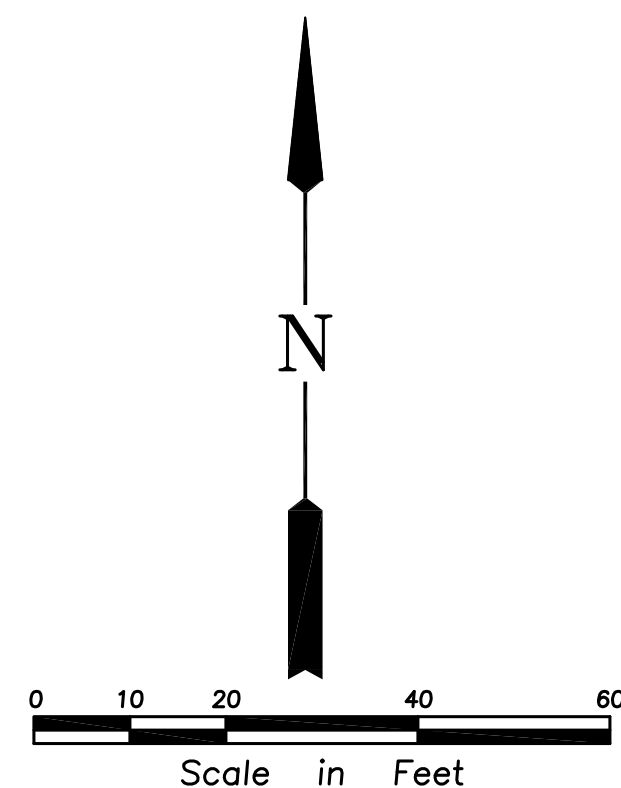
UTILITY NOTES

- ① - All sewer services to extend to a point 5' from proposed building.
- ② - Bring water main into proposed building and cap at the floor.
- ③ - Verify all service locations and inverts with mechanical engineer before construction.
- ④ - All watermain to have a minimum of 7.5' of cover.
- ⑤ - Maintain a minimum of 18" vertical separation between watermain & sewer.
- ⑥ - Replace retaining wall after installation of storm sewer. Match existing wall type.
- ⑦ - Connect to downspout per detail 11/CS
- ⑧ - City of Lakeville GIS indicates the possibility of water services for townhouses to the north. The Contractor shall notify the Engineer if any additional services not depicted are found in the field.

LEGEND

● ■	PROPOSED MANHOLE/CATCH BASIN	— · —	BOUNDARY/ROW/BLOCK LINE
•	PROPOSED CLEANOUT	- - - -	EASEMENT
◆	PROPOSED HYDRANT	- - - -	BUILDING/PARKING SETBACK LINE
⋈	PROPOSED GATE VALVE	— W —	EXISTING WATERMAIN
◀	PROPOSED FLARED END	— S —	EXISTING SANITARY SEWER
→ →	PROPOSED STORM SEWER	— ST —	EXISTING STORM SEWER
→ →	PROPOSED SANITARY SEWER	— G —	EXISTING BURIED GAS LINE
— + —	PROPOSED WATERMAIN	— E —	EXISTING BURIED ELECTRIC LINE
□	PROPOSED CONCRETE	— C —	EXISTING BURIED COMMUNICATION LINE
■	PROPOSED BITUMINOUS	— OHU —	EXISTING OVERHEAD UTILITY LINE
		— 980 —	EXISTING CONTOUR
		x 995.50	EXISTING ELEVATION

EXHIBIT H



Issued

7-24-24	CITY SUBMITTAL
9-15-24	CITY COMMENTS
10-25-24	CITY COMMENTS
11-1-24	CITY COMMENTS

UTILITY PLAN
KENRICK CORNER SECOND ADDITION
CITY OF LAKEVILLE

SHEET NUMBER

C4

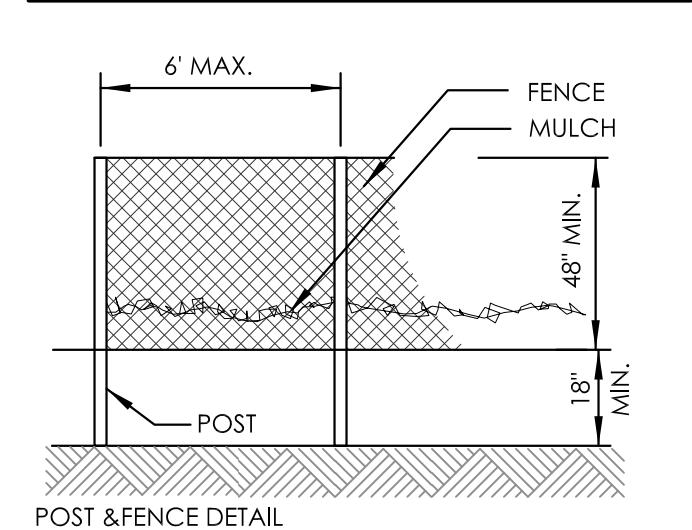
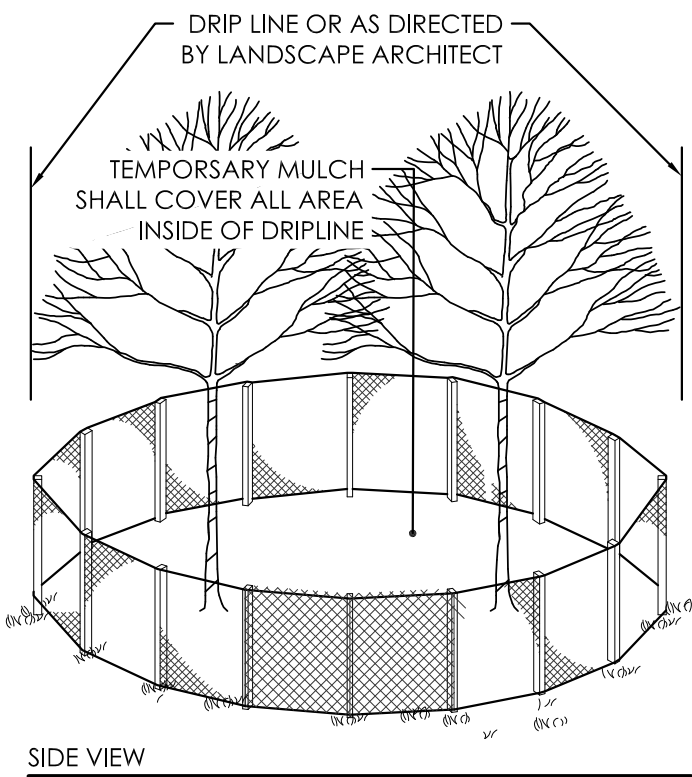
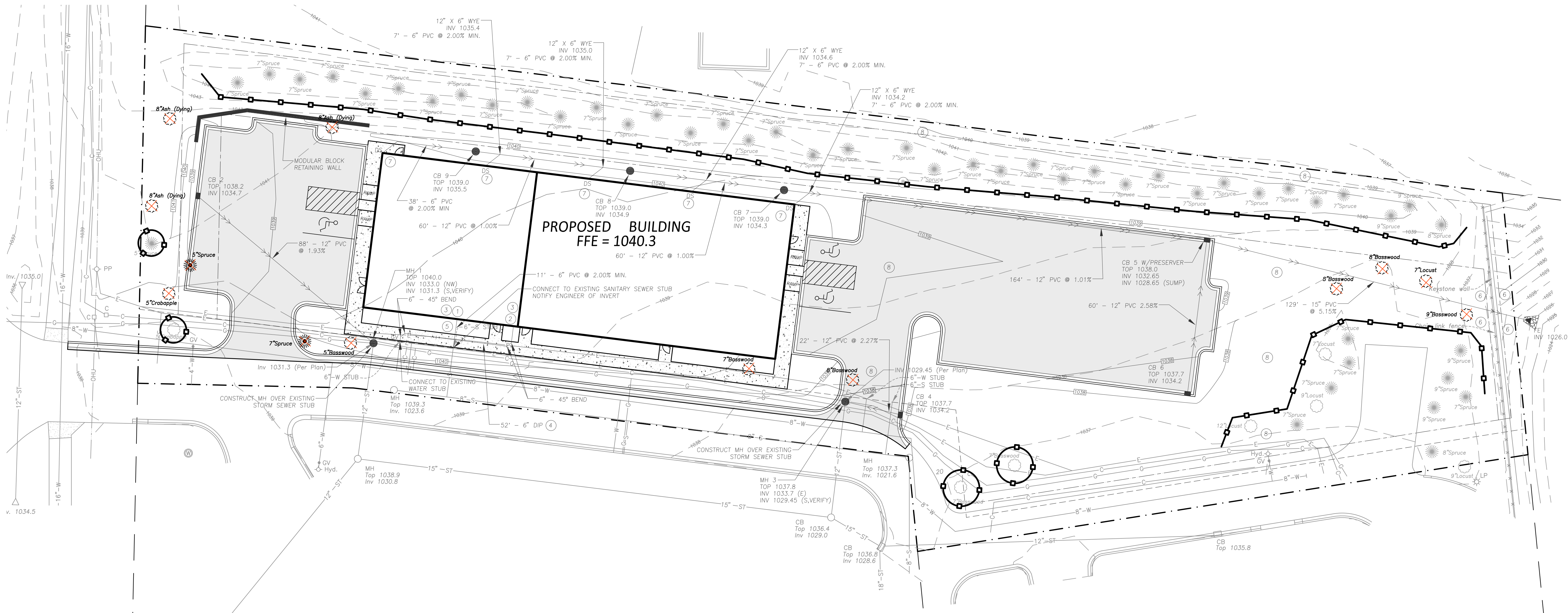
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Benjamin J. Quaes Date 11-1-24
Name Benjamin J. Quaes Reg. No. 59732

REHDER
& ASSOCIATES, INC.
Civil Engineers & Land Surveyors

3440 Federal Drive, Suite 110
Lakeville, MN 55044
Telephone 651-452-5051
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PROJECT NO.: 241-1321.179 DRAWING FILE: 1321179.DWG



GOPHER STATE ONE CALL

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TWIN CITY AREA 651-454-0002
MN. TOLL FREE 1-800-252-1166

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NOTES:

1. THE FENCE SHALL BE LOCATED AT THE DRIP LINE OF THE TREE TO BE SAVED AND IN NO CASE CLOSER THAN 5 FEET TO THE TRUNK OF ANY TREE.
2. FENCE POSTS SHALL BE WITHER STANDARD STEEL POSTS OR WOOD POSTS A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQ. IN.
3. THE FENCE MAY BE EITHER A 48" HIGH CHAIN-LINK FENCE, 48" HIGH SNOW FENCE, OR ANY OTHER MATERIAL AS APPROVED BY THE LANDSCAPE ARCHITECT.
4. THE CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT CONSTRUCTION, A PROTECTIVE LAYER OF WOOD MULCH AT A MINIMUM DEPTH OF 12 INCHES FOR VEHICLE ACCESS.

TREE INVENTORY

TAG	SIZE	SPECIES	SIGNIFICANT	REMOVE	REMAIN	TAG	SIZE	SPECIES	SIGNIFICANT	REMOVE	REMAIN
1132	8	SPRUCE	YES		X	1197	9	SPRUCE	YES		X
1149	7	BASSWOOD	YES		X	1198	7	LOCUST	YES		X
1150	7	BASSWOOD	YES		X	1203	8	SPRUCE	YES		X
1151	12	LOCUST	YES		X	1204	9	SPRUCE	YES		X
1152	7	SPRUCE	YES		X	1205	9	SPRUCE	YES		X
1158	7	SPRUCE	YES		X	1206	7	SPRUCE	YES		X
1159	7	SPRUCE	YES		X	1207	7	SPRUCE	YES		X
1160	7	SPRUCE	YES		X	1208	7	SPRUCE	YES		X
1161	7	SPRUCE	YES		X	1209	7	SPRUCE	YES		X
1162	7	SPRUCE	YES		X	1210	7	SPRUCE	YES		X
1163	7	SPRUCE	YES		X	1211	7	SPRUCE	YES		X
1164	7	SPRUCE	YES		X	1212	7	SPRUCE	YES		X
1165	7	SPRUCE	YES		X	1213	7	SPRUCE	YES		X
1166	7	SPRUCE	YES		X	1214	7	SPRUCE	YES		X
1167	7	SPRUCE	YES		X	1215	7	SPRUCE	YES		X
1168	7	SPRUCE	YES		X	1216	7	SPRUCE	YES		X
1169	7	SPRUCE	YES		X	1217	7	SPRUCE	YES		X
1170	7	SPRUCE	YES		X	1218	7	SPRUCE	YES		X
1171	7	SPRUCE	YES		X	1219	7	SPRUCE	YES		X
1172	7	SPRUCE	YES		X	1220	7	SPRUCE	YES		X
1173	7	SPRUCE	YES		X	1221	7	SPRUCE	YES		X
1174	7	SPRUCE	YES		X	1222	7	SPRUCE	YES		X
1175	7	SPRUCE	YES		X	1223	5	BASSWOOD	NO	X	
1185	9	LOCUST	YES		X	1224	7	SPRUCE	YES	X	
1186	7	SPRUCE	YES		X	1225	5	CRABAPPLE	NO		X
1187	7	SPRUCE	YES		X	1226	5	CRABAPPLE	NO	X	
1188	7	SPRUCE	YES		X	1227	5	SPRUCE	NO		X
1189	8	BASSWOOD	YES	X		1228	5	SPRUCE	NO	X	
1190	8	BASSWOOD	YES	X		9001	8	ASH(DYING)	NO	X	
1191	9	LOCUST	YES	X		9002	8	ASH(DYING)	NO	X	
1192	9	BASSWOOD	YES	X		9003	8	ASH(DYING)	NO	X	
1193	9	SPRUCE	YES		X	9005	7	BASSWOOD	YES	X	
1194	9	SPRUCE	YES		X	9006	8	BASSWOOD	YES	X	
1196	7	SPRUCE	YES		X						

TREE PRESERVATION CALCULATIONS

TOTAL TREES ON SITE = 67 TREES
SIGNIFICANT TREES ON SITE = 59 TREES
PROPOSED TREE REMOVALS = 13 TREES
SIGNIFICANT TREE REMOVAL = 7 TREES

REPLACEMENT TREES REQUIRED = 14 TREES (SEE LANDSCAPE PLAN)

EXHIBIT I



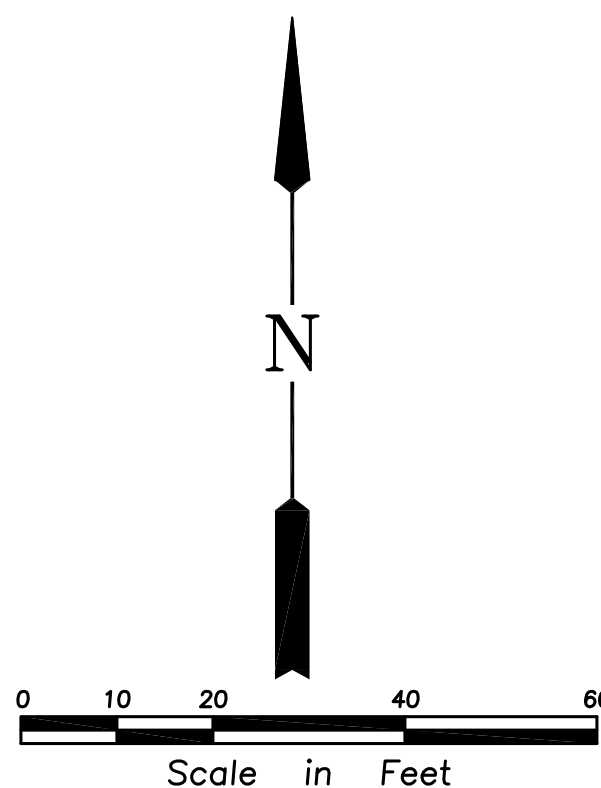
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

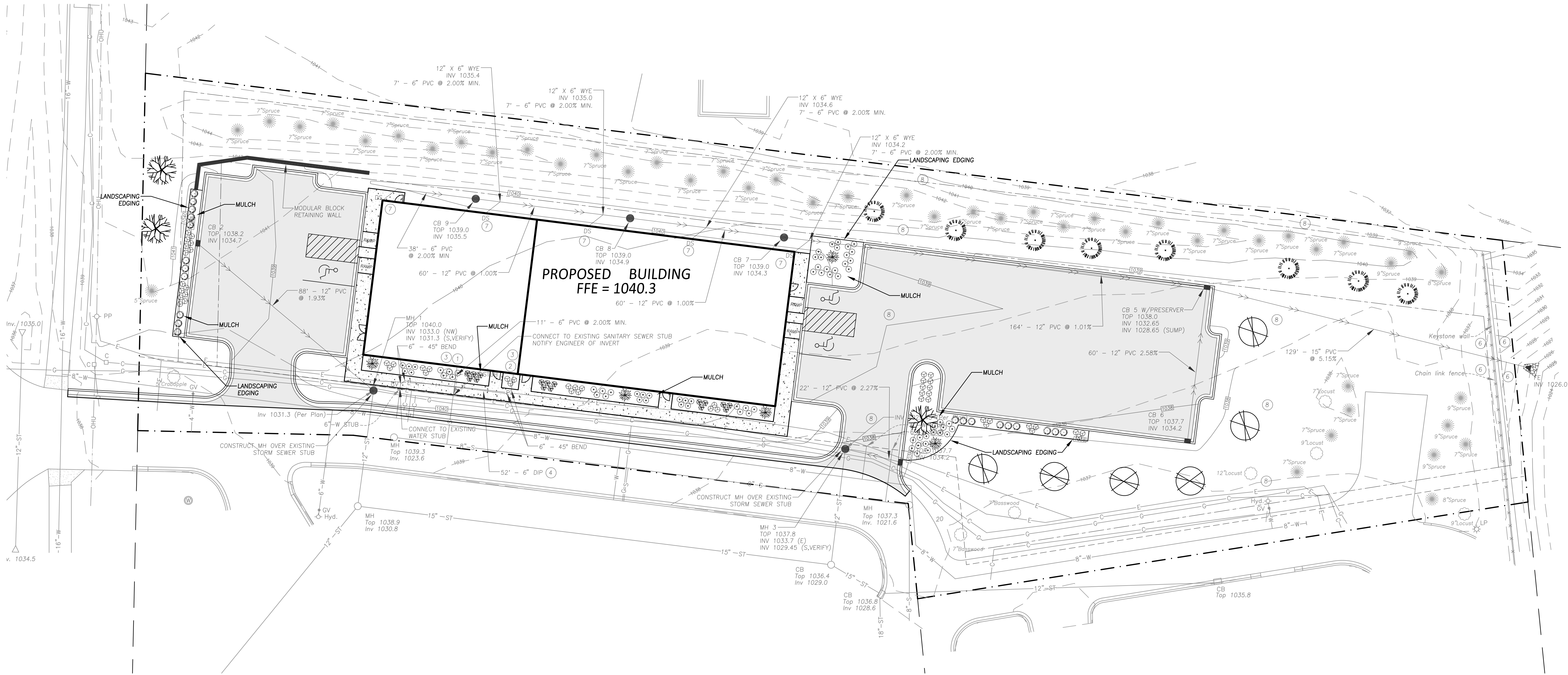
Jason Aune

Name Jason Aune Date 11-1-24
Reg. No. 42162

LEGEND

- TREE PROTECTION FENCING
- TREE TO REMAIN
- TREE TO REMOVE





GOPHER STATE ONE CALL

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PLANT, SHRUB AND TREE LIST

PLANTS & SHRUBS

SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE/ROOT
	50	Calamagrostis acutiflora	Karl Foerster	2 Gallon (24")
	27	Echinacea purpurea	Purple Coneflower	1 Gallon (18")
	39	Hosta 'Blueberry Muffin'	Hosta	1 Gallon (36")
	16	Rudbeckia hirta	Black Eyed Susan	1 Gallon (18")
	20	Thuja occidentalis 'Thusid4'	Emerald Petite Arborvitae	6 Gallon (24")
	5	Syringa patula 'Miss Kim'	Miss Kim Lilac	10 Gallon (48")

TOTAL 157

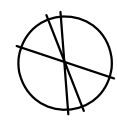
TREES

SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE/ROOT
	3	Ulmus davidiana var. japonica 'Discovery'	Discovery Elm	2 - 1/2" B&B
	3	Betula papyrifera	Paper Birch	2 - 1/2" B&B
	4	Picea glauca var. dens	Black Hills Spruce	8' B&B
	4	Pinus strobus	White Pine	8' B&B
	3	Malus 'Pink Spires'	Pink Spires Flowering Crabapple	2" B&B

TOTAL 17

PLANTING SYMBOL LEGEND

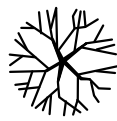
DECIDUOUS TREE



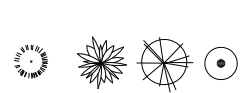
CONIFEROUS TREE



ORNAMENTAL TREE



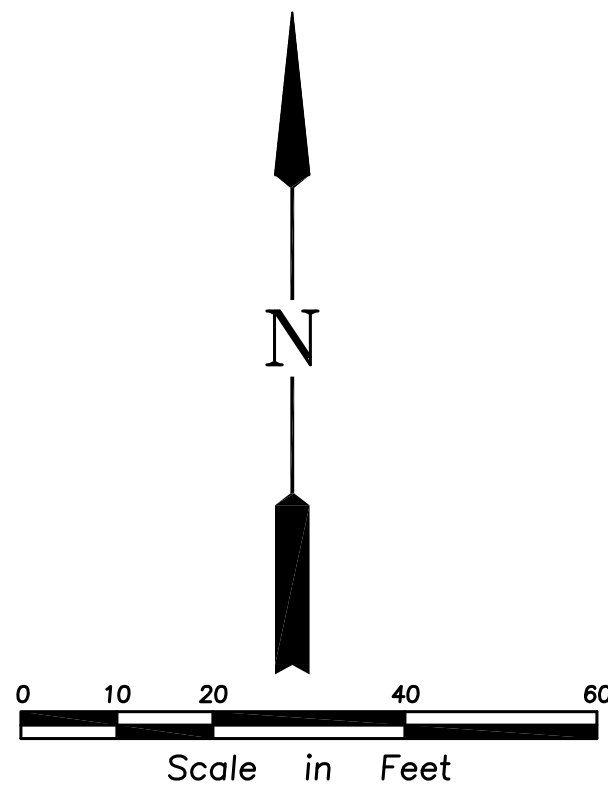
PROPOSED SHRUB



PERENNIAL/GRASS



EXHIBIT J



Issued

9-13-24 ADDRESS CITY COMMENTS
10-25-24 ADDRESS CITY STORMWATER COMMENTS
11-1-24

LANDSCAPE PLAN
KENRICK CORNER SECOND ADDITION
CITY OF LAKEVILLE

SHEET NUMBER

L1

Luminaire Schedule										
Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts
	1		65-842_Back Shield	Single	18342	1.000	150W LED AREA LIGHT TYPE III W/ 65-877	152.742	152.742	152.742
	2	A	65-842	Single	19488	1.000	150W AREA LIGHT TYPE III	150	150	300
	2	B	65-672	Single	8237	1.000	60W FULL CUTOFF WALL PACK	53.3152	53.315	106.63

Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb	Meter Type
EAST PARKING AREA	Illuminance	Fc	2.62	13.9	0.2	13.10	69.50	READINGS TAKEN AT 0" AFG	10	10	Horizontal
PROPERTY LINE	Illuminance	Fc	0.14	0.9	0.0	N.A.	N.A.	READINGS TAKEN AT 0" AFG	10	N.A.	Horizontal
WEST PARKING LOT	Illuminance	Fc	2.87	13.3	0.5	5.74	26.60	READINGS TAKEN AT 0" AFG	10	10	Horizontal

TARGET ILLUMINANCE: 1-2 FC
READINGS TAKEN AT: 0" AFG
FIXTURE MTG HT: 25' AFG

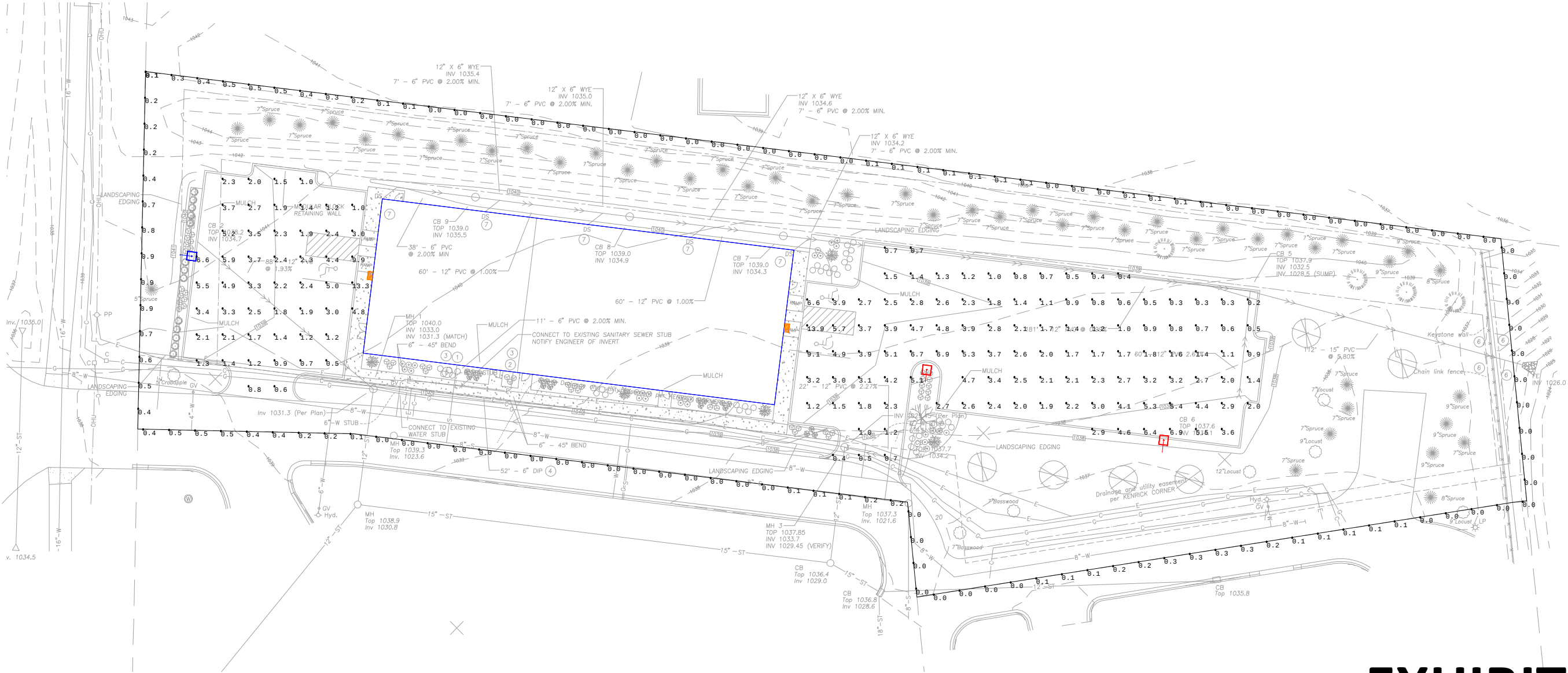


EXHIBIT K



Scale: 1 inch= 42.86 Ft.

Disclaimer: The Lighting Analysis ("Lighting Design") provided by Satco Products, Inc. represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by Satco Products, Inc. and therefore actual measured results may vary from the actual field conditions. Satco Products, Inc. recommends that design parameters and other information be field verified to reduce variation. Satco Products, Inc. neither warrants, either implied or stated, regarding actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. Satco Products, Inc. neither warrants, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design in compliance with any applicable regulatory code requirements except for those specifically stated on drawings created and submitted by Satco Products, Inc. The Lighting Design is issued, in whole or in part, as advisory documents for informational purposes and is not intended for construction nor as being part of a project's construction documentation package.



Scale: As Noted

Date: 12/23/2024

Job Name: Mesenbrink on Lakeville

Prepared For: Winsupply

By: Satco Products, Inc. 110 Heartland Blvd. Brentwood, NY 11717

Filename: Mesenbrink on Lakeville.AGI

Lighting Layout: Version A

Drawn By: Nathan

Prepared For: Winsupply

By: Satco Products, Inc. 110 Heartland Blvd. Brentwood, NY 11717

Filename: Mesenbrink on Lakeville.AGI



Project/Job Name: _____

Location: _____

Fixture Type: _____

Notes: _____

65-672 - 60 Watt Full Cutoff LED Wall Pack; CCT Selectable;
7200-7500 Lumens; DLC Premium

- CCT Selectable
- Has Driver



ELECTRICAL

Technology:	LED
Watts:	60W
Volts:	120V-277V
Lumens:	7200L-7500L
Lamp Base :	Integrated
CRI:	80
CCT (Kelvins):	3000K/4000K/5000K
Beam Spread :	90x100
Hours Rated:	50000
Dimmable:	Yes-Dimmable
Dimmable Down To %:	100 to 20 percent
Incandescent Equivalent :	400W
HID Equivalent :	150W-200W
Operating Temperature :	-40C (-40F) to +40C (+104F)
Lamp Included :	Integrated
Replaceable Light Source :	No
Connection:	Hardwire
Surge Protection :	Built-in surge protection - 4KV
THD:	10.42%
Power Factor :	>0.9
Voltage Type:	Range Voltage
Warranty:	5 Year Limited - Fixtures

PACKAGING

Each UPC:	045923655272
Each Quantity:	1
Each Dimensions:	13.78 x 7.28 x 9.06
Case UPC:	10045923655279
Case Quantity:	4
Case Dimensions:	15.55 x 14.57 x 19.49

PHYSICAL

Finish:	Bronze
Lens Material:	Impact Resistant PC
Dimensions:	W:12.61" H:5.09" E:6.86"
Weight (Lbs.):	5.07
Material:	Die-Cast Aluminum

INSTALLATION

Wire Temperature:	105C (221F)
-------------------	-------------

COMPLIANCE

Safety Listing:	cULus - Certified
Location Rating:	Wet
Indoor/Outdoor:	Outdoor
Energy Star Qualified:	No
DLC Approved:	Yes
DLC Classification:	Premium
DLC ID:	PLXV561HFHT2
CA Prop 65:	Lead
BAA Compliant:	No
NOM Certificate No.:	NTEC21ELM006566!NTEC21ELM006566-FR1
NOM Expiration Date:	11/10/2022
ADA Compliant:	No
FCC Compliant:	Yes
IP Rating:	IP65
RoHS Compliant:	Yes
B.U.G Rating:	B2-U2-G1
Restrictions:	No Restrictions



Project/Job Name:

Location:

Fixture Type:

Notes:



65-842 - LED Area Light Type III; 150W; Bronze Finish; 4000K; 120-277V



ELECTRICAL

Technology:	LED
Watts:	150W
Volts:	120V-277V
Lumens:	19507L
Lamp Base :	Integrated
CRI:	80
Rg Value :	12
CCT (Kelvins):	4000K
Hours Rated:	50000
Dimmable:	Yes-Dimmable
Dimmable Down To %:	100 to 20 percent
Incandescent Equivalent :	450W
HID Equivalent :	320W
Operating Temperature :	-40C (-40F) to +45C (+113F)
Lamp Included :	Integrated
Number of Lamps :	1
Replaceable Light Source :	No
Connection:	Hardwire
Surge Protection :	Built-in surge protection - 4KV
THD:	15%
Power Factor :	>0.9
Voltage Type:	Range Voltage
Warranty:	5 Year Limited - Fixtures

PACKAGING

Each UPC:	045923651472
Each Quantity:	1
Each Dimensions:	23.23 x 14.37 x 5.71
Case UPC:	10045923651479
Case Quantity:	1
Case Dimensions:	23.23 x 14.37 x 5.71

INFO

Additional Info:	Powder Coated
Specification Note:	Type III Light Distribution
Includes:	2-3/8 inch Slip-fitter Mount

PHYSICAL

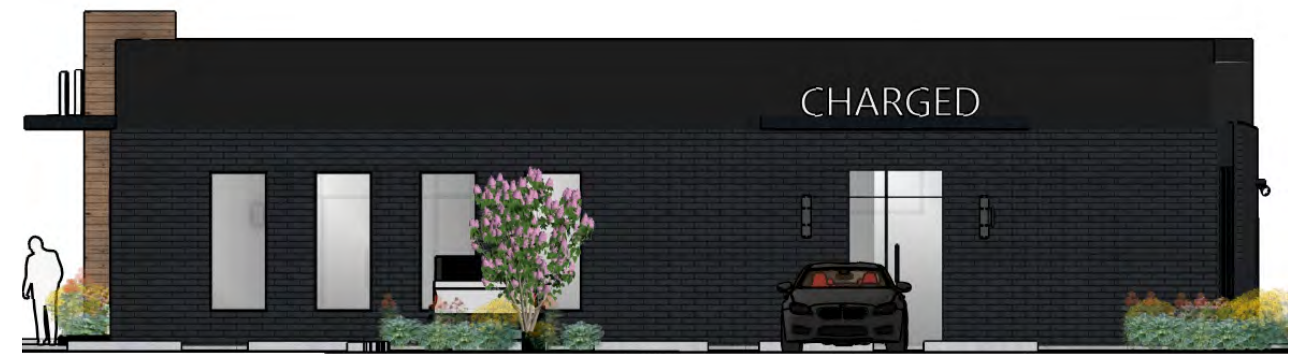
Finish:	Bronze
Lens Material:	Polycarbonate (PC)
Dimensions:	L:20.71" W:12.40" H:3.11"
Weight (Lbs.):	8.08
Material:	Die-Cast Aluminum
Sensor:	Optional

COMPLIANCE

Safety Listing:	cULus - Certified
Location Rating:	Wet
Indoor/Outdoor:	Indoor; Outdoor
Energy Star Qualified:	No
DLC Approved:	Yes
DLC Classification:	Premium
DLC ID:	PLIL4Z6YAG9O
CA Prop 65:	Lead
BAA Compliant:	No
ADA Compliant:	No
FCC Compliant:	Yes
IP Rating:	IP65
IK Rating:	IK10
RoHS Compliant:	Yes
B.U.G Rating:	B3-U2-G3
Restrictions:	No Restrictions



west elevation



east elevation



south elevation



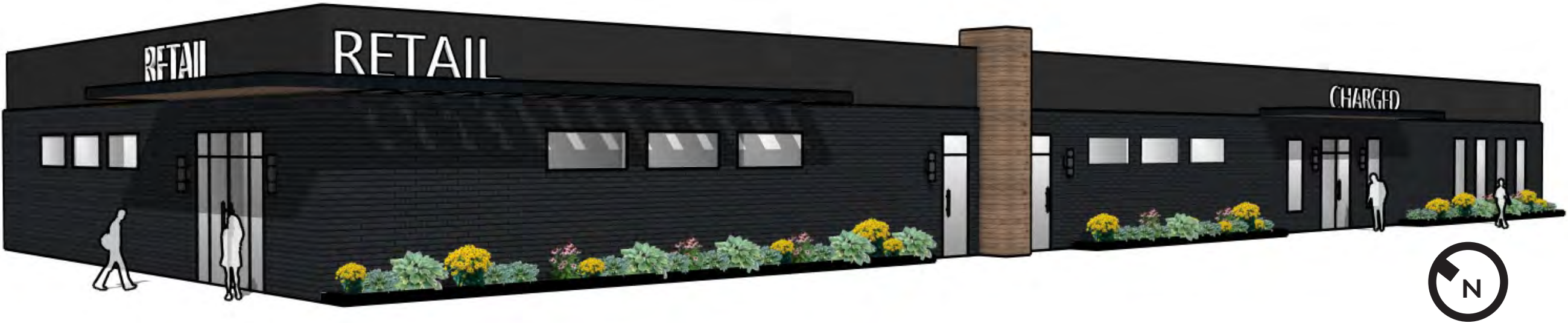
north elevation



material breakdown by elevation:

		South	%	East	%	North	%	West	%
Grade A									
	Brick	1,444	56%	552	52%	1,415	56%	509	48%
	Glass	368	14%	134	13%	105	4%	177	17%
	Sub Total	1,812	70%	686	65%	1,520	60%	686	65%
Grade B/C									
	IMP	691	27%	272	26%	812	32%	267	25%
	Sub Total	691	27%	272	26%	812	32%	267	25%
Grade D									
	Wood	-	0%	64	6%	-	0%	63	6%
	Arch Metal	73	3%	33	3%	211	8%	39	4%
	Sub Total	73	3%	97	9%	211	8%	102	10%
	Total SF	2,576	1.00	1,055	1.00	2,543	1.00	1,055	1.00
	Total Building	7,229		C3 General Commercial District Requirements					
	Grade A	65%		65%	Min				
	Grade B/C	28%		35%	Max				
	Grade D	7%		10%	Max				

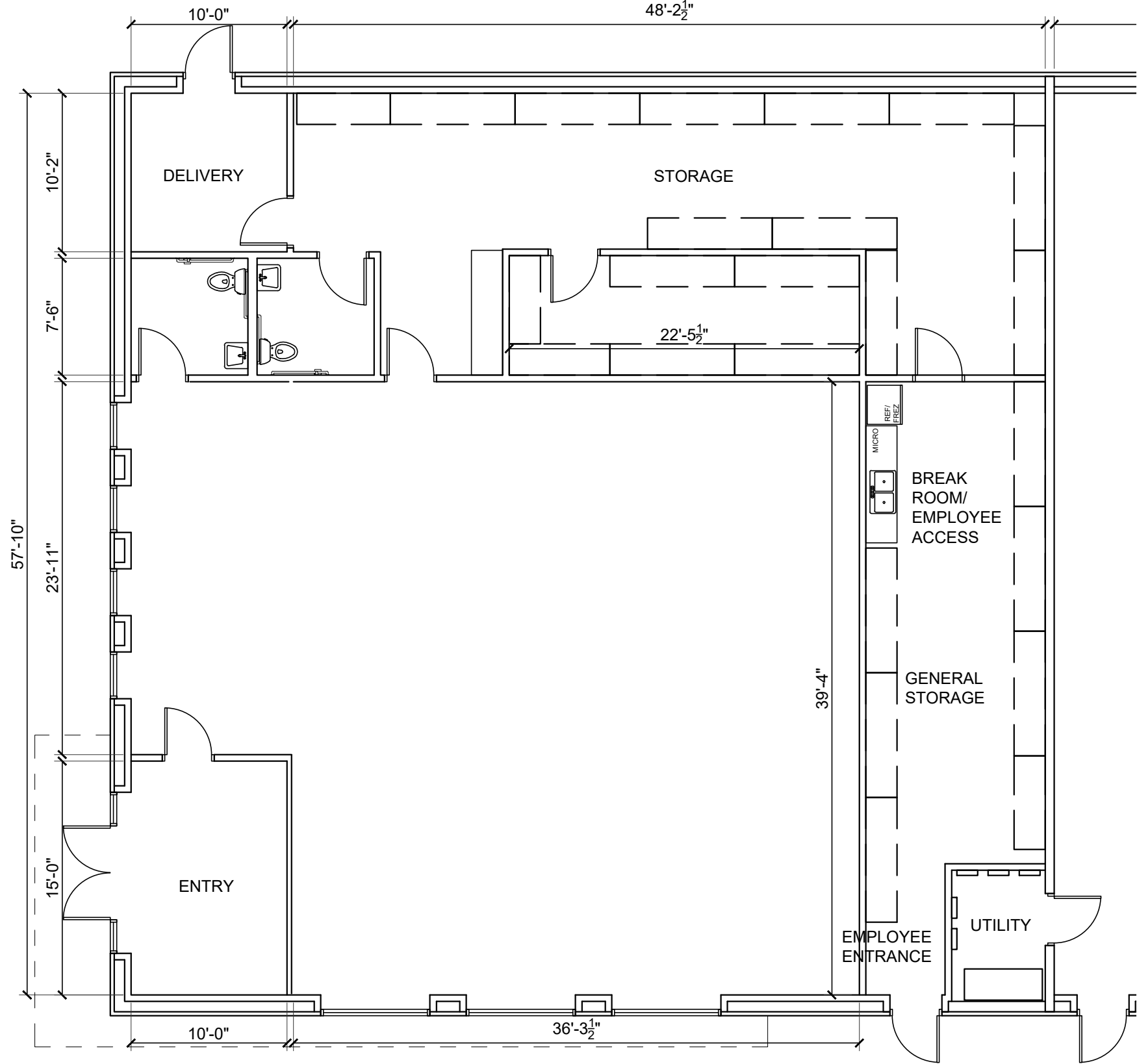
southwest perspective.



southwest perspective with surrounding properties.



DRAFT Retail Floor Plan
(West Elevation)



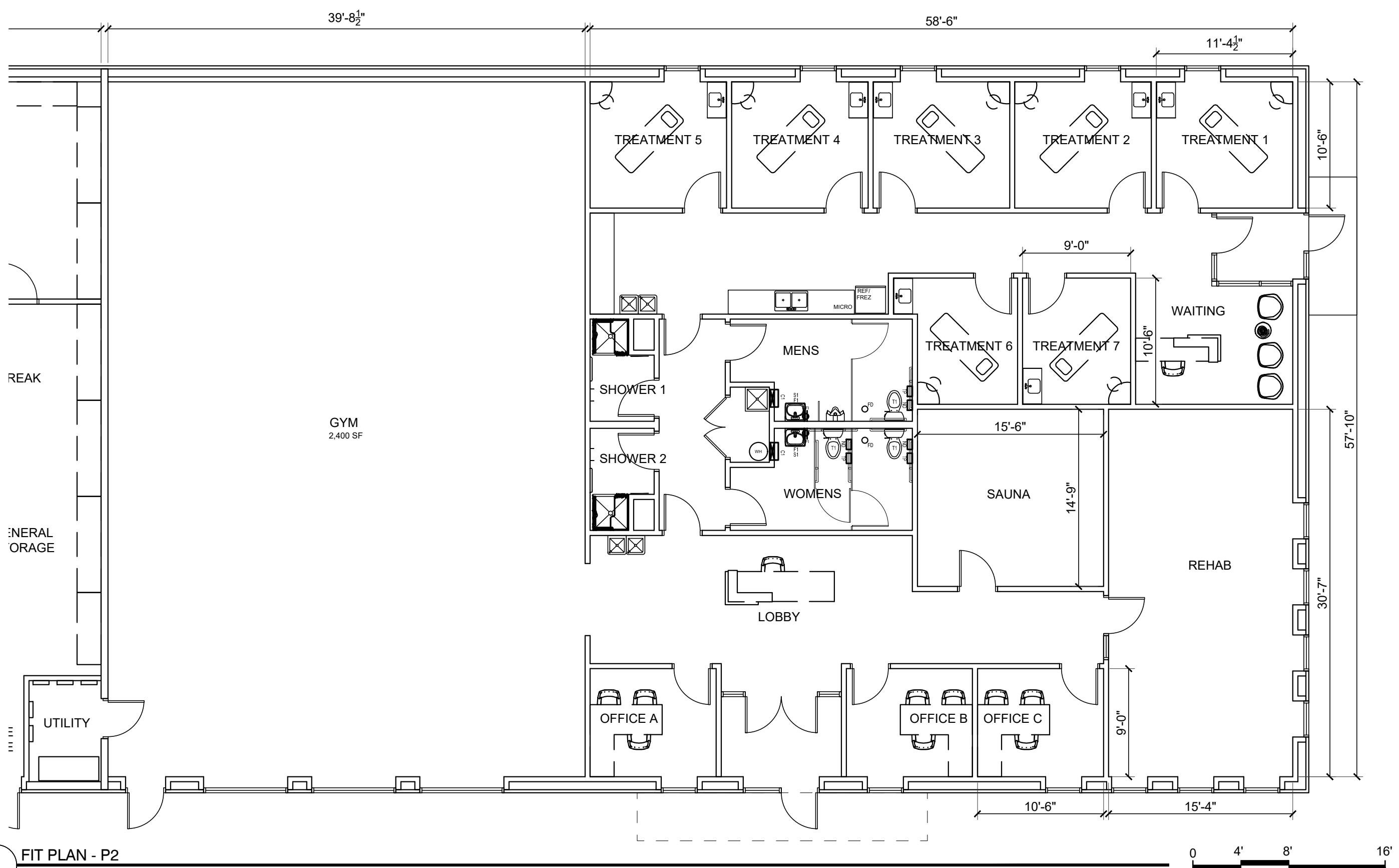
1 FIT PLAN - P2
1/8" = 1'-0"



Kenrick Ave Retail

09.11.2024



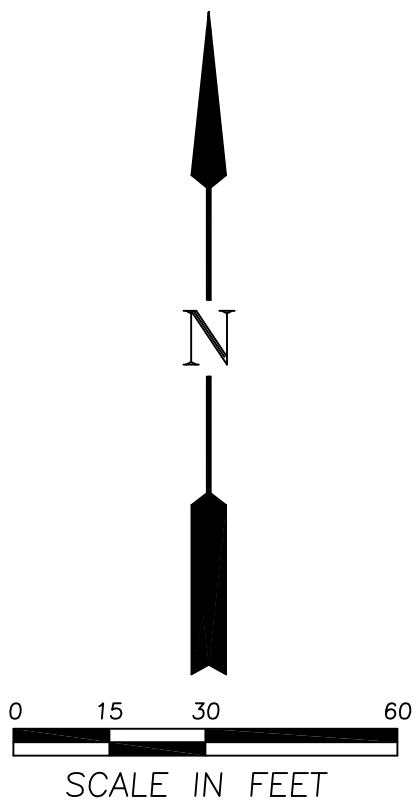
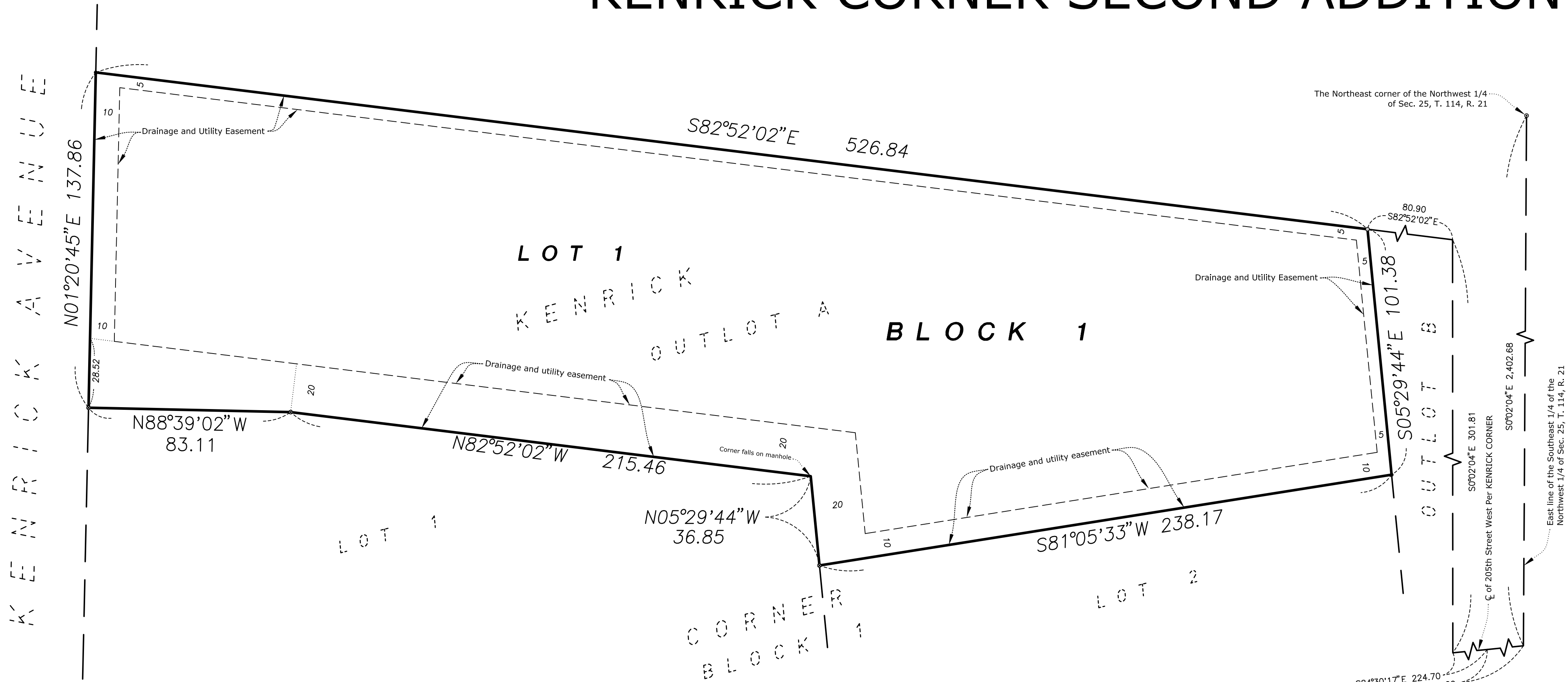


1 FIT PLAN - P2
1/8" = 1'-0"

Kenrick Ave Wellness & Rehab Center

09.11.2024

KENRICK CORNER SECOND ADDITION



Bearings are based on the North line of Outlot A, KENRICK CORNER having a bearing of S82°52'02\"/>

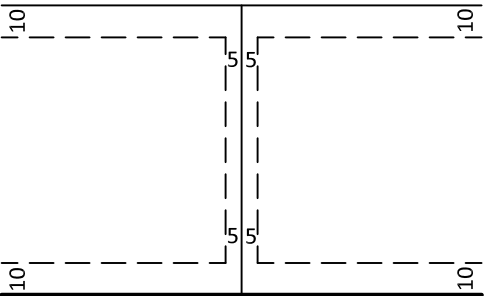
○ Denotes 1/2 inch by 14 inch iron monument set and marked by Minnesota License No. 22036.

⊗ Denotes Magnetic Nail Set

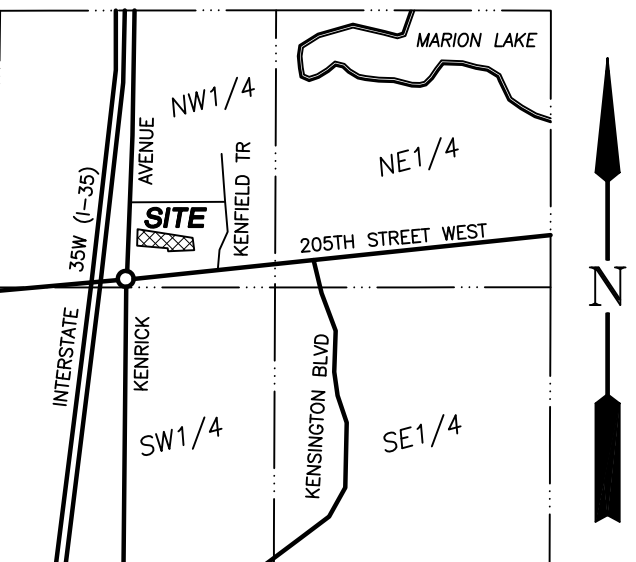
● Denotes found 1/2 inch iron pipe unless otherwise shown.

No monument symbols shown at any statute required location indicates a plat monument that will be set, and which shall be in place within one year of the recording date of the plat. Said monuments shall be 1/2 inch by 14 inch iron pipe marked by License No. 22036.

Drainage and Utility Easements are shown thus:



Being 5 feet in width and adjoining all side lot lines unless otherwise shown, and being 10 feet in width and adjoining all street lines and rear lot lines unless otherwise shown.



Vicinity Map
Section 25, Township 114, Range 21
No Scale

KNOW ALL PERSONS BY THESE PRESENTS: That Mesenbrink Construction & Engineering, Inc., a Minnesota corporation, owners of the following described property:

Outlot A, KENRICK CORNER, according to the recorded plat thereof, Dakota County, Minnesota.

Have caused the same to be surveyed and platted as KENRICK CORNER SECOND ADDITION and do hereby dedicate to the public for public use the public ways and the drainage and utility easements as created by this plat.

In witness whereof said Mesenbrink Construction & Engineering, Inc., a Minnesota corporation, has caused these presents to be signed by its partner this ____ day of _____, 2024.

Mesenbrink Construction & Engineering, Inc.

By _____
John E. Mesenbrink, President

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me on _____, 2024, by John E. Mesenbrink, President of Mesenbrink Construction & Engineering, Inc., a Minnesota corporation, on behalf of the corporation.

Signature _____
Printed _____
Notary Public, _____ County, Minnesota
My Commission Expires _____

I, Gary C. Huber do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 2024.

Gary C. Huber, Licensed Land Surveyor
Minnesota License No. 22036

COUNTY OF DAKOTA
STATE OF MINNESOTA

This instrument was acknowledged before me on _____, 2024, by Gary C. Huber.

Signature _____
Printed _____
Notary Public, _____ County, Minnesota
My Commission Expires _____

CITY COUNCIL, CITY OF LAKEVILLE, COUNTY OF DAKOTA, STATE OF MINNESOTA

This plat was approved by the City Council of Lakeville, Minnesota, this ____ day of _____, 2024, and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subd. 2.

By _____, Mayor By _____, Clerk

COUNTY SURVEYOR, COUNTY OF DAKOTA, STATE OF MINNESOTA

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of _____, 2024.

Todd B. Tollefson
Dakota County Surveyor

COUNTY BOARD, COUNTY OF DAKOTA, STATE OF MINNESOTA

We do hereby certify that on the ____ day of _____, 2024, the Board of Commissioners of Dakota County, Minnesota, approved this plat of NORTH CREEK SECOND ADDITION, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2, and pursuant to the Dakota County Contiguous Plat Ordinance.

Chair, County Board

County Treasurer-Auditor

DEPARTMENT OF PROPERTY TAXATION AND RECORDS, COUNTY OF DAKOTA, STATE OF MINNESOTA

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 2024 on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ____ day of _____, 2024.

Amy A. Koethe
Director Department of Property Taxation and Records

COUNTY RECORDER, COUNTY OF DAKOTA, STATE OF MINNESOTA

I hereby certify that this plat of NORTH CREEK SECOND ADDITION was filed in the office of the County Recorder for public record on this ____ day of _____, 2024 at ____ o'clock ____M., and was duly filed in Book _____ of Plats, Page _____, as Document Number _____.

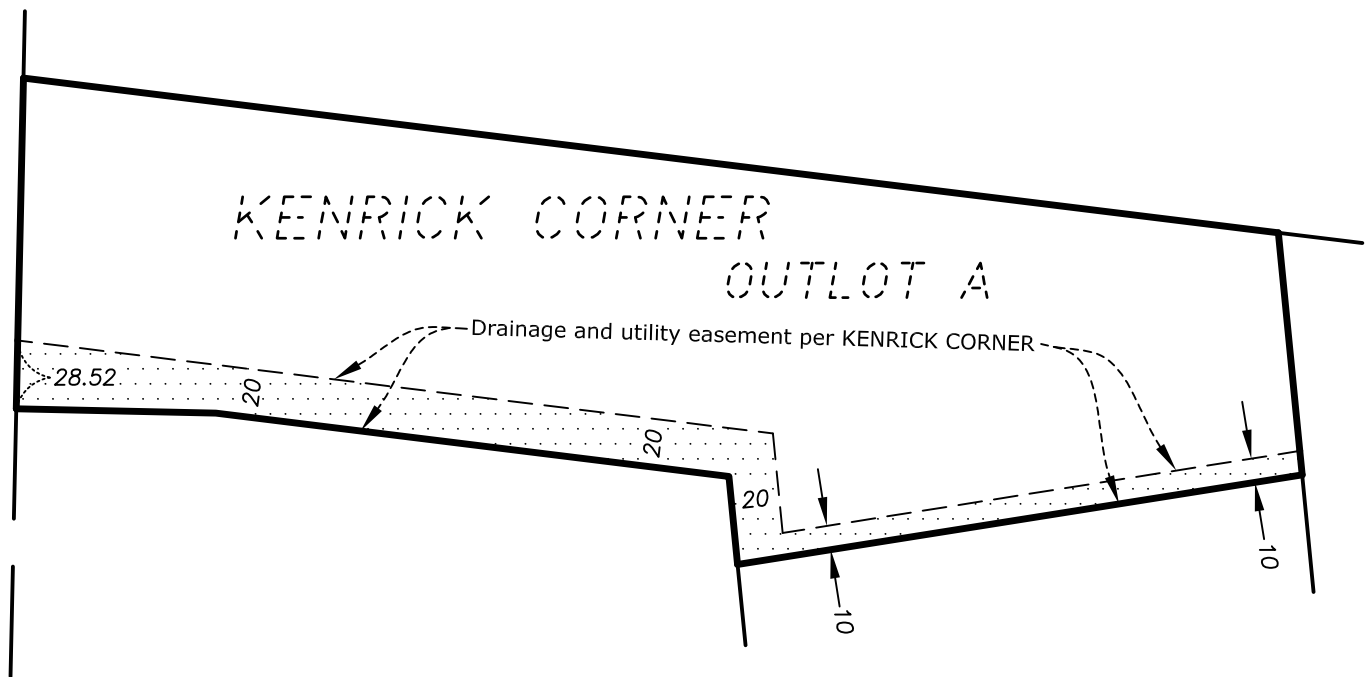
Amy A. Koethe
County Recorder

EXHIBIT D

Easement Vacation Sketch for:
MESENBRINK CONSTRUCTION

DESCRIPTION

All of the drainage and utility easement in Outlot A of KENRICK CORNER, according to the recorded plat thereof, Hennepin County, Minnesota.



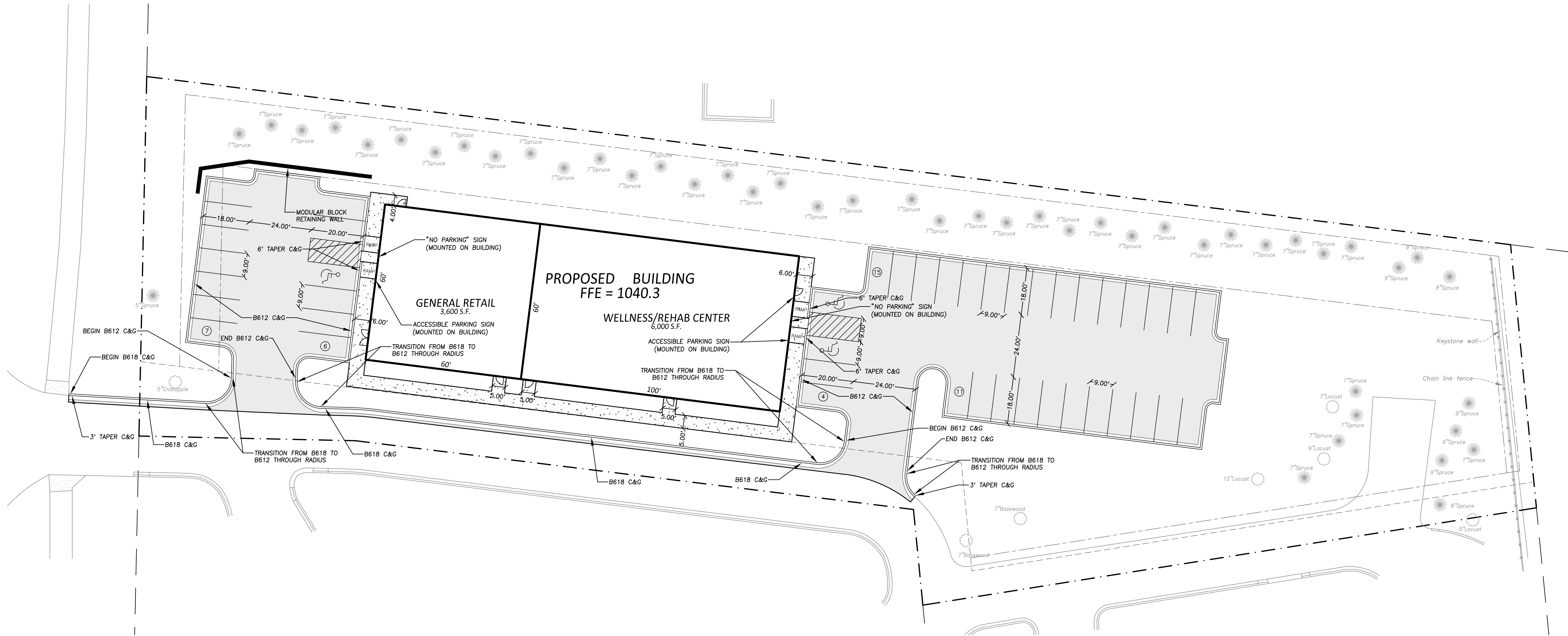
Scale: 1 inch = 100 feet

EXHIBIT E



**REHDER
& ASSOCIATES, INC.**
Civil Engineers & Land Surveyors

3440 Federal Drive, Suite 110
Eagan, MN 55122
Telephone: 651-452-5051
www.rehder.com



GOPHER STATE ONE CALL

CALL 48 HOURS BEFORE YOU DIG
TWIN CITY AREA 651-454-0002
MN. TOLL FREE 1-800-252-1166

CODE COMPLIANCE:

1. WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LAWS, CODES & REQUIREMENTS OF REGULATORY AGENCIES HAVING JURISDICTION.
2. NOTIFY THE OWNER'S ENGINEER OF DISCREPANCIES BETWEEN THE WORK AND APPLICABLE CODES. DO NOT WORK IN AN AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED.
3. VERIFY CODES IN EFFECT AT THE TIME OF THE NOTICE TO PROCEED AND STAY CURRENT WITH CODE CHANGES WHICH AFFECT THE WORK UNTIL SUBSTANTIAL COMPLETION.

PARKING STALLS REQUIRED

BUILDING USE	BUILDING AREA	10% BLDG REDUCTION	STALL REQUIREMENT	STALLS REQUIRED
GENERAL RETAIL	3,600 S.F.	3,240 S.F.	1 STALL/200 S.F.	16 STALLS
WELLNESS/REHAB CENTER (MEDICAL)	6,000 S.F.	5,400 S.F.	1 STALL/200 S.F.	27 STALLS
TOTAL STALLS REQUIRED:				43 STALLS

PARKING STALLS PROVIDED

STANDARD STALLS	ACCESSIBLE STALLS	TOTAL
40	3	43

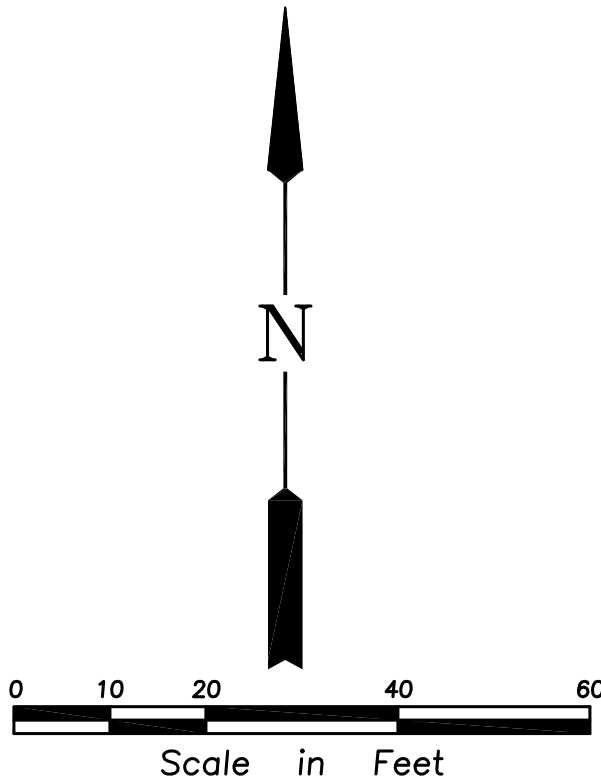
SITE SUMMARY

SITE AREA = 1.61 ACRES
DISTURBED AREA = 0.97 ACRES
EXISTING IMPERVIOUS AREA = 0.16 ACRES
POST CONSTRUCTION IMPERVIOUS AREA = 0.77 ACRES
NEW & RECONSTRUCTED IMPERVIOUS AREA = 0.62 ACRES

LEGEND

- BOUNDARY/ROW/BLOCK LINE
- - - EASEMENT
- - - BUILDING/PARKING SETBACK LINE
- PROPOSED CONCRETE
- PROPOSED BITUMINOUS

EXHIBIT F

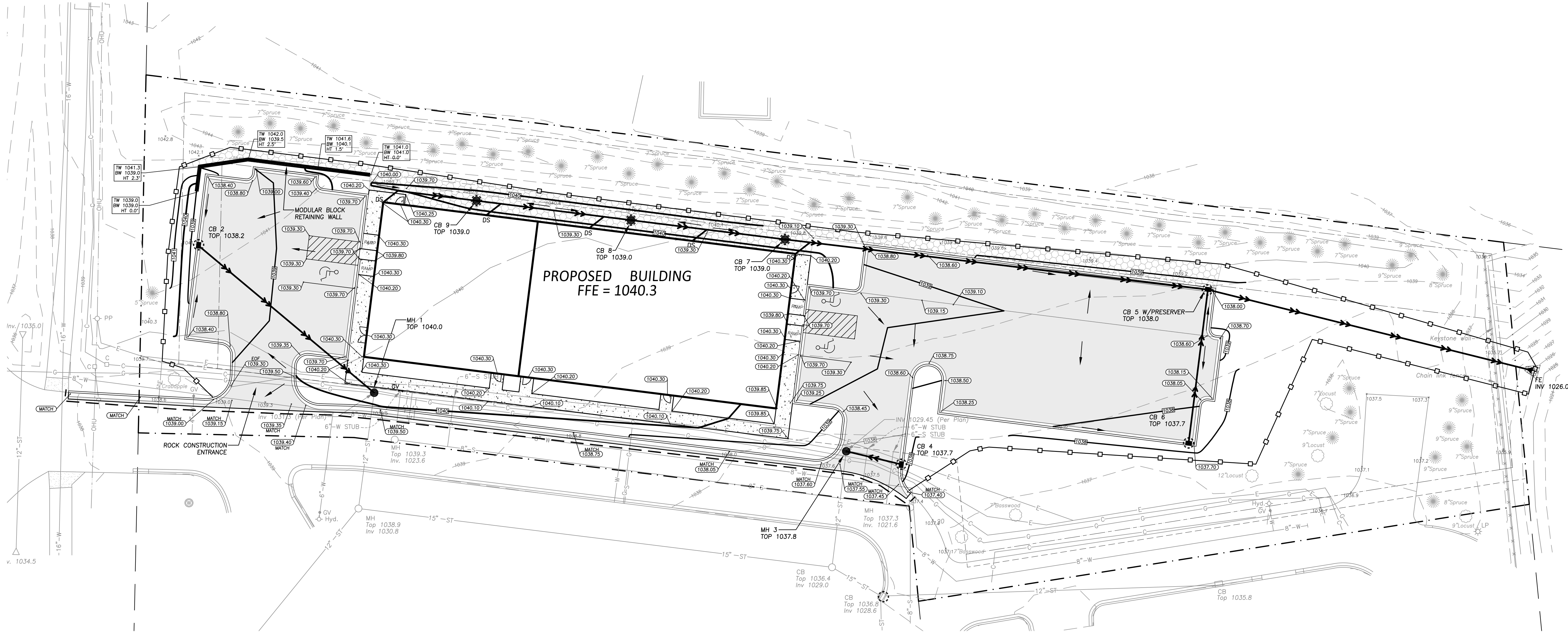


SITE DIMENSION PLAN
KENRICK CORNER SECOND ADDITION
CITY OF LAKEVILLE

SHEET NUMBER
C2

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Benjamin J. Quaes Date 11-1-24
Name Benjamin J. Quaes Reg. No. 59732

7-24-24	Issued
9-15-24	CITY SUBMITTAL
10-25-24	ADDRESS CITY COMMENTS
11-1-24	ADDRESS CITY STORMWATER COMMENTS



NOTE: INSTALL INLET PROTECTION DEVICE IN NEAREST
DOWNSTREAM CATCH BASIN OR AS DIRECTED BY THE CITY.

EROSION PREVENTION & SEDIMENT CONTROL BMP'S

ITEM	QUANTITY
SILT FENCE	975 L.F.
ROCK CONSTRUCTION ENTRANCE	50 TONS 1"-2" WASHED ROCK
INLET PROTECTION (PRE-CASTING)	7 DEVICES
INLET PROTECTION (POST-CASTING)	8 DEVICES
EROSION CONTROL BLANKET (CAT. 20)	390 S.Y.
SEDIMENT LOGS	350 L.F.

GOPHER STATE ONE CALL

CALL 48 HOURS BEFORE YOU DIG
TWIN CITY AREA 651-454-0002
MN. TOLL FREE 1-800-252-1166

CODE COMPLIANCE:

- WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LAWS, CODES & REQUIREMENTS OF REGULATORY AGENCIES HAVING JURISDICTION.
- NOTIFY THE OWNER'S ENGINEER OF DISCREPANCIES BETWEEN THE WORK AND APPLICABLE CODES. DO NOT WORK IN AN AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED.
- VERIFY CODES IN EFFECT AT THE TIME OF THE NOTICE TO PROCEED AND STAY CURRENT WITH CODE CHANGES WHICH AFFECT THE WORK UNTIL SUBSTANTIAL COMPLETION.

GRADING NOTES

- All elevations shown are to final surfaces.
- Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.

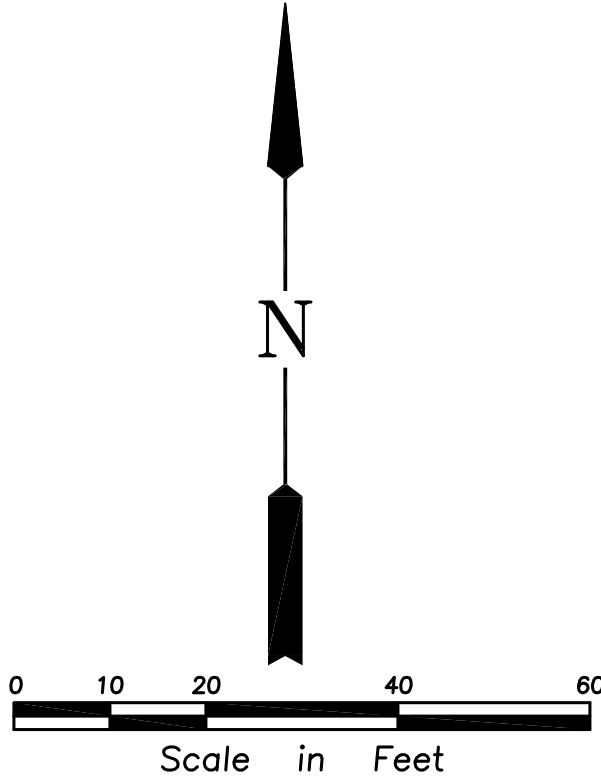
EROSION CONTROL NOTES

- Contractor is responsible for all notifications and inspections required by General Storm Water Permit.
- All erosion control measures shown shall be installed prior to grading operations and maintained until all areas disturbed have been restored.
- Sweep paved public streets as necessary where construction sediment has been deposited within 24 hours.
- Each area disturbed by construction shall be restored per the specifications within 14 days after the construction activity in that portion of the site has temporarily or permanently ceased.
- Temporary soil stockpiles must have silt fence around them and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.
- The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water.
- All pipe outlets must be provided with temporary or permanent energy dissipation within 24 hours of connection to a surface water.
- Excess concrete/water from concrete trucks shall be disposed of in portable washout concrete basin or disposed of in a contained area.
- Spring/Summer temporary turf establishment shall be MNDOT Seed Mixture 110 @ 100 lbs/acre and mulch shall be MNDOT Type 1.
- Winter temporary turf establishment shall be MNDOT Seed Mixture 100 @ 100 lbs/acre and mulch shall be MNDOT Type 1.
- All disturbed areas shall be restored with commercial turf establishment, MNDOT seed Mixture 25-131 @ 220 lbs/acre, fertilizer shall be 10-10-10(NPK) commercial grade, and mulch shall be MNDOT Type 1.

LEGEND

- | | | | |
|-----------|--|----------|------------------------------------|
| ● ■ | PROPOSED MANHOLE/CATCH BASIN | — · — | BOUNDARY/ROW/BLOCK LINE |
| • | PROPOSED CLEANOUT | - - - - | EASEMENT |
| ◆ | PROPOSED HYDRANT | - - - - | BUILDING/PARKING SETBACK LINE |
| ⋈ | PROPOSED GATE VALVE | ⊙ | SOIL BORING |
| ◀ | PROPOSED FLARED END | ➔ | DRAINAGE ARROW |
| ➔ | PROPOSED STORM SEWER | — W — | EXISTING WATERMAIN |
| ■ | PROPOSED CONCRETE | — S — | EXISTING SANITARY SEWER |
| ■ | PROPOSED BITUMINOUS | — ST — | EXISTING STORM SEWER |
| — 0000 — | PROPOSED CONTOUR | — G — | EXISTING BURIED GAS LINE |
| • 0023.54 | PROPOSED ELEVATION | — E — | EXISTING BURIED ELECTRIC LINE |
| — □ — | SILT FENCE | — C — | EXISTING BURIED COMMUNICATION LINE |
| — — — | BIO-LOGS | — OHU — | EXISTING OVERHEAD UTILITY LINE |
| ⊙ | INLET PROTECTION DEVICE | — 980 — | EXISTING CONTOUR |
| ■ | PROPOSED EC BLANKET CATEGORY 20 (MNDOT 3885) | x 995.50 | EXISTING ELEVATION |

EXHIBIT G



REHDER & ASSOCIATES, INC.
Civil Engineers & Land Surveyors

3440 Federal Dr., Suite 110
Twin Falls, ID 83401
Telephone 651-452-5051
www.rehder.com

PROJECT NO.: 241-1321.179 DRAWING FILE: 1321179.DWG

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Benjamin J. Quares Date 11-1-24
Name Benjamin J. Quares Reg. No. 59732

Issued	7-24-24
CITY SUBMITTAL	
CITY COMMENTS	
ADDRESS CITY COMMENTS	
ADDRESS CITY STORMWATER COMMENTS	
10-25-24	
11-1-24	

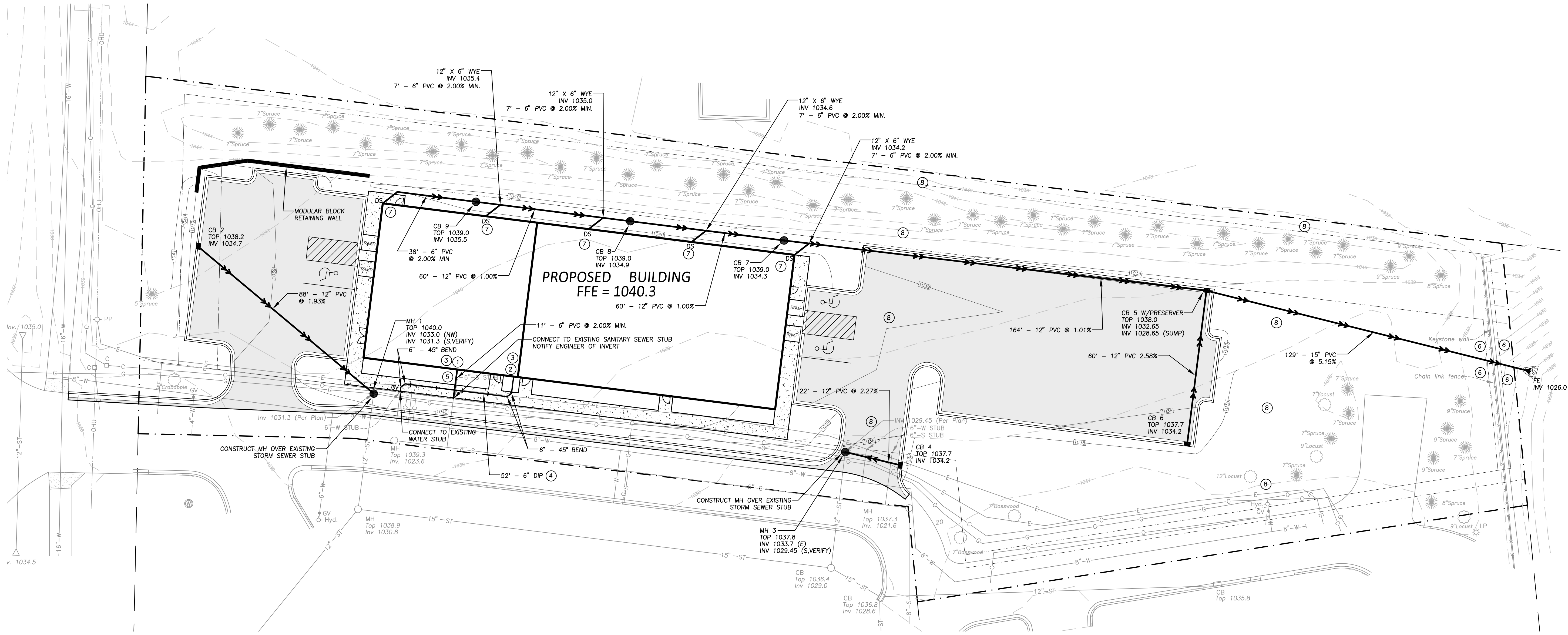
GRADING, DRAINAGE & EROSION CONTROL PLAN

KENRICK CORNER SECOND ADDITION

CITY OF LAKEVILLE

SHEET NUMBER

C3



CATCH BASIN/MANHOLE SCHEDULE

STRUCTURE NO.	BARREL SIZE	NEENAH CASTING NO.
MH 1	48"	R-1642B
CB 2	24" X 36"	R-3067V
MH 3	48"	R-1642B
CB 4	24" X 36"	R-3067V
CB 5	60"	R-3067V
CB 6	24" X 36"	R-3067V
CB 7	48"	R-4342
CB 8	27"	R-4342
CB 9	27"	R-4342

LEGEND

- PROPOSED MANHOLE/CATCH BASIN

•

PROPOSED CLEANOUT

◆

PROPOSED HYDRANT

+

PROPOSED GATE VALVE

◀

PROPOSED FLARED END

→

PROPOSED STORM SEWER

→

PROPOSED SANITARY SEWER

+

PROPOSED WATERMAIN

□

PROPOSED CONCRETE

■

PROPOSED BITUMINOUS
- BOUNDARY/ROW/BLOCK LINE
- EASEMENT
- BUILDING/PARKING SETBACK LINE
- W

EXISTING WATERMAIN
- S

EXISTING SANITARY SEWER
- ST

EXISTING STORM SEWER
- G

EXISTING BURIED GAS LINE
- E

EXISTING BURIED ELECTRIC LINE
- C

EXISTING BURIED COMMUNICATION LINE
- OHU

EXISTING OVERHEAD UTILITY LINE
- 980

EXISTING CONTOUR
- x 995.50

EXISTING ELEVATION

GOPHER STATE ONE CALL

CALL 48 HOURS BEFORE YOU DIG
TWIN CITY AREA 651-454-0002
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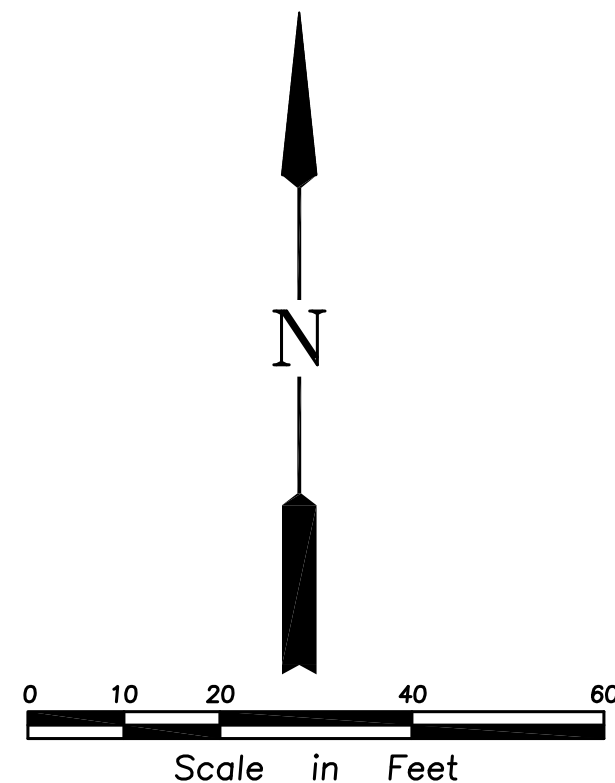
CODE COMPLIANCE:

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- NOTIFY THE OWNER'S ENGINEER OF DISCREPANCIES BETWEEN THE WORK AND APPLICABLE CODES. DO NOT WORK IN AN AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED.
- VERIFY CODES IN EFFECT AT THE TIME OF THE NOTICE TO PROCEED AND STAY CURRENT WITH CODE CHANGES WHICH AFFECT THE WORK UNTIL SUBSTANTIAL COMPLETION.

UTILITY NOTES

- All sewer services to extend to a point 5' from proposed building.
- Bring water main into proposed building and cap at the floor.
- Verify all service locations and inverts with mechanical engineer before construction.
- All watermain to have a minimum of 7.5' of cover.
- Maintain a minimum of 18" vertical separation between watermain & sewer.
- Replace retaining wall after installation of storm sewer. Match existing wall type.
- Connect to downspout per detail 11/CS
- City of Lakeville GIS indicates the possibility of water services for townhouses to the north. The Contractor shall notify the Engineer if any additional services not depicted are found in the field.

EXHIBIT H



Issued

7-24-24	CITY SUBMITTAL
9-15-24	CITY COMMENTS
10-25-24	ADDRESS CITY COMMENTS
11-1-24	ADDRESS CITY STORMWATER COMMENTS

UTILITY PLAN
KENRICK CORNER SECOND ADDITION
CITY OF LAKEVILLE

SHEET NUMBER

C4

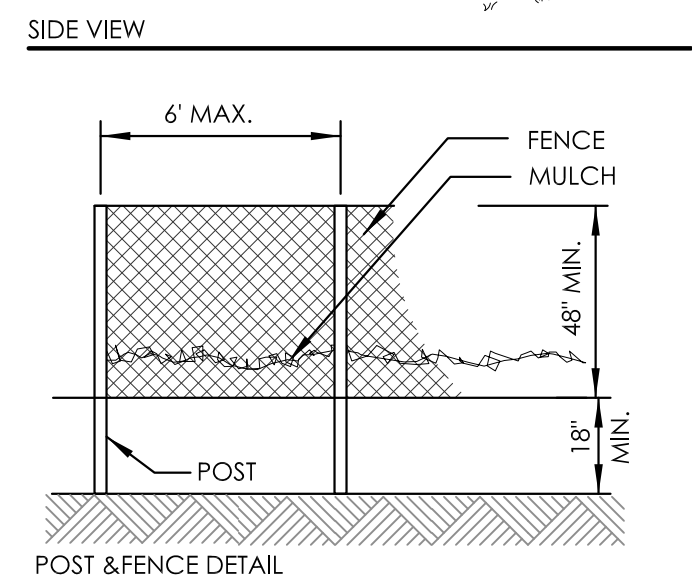
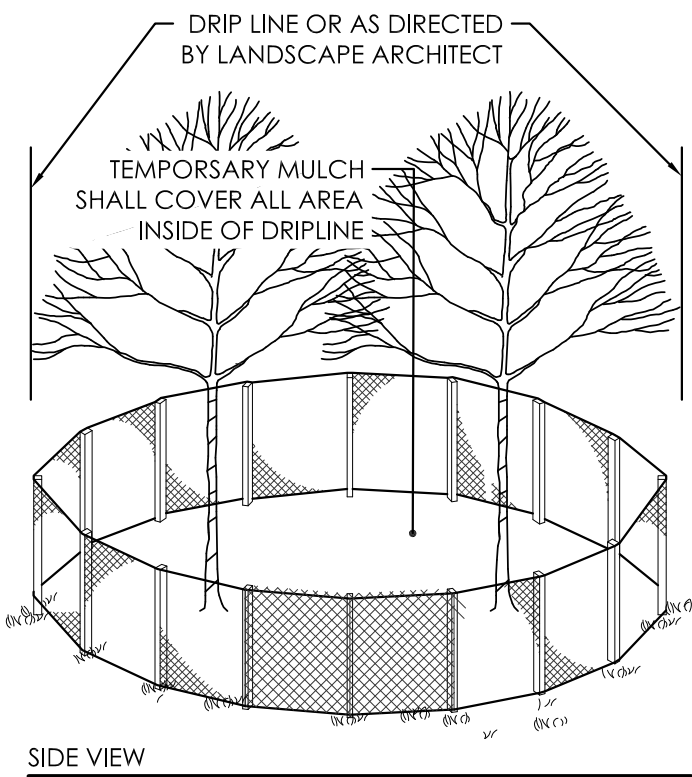
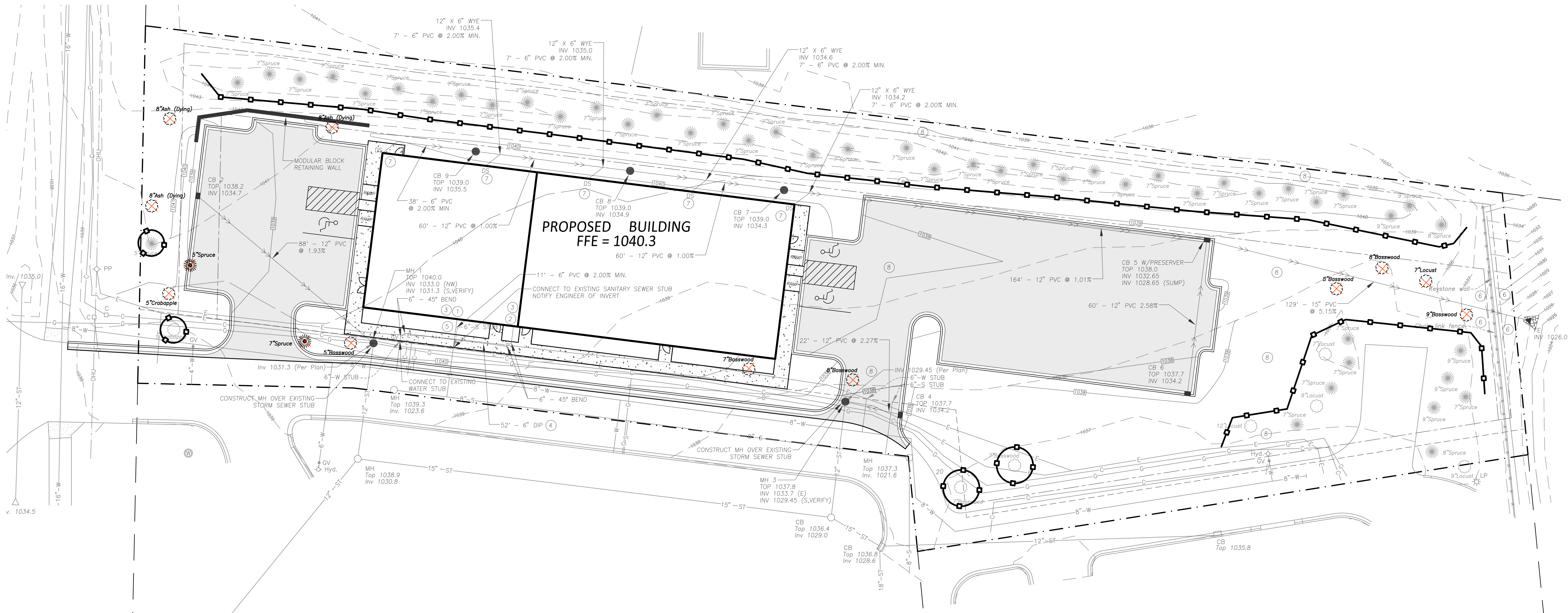
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Benjamin J. Quaes Date 11-1-24
Name Benjamin J. Quaes Reg. No. 59732

REHDER
& ASSOCIATES, INC.
Civil Engineers & Land Surveyors

3440 Federal Drive, Suite 110
Lakeville, MN 55014
Telephone 651-452-5051
www.rehder.com

PROJECT NO.: 241-1321.179 DRAWING FILE: 1321179.DWG



NOTES:
1. THE FENCE SHALL BE LOCATED AT THE DRIP LINE OF THE TREE TO BE SAVED AND IN NO CASE CLOSER THAN 5 FEET TO THE TRUNK OF ANY TREE.
2. FENCE POSTS SHALL BE WITHER STANDARD STEEL POSTS OR WOOD POSTS A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQ. IN.
3. THE FENCE MAY BE EITHER A 48\"/>

GOPHER STATE ONE CALL

CALL 48 HOURS BEFORE YOU DIG
TWIN CITY AREA 651-454-0002
MN. TOLL FREE 1-800-252-1166

CODE COMPLIANCE:
1. WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LAWS, CODES & REQUIREMENTS OF REGULATORY AGENCIES HAVING JURISDICTION.
2. NOTIFY THE OWNER'S ENGINEER OF DISCREPANCIES BETWEEN THE WORK AND APPLICABLE CODES. DO NOT WORK IN AN AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED.
3. VERIFY CODES IN EFFECT AT THE TIME OF THE NOTICE TO PROCEED AND STAY CURRENT WITH CODE CHANGES WHICH AFFECT THE WORK UNTIL SUBSTANTIAL COMPLETION.

TREE INVENTORY											
TAG	SIZE	SPECIES	SIGNIFICANT	REMOVE	REMAIN	TAG	SIZE	SPECIES	SIGNIFICANT	REMOVE	REMAIN
1132	8	SPRUCE	YES		X	1197	9	SPRUCE	YES		X
1149	7	BASSWOOD	YES		X	1198	7	LOCUST	YES		X
1150	7	BASSWOOD	YES		X	1203	8	SPRUCE	YES		X
1151	12	LOCUST	YES		X	1204	9	SPRUCE	YES		X
1152	7	SPRUCE	YES		X	1205	9	SPRUCE	YES		X
1158	7	SPRUCE	YES		X	1206	7	SPRUCE	YES		X
1159	7	SPRUCE	YES		X	1207	7	SPRUCE	YES		X
1160	7	SPRUCE	YES		X	1208	7	SPRUCE	YES		X
1161	7	SPRUCE	YES		X	1209	7	SPRUCE	YES		X
1162	7	SPRUCE	YES		X	1210	7	SPRUCE	YES		X
1163	7	SPRUCE	YES		X	1211	7	SPRUCE	YES		X
1164	7	SPRUCE	YES		X	1212	7	SPRUCE	YES		X
1165	7	SPRUCE	YES		X	1213	7	SPRUCE	YES		X
1166	7	SPRUCE	YES		X	1214	7	SPRUCE	YES		X
1167	7	SPRUCE	YES		X	1215	7	SPRUCE	YES		X
1168	7	SPRUCE	YES		X	1216	7	SPRUCE	YES		X
1169	7	SPRUCE	YES		X	1217	7	SPRUCE	YES		X
1170	7	SPRUCE	YES		X	1218	7	SPRUCE	YES		X
1171	7	SPRUCE	YES		X	1219	7	SPRUCE	YES		X
1172	7	SPRUCE	YES		X	1220	7	SPRUCE	YES		X
1173	7	SPRUCE	YES		X	1221	7	SPRUCE	YES		X
1174	7	SPRUCE	YES		X	1222	7	SPRUCE	YES		X
1175	7	SPRUCE	YES		X	1223	5	BASSWOOD	NO	X	
1185	9	LOCUST	YES		X	1224	7	SPRUCE	YES	X	
1186	7	SPRUCE	YES		X	1225	5	CRABAPPLE	NO		X
1187	7	SPRUCE	YES		X	1226	5	CRABAPPLE	NO	X	
1188	7	SPRUCE	YES		X	1227	5	SPRUCE	NO		X
1189	8	BASSWOOD	YES	X		1228	5	SPRUCE	NO	X	
1190	8	BASSWOOD	YES	X		9001	8	ASH(DYING)	NO	X	
1191	9	LOCUST	YES	X		9002	8	ASH(DYING)	NO	X	
1192	9	BASSWOOD	YES	X		9003	8	ASH(DYING)	NO	X	
1193	9	SPRUCE	YES		X	9005	7	BASSWOOD	YES	X	
1194	9	SPRUCE	YES		X	9006	8	BASSWOOD	YES	X	
1196	7	SPRUCE	YES		X						

TREE PRESERVATION CALCULATIONS

TOTAL TREES ON SITE = 67 TREES
SIGNIFICANT TREES ON SITE = 59 TREES
PROPOSED TREE REMOVALS = 13 TREES
SIGNIFICANT TREE REMOVAL = 7 TREES

REPLACEMENT TREES REQUIRED = 14 TREES (SEE LANDSCAPE PLAN)

EXHIBIT I

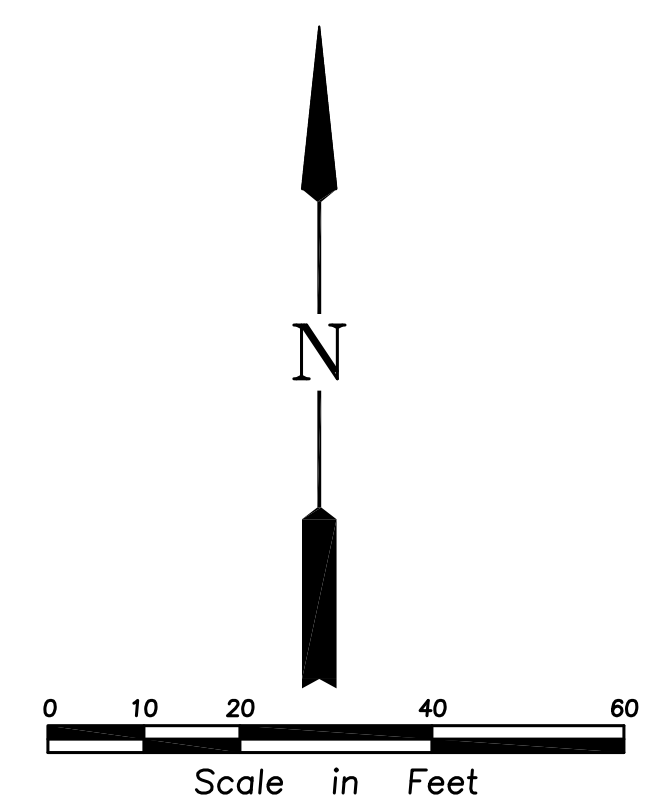


I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Jason Aune

Name Jason Aune Date 11-1-24
Reg. No. 42162

- LEGEND
- TREE PROTECTION FENCING
 - TREE TO REMAIN
 - TREE TO REMOVE



3440 Federal Drive, Suite 110
Twin Falls, MN 55122
Telephone: 651-452-0501
www.rehder.com

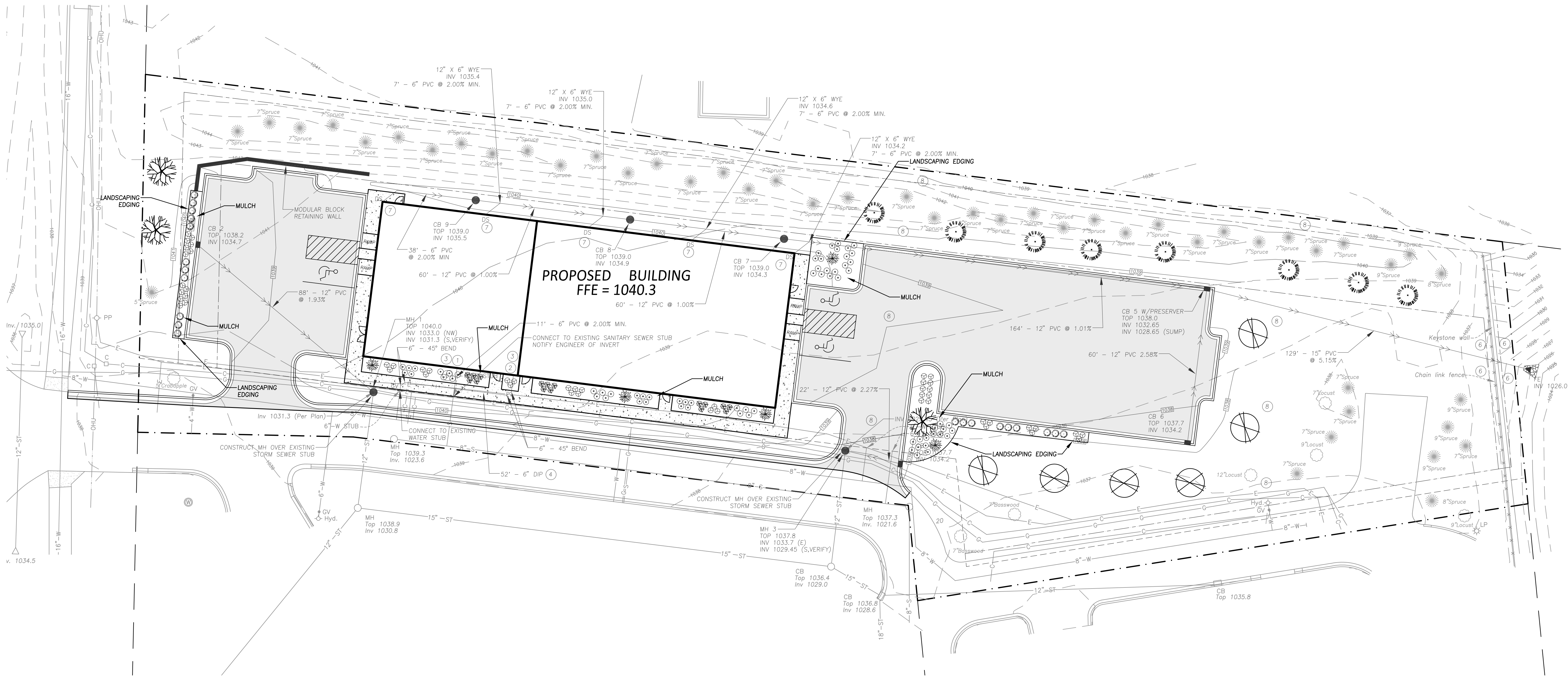
REHDER
& ASSOCIATES, INC.
Civil Engineers & Land Surveyors

PROJECT NO.: 241-1321.179 DRAWING FILE: 1321179.DWG

9-13-24	Issued
10-25-24	ADDRESS CITY COMMENTS
11-1-24	ADDRESS CITY STORMWATER COMMENTS

TREE PRESERVATION PLAN
KENRICK CORNER SECOND ADDITION
CITY OF LAKEVILLE

SHEET NUMBER
C8



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CALL 48 HOURS BEFORE YOU DIG
TWIN CITY AREA 651-454-0002
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3. VERIFY CODES IN EFFECT AT THE TIME OF THE NOTICE TO PROCEED AND STAY CURRENT WITH CODE CHANGES WHICH AFFECT THE WORK UNTIL SUBSTANTIAL COMPLETION.

PLANT, SHRUB AND TREE LIST

PLANTS & SHRUBS

SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE/ROOT
⊕	50	Calamagrostis acutiflora	Karl Foerster	2 Gallon (24")
⊙	27	Echinacea purpurea	Purple Coneflower	1 Gallon (18")
⊗	39	Hosta 'Blueberry Muffin'	Hosta	1 Gallon (36")
⊗	16	Rudbeckia hirta	Black Eyed Susan	1 Gallon (18")
⊗	20	Thuja occidentalis 'Thusid4'	Emerald Petite Arborvitae	6 Gallon (24")
⊗	5	Syringa patula 'Miss Kim'	Miss Kim Lilac	10 Gallon (48")

TOTAL 157

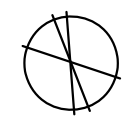
TREES

SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE/ROOT
⊕	3	Ulmus davidiana var. japonica 'Discovery'	Discovery Elm	2 - 1/2" B&B
⊗	3	Betula papyrifera	Paper Birch	2 - 1/2" B&B
⊗	4	Picea glauca var. dens	Black Hills Spruce	8' B&B
⊗	4	Pinus strobus	White Pine	8' B&B
⊗	3	Malus 'Pink Spires'	Pink Spires Flowering Crabapple	2" B&B

TOTAL 17

PLANTING SYMBOL LEGEND

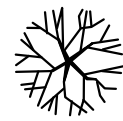
DECIDUOUS TREE



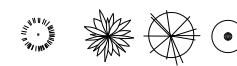
CONIFEROUS TREE



ORNAMENTAL TREE



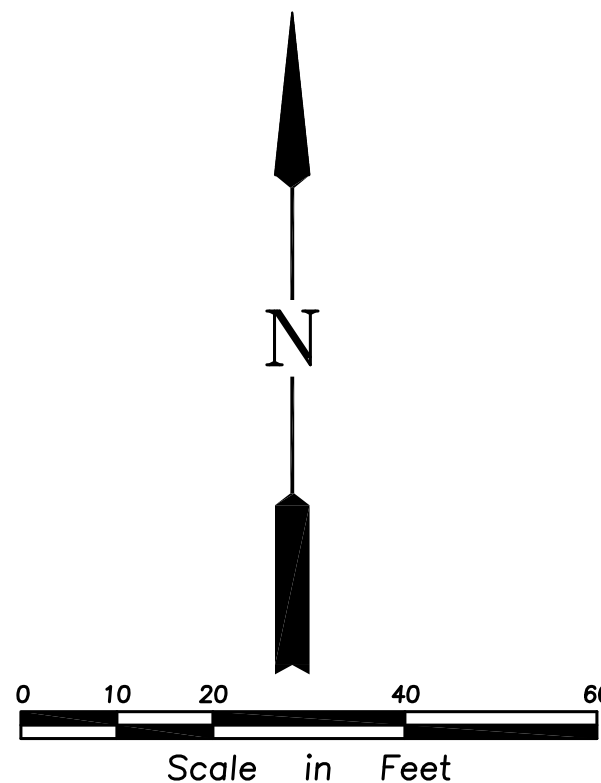
PROPOSED SHRUB



PERENNIAL/GRASS



EXHIBIT J



Issued

9-13-24
10-25-24
11-1-24

LANDSCAPE PLAN
KENDRICK CORNER SECOND ADDITION
CITY OF LAKEVILLE

SHEET NUMBER

L1

REHDER
& ASSOCIATES, INC.
Civil Engineers & Land Surveyors

3440 Federal Drive, Suite 110
Lakeville, MN 55015
Telephone: 651-452-5051
www.rehder.com

PROJECT NO.: 241-1321.179 DRAWING FILE: 1321179.DWG



Project/Job Name: _____

Location: _____

Fixture Type: _____

Notes: _____

65-672 - 60 Watt Full Cutoff LED Wall Pack; CCT Selectable;
7200-7500 Lumens; DLC Premium

- CCT Selectable
- Has Driver



ELECTRICAL

Technology:	LED
Watts:	60W
Volts:	120V-277V
Lumens:	7200L-7500L
Lamp Base :	Integrated
CRI:	80
CCT (Kelvins):	3000K/4000K/5000K
Beam Spread :	90x100
Hours Rated:	50000
Dimmable:	Yes-Dimmable
Dimmable Down To %:	100 to 20 percent
Incandescent Equivalent :	400W
HID Equivalent :	150W-200W
Operating Temperature :	-40C (-40F) to +40C (+104F)
Lamp Included :	Integrated
Replaceable Light Source :	No
Connection:	Hardwire
Surge Protection :	Built-in surge protection - 4KV
THD:	10.42%
Power Factor :	>0.9
Voltage Type:	Range Voltage
Warranty:	5 Year Limited - Fixtures

PACKAGING

Each UPC:	045923655272
Each Quantity:	1
Each Dimensions:	13.78 x 7.28 x 9.06
Case UPC:	10045923655279
Case Quantity:	4
Case Dimensions:	15.55 x 14.57 x 19.49

PHYSICAL

Finish:	Bronze
Lens Material:	Impact Resistant PC
Dimensions:	W:12.61" H:5.09" E:6.86"
Weight (Lbs.):	5.07
Material:	Die-Cast Aluminum

INSTALLATION

Wire Temperature:	105C (221F)
-------------------	-------------

COMPLIANCE

Safety Listing:	cULus - Certified
Location Rating:	Wet
Indoor/Outdoor:	Outdoor
Energy Star Qualified:	No
DLC Approved:	Yes
DLC Classification:	Premium
DLC ID:	PLXV561HFHT2
CA Prop 65:	Lead
BAA Compliant:	No
NOM Certificate No.:	NTEC21ELM006566!NTEC21ELM006566-FR1
NOM Expiration Date:	11/10/2022
ADA Compliant:	No
FCC Compliant:	Yes
IP Rating:	IP65
RoHS Compliant:	Yes
B.U.G Rating:	B2-U2-G1
Restrictions:	No Restrictions

Project/Job Name: _____

Location: _____

Fixture Type: _____

Notes: _____



65-842 - LED Area Light Type III; 150W; Bronze Finish; 4000K; 120-277V



ELECTRICAL

Technology:	LED
Watts:	150W
Volts:	120V-277V
Lumens:	19507L
Lamp Base :	Integrated
CRI:	80
Rg Value :	12
CCT (Kelvins):	4000K
Hours Rated:	50000
Dimmable:	Yes-Dimmable
Dimmable Down To %:	100 to 20 percent
Incandescent Equivalent :	450W
HID Equivalent :	320W
Operating Temperature :	-40C (-40F) to +45C (+113F)
Lamp Included :	Integrated
Number of Lamps :	1
Replaceable Light Source :	No
Connection:	Hardwire
Surge Protection :	Built-in surge protection - 4KV
THD:	15%
Power Factor :	>0.9
Voltage Type:	Range Voltage
Warranty:	5 Year Limited - Fixtures

PHYSICAL

Finish:	Bronze
Lens Material:	Polycarbonate (PC)
Dimensions:	L:20.71" W:12.40" H:3.11"
Weight (Lbs.):	8.08
Material:	Die-Cast Aluminum
Sensor:	Optional

COMPLIANCE

Safety Listing:	cULus - Certified
Location Rating:	Wet
Indoor/Outdoor:	Indoor; Outdoor
Energy Star Qualified:	No
DLC Approved:	Yes
DLC Classification:	Premium
DLC ID:	PLIL4Z6YAG9O
CA Prop 65:	Lead
BAA Compliant:	No
ADA Compliant:	No
FCC Compliant:	Yes
IP Rating:	IP65
IK Rating:	IK10
RoHS Compliant:	Yes
B.U.G Rating:	B3-U2-G3
Restrictions:	No Restrictions

PACKAGING

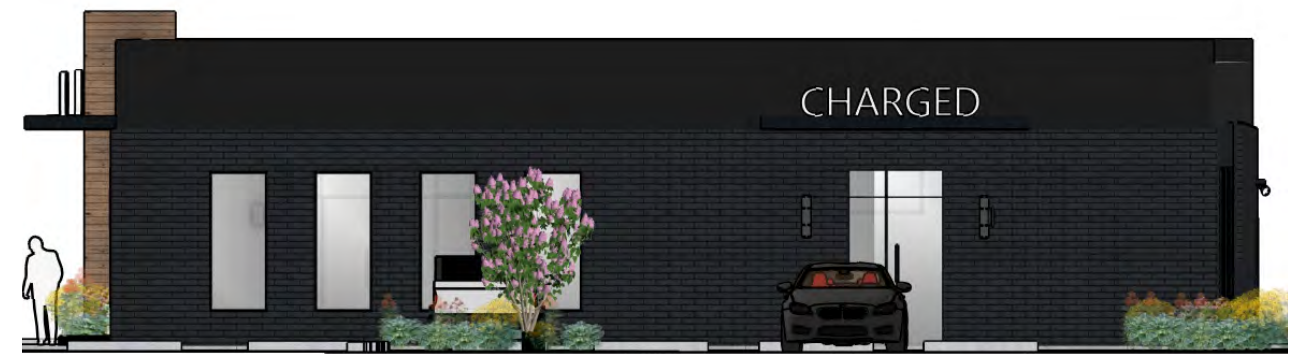
Each UPC:	045923651472
Each Quantity:	1
Each Dimensions:	23.23 x 14.37 x 5.71
Case UPC:	10045923651479
Case Quantity:	1
Case Dimensions:	23.23 x 14.37 x 5.71

INFO

Additional Info:	Powder Coated
Specification Note:	Type III Light Distribution
Includes:	2-3/8 inch Slip-fitter Mount



west elevation



east elevation



south elevation



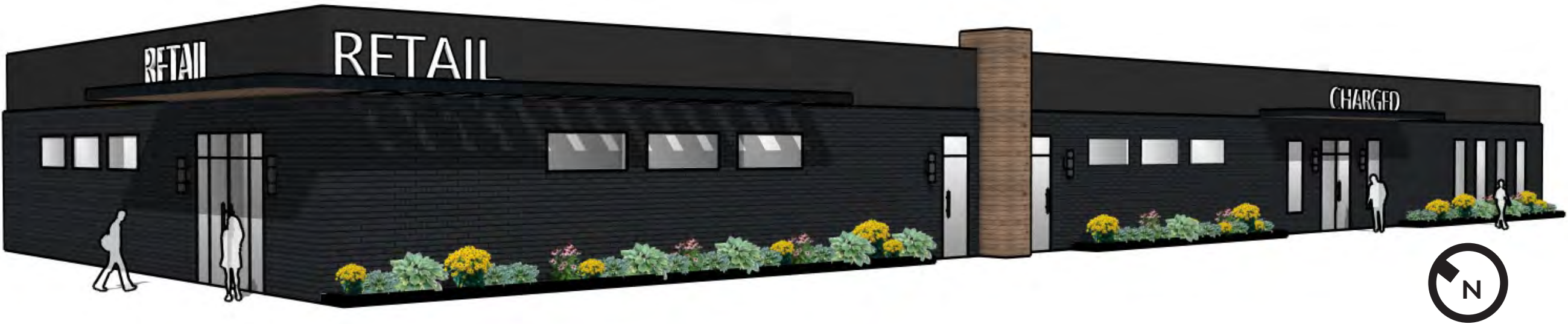
north elevation



material breakdown by elevation:

		South	%	East	%	North	%	West	%
Grade A									
	Brick	1,444	56%	552	52%	1,415	56%	509	48%
	Glass	368	14%	134	13%	105	4%	177	17%
	Sub Total	1,812	70%	686	65%	1,520	60%	686	65%
Grade B/C									
	IMP	691	27%	272	26%	812	32%	267	25%
	Sub Total	691	27%	272	26%	812	32%	267	25%
Grade D									
	Wood	-	0%	64	6%	-	0%	63	6%
	Arch Metal	73	3%	33	3%	211	8%	39	4%
	Sub Total	73	3%	97	9%	211	8%	102	10%
	Total SF	2,576	1.00	1,055	1.00	2,543	1.00	1,055	1.00
	Total Building	7,229		C3 General Commercial District Requirements					
	Grade A	65%		65%	Min				
	Grade B/C	28%		35%	Max				
	Grade D	7%		10%	Max				

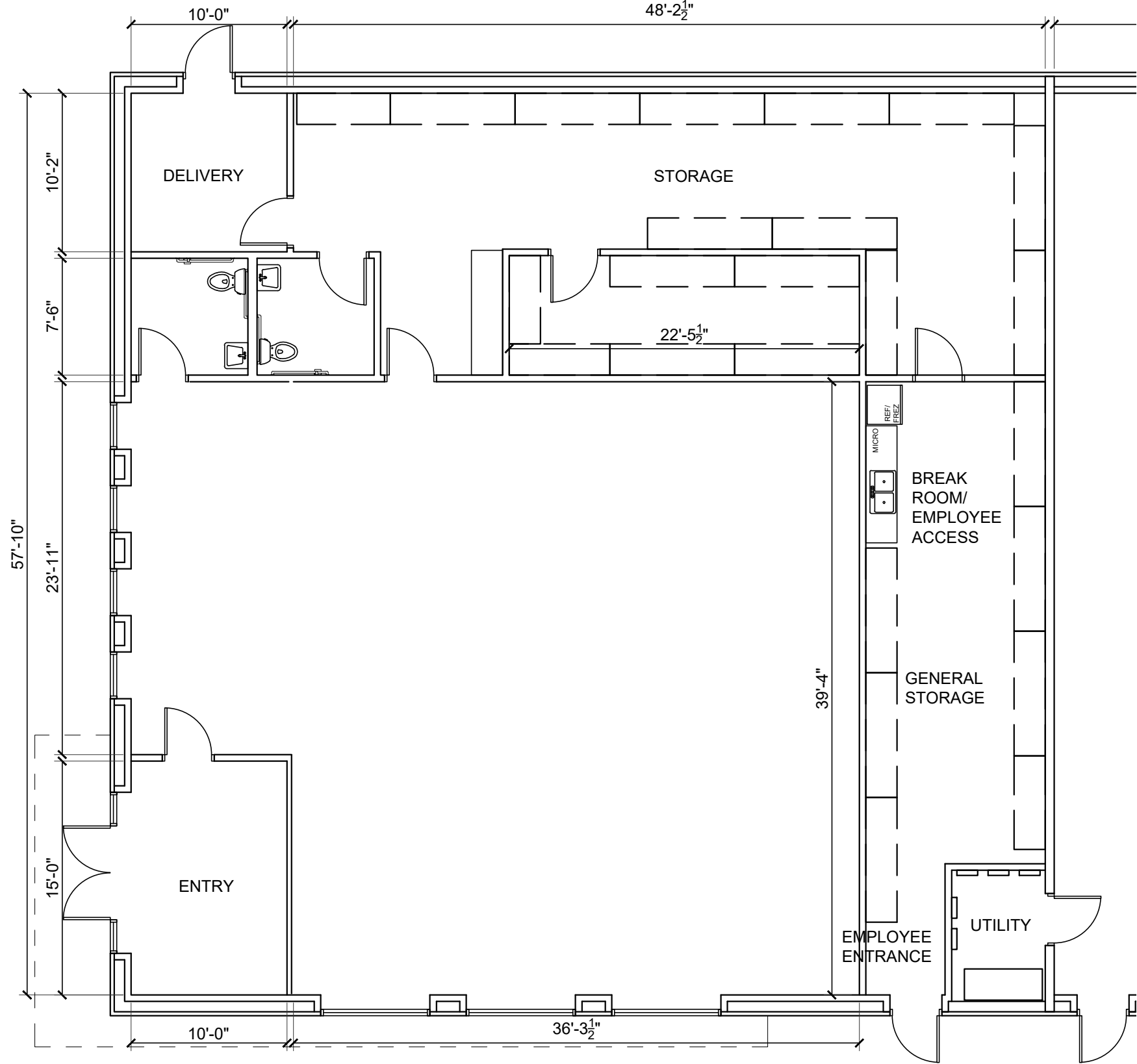
southwest perspective.



southwest perspective with surrounding properties.



DRAFT Retail Floor Plan
(West Elevation)



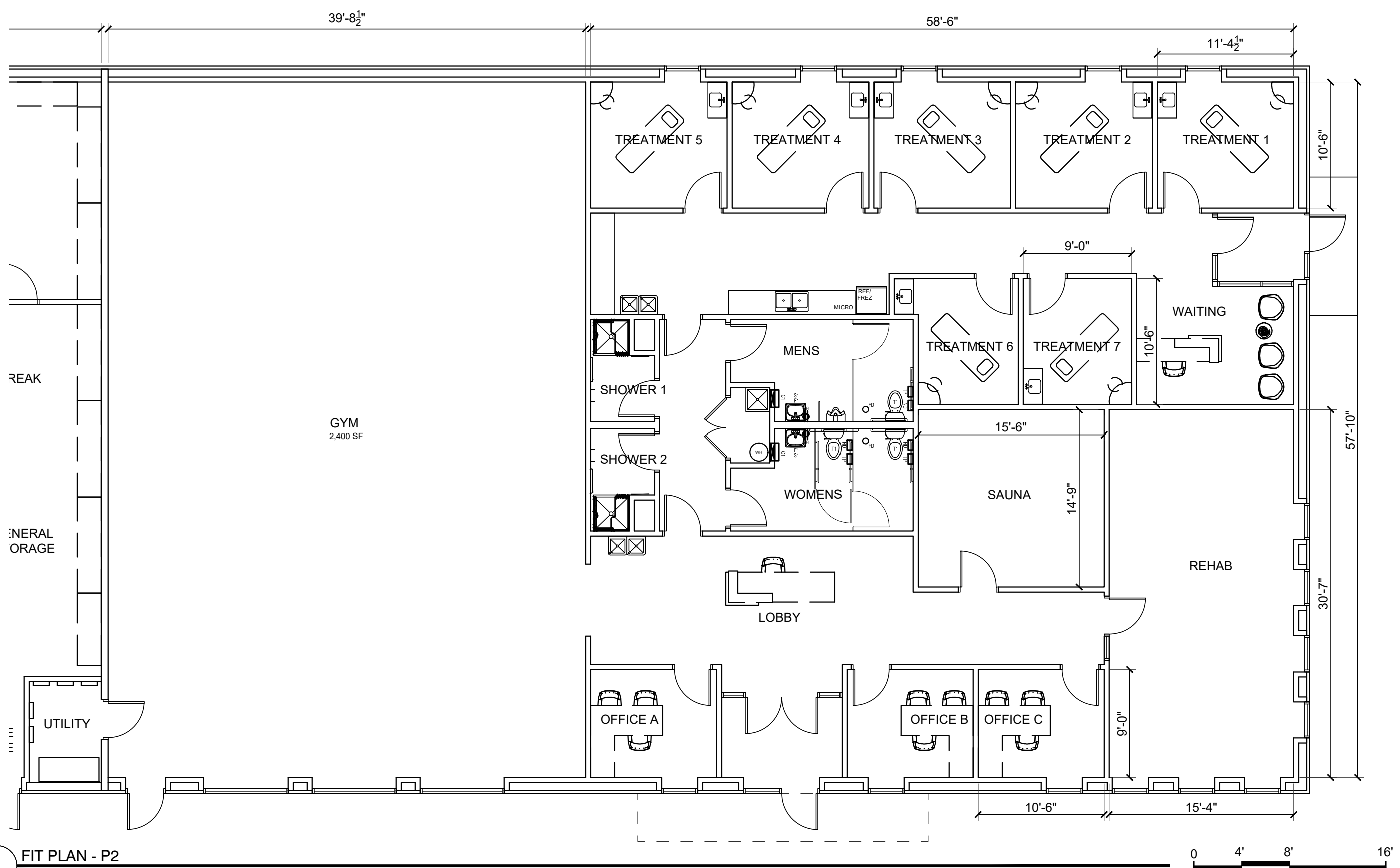
1 FIT PLAN - P2
1/8" = 1'-0"



Kenrick Ave Retail

09.11.2024





1 FIT PLAN - P2
1/8" = 1'-0"

Kenrick Ave Wellness & Rehab Center

09.11.2024



Memorandum

To: Kris Jenson, Planning Manager
From: Jon Nelson, Assistant City Engineer
McKenzie L. Cafferty, Environmental Resources Manager
Joe Masiarchin, Parks and Recreation Director
Copy: Zach Johnson, City Engineer
Julie Stahl, Finance Director
Dave Mathews, Building Official
Tina Goodroad, Community Development Director
Date: December 13, 2024
Subject: Kenrick Corner Second Addition

- Preliminary and Final Plat
- Easement Vacation
- Preliminary and Final Grading and Erosion Control Plan
- Preliminary and Final Tree Preservation
- Preliminary and Final Utility Plan

BACKGROUND

Mesenbrink Construction and Engineering representatives have submitted a preliminary and final plat named Kenrick Corner Second Addition. The proposed development is located east of and adjacent to Kenrick Avenue and north of 205th Street. The parent parcel consists of Outlot A, Kenrick Corner, and is zoned C-3, General Commercial District.

The preliminary and final plat consists of one commercial lot within one block on 1.61 acres.

The proposed development will be completed by:

Developer:	Mesenbrink Construction and Engineering
Engineer/Surveyor:	Rehder & Associates, Inc.

SITE CONDITIONS

The Kenrick Corner Second Addition site consists primarily of undeveloped agricultural land draining northwest to southeast. There is a graded swale on the north end of the site draining west to east. There are overhead utility lines along Kenrick Avenue on the west end of the site.

EASEMENTS/EASEMENT VACATIONS

The existing drainage and utility easements on the parent parcel, along the south property line, will be vacated in conjunction with the preliminary plat.

Prior to recording of the final plat:

- A 10-foot-wide drainage and utility easement along the north plat boundary shall be shown on the final plat.

A cross access easement for the private road over Lot 1, Block 1 benefitting Lots 1 and 2, Block 1, Kenrick Corner Addition is required and has been recorded against the property.

STREET AND SUBDIVISION LAYOUT

Access to the site will be from both 205th Street and Kenrick Avenue. A privately owned and maintained drive lane exists within the development. Curb and gutter shall be installed along the frontage of the existing private roadway to provide an urban road section.

Kenrick Avenue

Kenrick Corner Second Addition is located east of and adjacent to Kenrick Avenue, a City roadway classified as a minor arterial. Kenrick Avenue is constructed as a two-lane undivided rural roadway adjacent to the plat. The existing right-of-way is a total of 100 feet. No additional right-of-way is required, and no construction improvements are proposed with Kenrick Corner Second Addition.

CONSTRUCTION ACCESS

Construction traffic access and egress for grading, utility and street construction is restricted to the Kenrick Avenue private drive entrance.

PARKS, TRAILS, AND SIDEWALKS

Development of Kenrick Corner Second Addition does not include the construction of public trails and sidewalks.

The Park Dedication requirement has not been collected on the parent parcel and will be satisfied through a cash contribution. The Park Dedication requirement will be collected with the final plat, calculated as follows:

Dedication Requirement Summary

Gross Area of Kenrick Corner Second Addition	1.61 acres
Total Buildable Area	1.61 acres

1.61 acres	x \$9,477	= \$15,257.97
Buildable Area	2025 Unit Rate	Dedication Requirement
Kenrick Corner Second		Kenrick Corner Second

Addition

Addition

UTILITIES

SANITARY SEWER

Kenrick Corner Second Addition is located within subdistrict SC-13030 of the South Creek sanitary sewer district, as identified in the City's Comprehensive Sewer Plan. Wastewater will be conveyed through City sanitary sewer to the MCES interceptor monitored by meter M649. Wastewater treatment is provided by the Empire Township Treatment Facility.

Development of Kenrick Corner Second Addition includes the construction of privately owned and maintained sanitary sewer. A 6-inch sanitary sewer service will be extended from an existing service stub adjacent to the private roadway on the south side of the platted area.

The Sanitary Sewer Availability Charge has not been collected on the parent parcel and must be paid with the building permit application.

WATERMAIN

Development of Kenrick Corner Second Addition includes the construction of privately owned and maintained water service. 6-inch water service will be extended from an existing service stub adjacent to the private roadway on the south side of the platted area.

The Lateral Watermain Charge for the front footage along Kenrick Avenue must be paid with the final plat, and is calculated as follows:

Lateral Watermain Charge Summary

138 feet	x \$48.00/foot	= \$6,624.00
Total Front Foot Kenrick Avenue	2025 Unit Rate	Lateral Watermain Charge Kenrick Corner Second Addition

OVERHEAD LINES

Existing aboveground equipment (utility lines and poles) are located along the west side of the parent parcel. The aboveground equipment is required to be undergrounded along the frontage of Kenrick Corner final plat and Kenrick Corner Second Addition final plat, consistent with the City's Public Ways and Property Ordinance and Kenrick Corner Development Agreement. A cash escrow is required for undergrounding of the lines adjacent to Kenrick Corner Second Addition in conformance with City Ordinance requirements. The escrow amount of \$21,041.06 is based on a cost estimate provided by the facility owner, Dakota Electric Association, for the work necessary to complete the undergrounding of the Kenrick Corner Second Addition plat frontage and has been prorated to reflect the front footage adjacent to Lot 1, Block 1, only.

DRAINAGE AND GRADING

Kenrick Corner Second Addition is located within subdistricts ML-076 and ML-077 of the Marion Lake stormwater district, as identified in the City's Water Resources Management Plan.

Development of Kenrick Corner Second Addition includes drainage to the existing stormwater basin located in Outlot B, Kenrick Corner. The basin was constructed with the Springbrook development, expanded with the Kenrick Corner development, and was sized to accommodate the development of the Kenrick Corner Second Addition. The basin is owned and maintained by the City. The stormwater management design is consistent with the City's stormwater management ordinance.

The Developer must certify to the City that all lots with footings placed on fill have been monitored and constructed to meet or exceed FHA/HUD 79G specifications. Prior to issuance of building permits, the soils observation and testing report, including referenced lot descriptions, and an as-built certified grading plan must be submitted and approved by City staff.

Kenrick Corner Second Addition does not contain more than one acre of site disturbance. A National Pollution Discharge Elimination System General Stormwater Permit for construction activity shall be applied for as required from the Minnesota Pollution Control Agency. A copy of the Notice of Stormwater Permit Coverage must be submitted to the City upon receipt from the MPCA.

RETAINING WALLS

Development of Kenrick Corner Second Addition includes the construction of privately owned and maintained retaining walls. All modular block retaining walls constructed as part of the subdivision grading plan must meet MN/DOT requirements. A registered engineer must design any retaining wall that has a combined height greater than four feet (4'). The building official must approve the retaining wall plans and each retaining wall is subject to issuance of a separate building permit. The walls must be constructed prior to the issuance of building permits. An encroachment agreement is required with the final plat for the retaining walls proposed within drainage and utility easements. The retaining walls will be owned and maintained by the development. The Developer shall post a \$15,000.00 security with the final plat for construction of the walls.

STORM SEWER

Development of Kenrick Corner Second Addition includes the construction of a private storm sewer system. Storm sewer will be constructed within Lot 1 to collect and convey stormwater runoff generated from within the site to the public stormwater management basin located within Outlot B, Kenrick Corner. An environmental structure will provide pretreatment prior to entering the public stormwater management basin located within Outlot B, Kenrick Corner. The Developer shall enter into a stormwater maintenance

agreement and grant an easement to the City over the environmental structure. Security shall be held restoration of the City owned basin impacted by construction.

Draintile construction is required in areas of non-granular soils within Kenrick Corner Second Addition for the street sub-cuts and lots. Any additional draintile construction, including perimeter draintile required for building footings, which is deemed necessary during construction shall be the developer's responsibility to install and finance.

The Storm Sewer Charge has not been collected on the parent parcel and will be collected with the final plat, calculated as follows:

Storm Sewer Charge Summary

Gross Area of Kenrick Corner Second Addition	70,132 s.f.
Total Storm Sewer Charge Area	70,132 s.f.

70,132 s.f.	x \$0.250/s.f.	= \$17,533.00
Net Area Kenrick Corner Second Addition	2025 Unit Rate	Storm Sewer Charge Kenrick Corner Second Addition

Final locations and sizes of all storm sewer facilities will be reviewed by City staff with the final construction plans.

FEMA FLOODPLAIN ANALYSIS

Kenrick Corner Second Addition is shown on Flood Insurance Rate Map (Map No. 27037C0193E; Eff. Date 12/2/2011) as Zone X by the Federal Emergency Management Agency (FEMA). Based on this designation, there are no areas in the plat located within a Special Flood Hazard Area (SFHA), as determined by FEMA.

WETLANDS

There are no wetlands located on the site.

TREE PRESERVATION

The plan identifies a total of 67 trees onsite. As proposed, 54 trees will be saved, and 13 will be removed.

Measures to protect significant trees as identified in the Tree Preservation ordinance (10-4-11), including but not limited to tree protection fencing and erosion control measures, are to be installed prior to the start of tree removals or other site work and maintained throughout construction. Trees to be preserved that are damaged or removed will require replacement.

EROSION CONTROL

The Developer is responsible for obtaining a MPCA Construction Permit for the site as well as developing a SWPPP for the site prior to construction. The permit requires that

all erosion and sediment BMPS be clearly outlined in a site's SWPPP. No grading or tree removals can take place until the City has reviewed and approved the SWPPP for the site. Changes made throughout construction must be documented in the SWPPP.

The MS4 Administration Fee has not been collected on the parent parcel and shall be paid with the final plat, calculated as follows:

\$22,000.00	x 2%	= \$440.00
Grading Cost Kenrick Corner Second Addition	2025 Rate	MS4 Administration Fee Kenrick Corner Second Addition

SECURITIES

The Developers shall provide a Letter of Credit as security for the Developer-installed improvements relating to Kenrick Corner Second Addition.

CONSTRUCTION COSTS

Storm Sewer Connection	\$ 5,000.00
Site Grading, Erosion Control, Restoration	15,000.00
SUBTOTAL - CONSTRUCTION COSTS	\$ 20,000.00

OTHER COSTS

Developer's Design (3.0%)	\$ 600.00
Developer's Construction Survey (2.5%)	500.00
City's Legal Expense (0.5%)	100.00
City Construction Observation (5.0%)	1,000.00
Developer's Record Drawing (0.5%)	100.00
Landscaping	17,500.00
Retaining Walls	15,000.00
Lot Corners/Iron Monuments	100.00
SUBTOTAL - OTHER COSTS	\$ 34,900.00

TOTAL PROJECT SECURITY	\$ 54,900.00
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The Developer shall post a security to ensure the final placement of iron monuments at property corners with the final plat. The security is \$100.00 per lot and outlot for a total of \$100.00. The City shall hold this security until the Developer's Land Surveyor certifies that all irons have been placed following site grading, street, and utility construction.

CASH FEES

A cash fee for one-year of streetlight operating expenses shall be paid with the final plat and is calculated as follows:

138 feet	x \$1.13/front	= \$155.94
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	foot	
Total Front Foot	2025 Rate	Streetlight Operating Fee
Kenrick Corner Second		Kenrick Corner Second Addition
Addition		

A cash fee for one-year of environmental resources management expenses shall be paid with the final plat and is calculated as follows:

1 unit	x \$61.52/unit	x 4.20	= \$258.38
Total Units	2025 Rate	Utility	Environmental Resources Fee
Kenrick Corner Second Addition		Factor	Kenrick Corner Second Addition

A cash fee for the preparation of addressing, property data, and City base map updating shall be paid with the final plat and is calculated as follows:

1 lot	x \$90.00/unit	= \$90.00
Lots/Outlots	2025 Rate	Property Data & Asset/Infrastructure Mgmt.
Kenrick Corner Second		Fee
Addition		Kenrick Corner Second Addition

The Developer shall submit the final plat and construction drawings in an electronic format. The electronic format shall be in .pdf format and either .dwg (AutoCAD),.dxf, or .shx format.

The Developer shall pay a cash fee for City Engineering Administration. The fee for City Engineering Administration is based on three percent (3.00%) of the estimated construction cost, or \$600.00.

CASH REQUIREMENTS

Park Dedication	\$ 15,257.97
Storm Sewer Charge	17,533.00
MS4 Administration Fee	440.00
Streetlight Operating Fee	155.94
Environmental Resources Management Fee	258.38
Property Data and Asset/Infrastructure Management Fee	90.00
Lateral Watermain Charge	6,624.00
Future Burial of Overhead Utilities	21,041.06
City Engineering Administration (3.00%)	600.00
TOTAL CASH REQUIREMENTS	\$ 62,000.35

RECOMMENDATION

Engineering recommends approval of the preliminary and final plat, easement vacation, preliminary and final grading and erosion control plan, preliminary and final tree preservation, and preliminary and final utility plan for Kenrick Corner Second Addition, subject to the requirements and stipulations within this report.



Memorandum

To: Planning Commission
From: Tina Goodroad, Community Development Director
Date: January 2, 2025
Subject: Packet Material for the January 9, 2025 Planning Commission Meeting
Agenda Item: Zoning Text Amendment

BACKGROUND

During the summer Planning Commission reviewed and recommended approval of several annual zoning ordinance text amendments and held additional discussions on parking, specifically calculation of required spaces. Staff has prepared an amendment for additional zoning text amendments, including parking requirements for the January 9th public hearing.

SUMMARY OF AMENDMENTS

Section 11-2-3 Definitions: We are adding a definition for Commercial Recreation Facilities as one does not exist. This is a use that is distinct from an athletic facility or club.

Section 11-19-13 Parking: This amendment is specifically related to required number of spaces. The amendment includes a table of uses and existing and proposed changes to the code which was reviewed by the Planning Commission in August. Changes reflect what we are seeing for demand for certain uses. The full list of proposed parking changes is included in the attached ordinance.

Section 11-23-19 Signage: The amendment allows additional freestanding and wall signs in our Community Parks and Special Use Area facilities. The changes are necessary to allow for additional free-standing signage with sponsorship in Grand Prairie Park and additional wall signage in this park and on the permanent Pavilion at the Hasse arena. Grand Prairie is seeking a

second monument sign. One sign will be located along Cedar Avenue while the second sign will be positioned on Hamburg Avenue which does not meet the current requirements as a major collector or arterial street. The amendment would give an exception as it's a community park. The size of community park facilities warrants additional monument signs.

Wall signs are proposed on the grandstand at Grand Prairie Park (south side entrance) and on two sides of the new pavilion rink at Hasse Area.

Section 11-66-7 M-2 Mixed Use Cedar Corridor District: Multiple Family residential is a conditional use in this district. One of the stipulations in the ordinance is the area requirement for each unit. The current ordinance requires 1,675 sq ft per unit which does not align with the 2040 Comprehensive Plan which states the Cedar Corridor Mixed Use land use density allowed is between 26-40 units per acre and up to 45 units per acre for senior housing. By requiring 1,675 sq ft per unit, we are only following the low end of the density range when in fact we need to allow for the top end of the density range of 40 units/acre or 1,100 sq ft per unit. The ordinance correctly addresses the density for senior housing at 1,000 sq ft per unit.

Section 11-86-7: I-1 Light Industrial Conditional Uses: The I-1 zoning district allows major auto repair as a conditional use provided storage of all vehicles is indoors. We have received inquiries to allow limited outdoor storage and as a response have prepared an amendment that allows an enclosed and screened storage area (not in view of a principle arterial roadway) for vehicles with several conditions including limiting the area to not more than 20% of the lot area or 10,000 sq. feet.

Section 11-87-7 I-2 Conditional Uses: Staff has received several requests for Commercial Recreation Facilities in the I-2, General Industrial District. After consideration we are supporting the change to also allow in I-2 with the same standards used in the I-1 district. This may allow some vacant or underutilized buildings in the I-2 district to have the same use flexibility as in I-1.

Section 11-88-11 I-3 Administrative Uses: The MAC has submitted building permit plans for a remodel at the maintenance building at the Airlake airfield. The remodel will provide for sleeping quarters for airport maintenance personal. This amendment adds incidental sleeping quarters for airport maintenance personal as a use allowed by administrative permit.

Action

City staff recommends approval of the proposed amendments as presented.

Attachment

Ordinance Amendment

ORDINANCE NO. _____

CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE LAKEVILLE CITY CODE

THE CITY COUNCIL OF THE CITY OF LAKEVILLE ORDAINS:

Section 1. Section 11-2-3 of the Zoning Ordinance (Rules and Definitions - Definitions) is hereby amended to include following definition alphabetically:

COMMERCIAL RECREATION FACILITIES: A business that provides indoor recreation and sport facilities including but not limited to game courts, gymnastics, running tracks, playgrounds, swimming pools, sport and/or strength training.

Section 2. Section 11-19-7.A of the Zoning Ordinance (Off- Street Parking General Provisions) is hereby amended to read as follows:

- A. Reserved Floor Area: ~~The term "floor area" for the purpose of calculating the number of off street parking spaces required shall be determined on the basis of the exterior floor area dimensions of the buildings, structure or use times the number of floors, minus ten percent (10%), except as may hereinafter be provided or modified.~~

Section 3. Section 11-19-7.H of the Zoning Ordinance (Off- Street Parking General Provisions) is hereby amended to read as follows:

- H. Reserved Calculating Space:

- ~~1. When determining the number of off street parking spaces results in a fraction, each fraction of one-half ($\frac{1}{2}$) or more shall constitute another space.~~
- ~~2. In stadiums, sports arenas, churches and other places of public assembly in which patrons or spectators occupy benches, pews or other similar seating facilities, each eighteen inches (18") of such design capacity seating facilities shall be counted as one seat for the purpose of determining requirements.~~

3. ~~Except as provided for under joint parking and for shopping centers, should a structure contain two (2) or more types of use, each use shall be calculated separately for determining the total off street parking spaces required.~~

Section 4. Section 11-19-7.J of the Zoning Ordinance (Off- Street Parking General Provisions) is hereby amended to read as follows:

- J. Reserved Parking Deferment: ~~The city may allow a reduction in the number of required parking stalls for commercial, industrial, institutional, and multiple family uses by administrative permit provided that:~~

1. ~~The proposed use will have a peak parking demand less than the required parking under section 11-19-13 of this chapter. Factors to be considered when reviewing the proposed parking demand shall include, but not be limited to:~~
 - a. ~~Size of building, or number of dwelling units and number of bedrooms per dwelling unit.~~
 - b. ~~Type and use.~~
 - c. ~~Number of employees or residents.~~
 - d. ~~Projected volume and turnover of customer traffic.~~
 - e. ~~Projected frequency and volume of delivery or service vehicles.~~
 - f. ~~Number of company owned vehicles.~~
 - g. ~~Storage of vehicles on site.~~
2. ~~In no case shall the amount of parking provided be less than one-half ($\frac{1}{2}$) of the amount of parking required by ordinance.~~
3. ~~The site has sufficient property under the same ownership to accommodate the expansion of the parking facilities to meet the minimum requirements of this chapter if the parking demand exceeds on site supply.~~
4. ~~On site parking shall only occur in areas designed and constructed for parking in accordance with this chapter.~~
5. ~~The applicant and city enter into a development agreement, to be recorded against the subject property, which includes a clause requiring the owner to install the~~

~~additional parking stalls, upon a finding of the Zoning Administrator that such additional parking stalls are necessary to accommodate the use.~~

~~6. A change of use will necessitate compliance with the applicable zoning ordinance standard for parking.~~

~~7. Parking deferments, as provided for herein, shall not be granted for parcels and uses within the RS CBD, C CBD, and I CBD Districts.~~

Section 5. Section 11-19-13 of the Zoning Ordinance (Parking-Number of Spaces Required) is hereby amended to read as follows:

11-19-13: NUMBER OF SPACES REQUIRED: The following minimum number of off-street parking spaces shall be provided and maintained by ownership, easement and/or lease for and during the life of the respective uses hereinafter set forth:

A. Calculation of Required Spaces:

Use		
		Proposed
Residential:		
	Multiple-family dwellings	2.5 spaces per unit except that the number of stalls required for uses with a mean of 2.0 bedrooms per dwelling unit or less shall be reduced to 2.0 stalls per dwelling unit. <u>2.0 spaces per unit; including one spaces enclosed below the principal building for each unit with one or more bedrooms.</u>
	Residential care facility	2 spaces per unit for uses serving 6 or fewer persons in a residential district.
		4 spaces plus 1 space for each 3 beds and additional space as determined by the Zoning Administrator.
	Residential shelter	2 spaces plus 1 space for each 2 occupants of maximum capacity.
	Senior housing with services, senior independent living units	1 space per dwelling unit, or; 1 space per 2 dwelling units plus 1 space per employee on a maximum shift

		when units are within a continuing care retirement community facility or memory care facility.
	Assisted living or housing with services	1 space per 2 dwelling units.
	Independent living	1 space per dwelling unit.
	Memory care or nursing home	4 spaces plus 1 space for each 3 beds plus additional spaces as required by this section for office uses.
	Single-family, detached townhome, and two-family	2 spaces per unit.
	Townhome	
	RM-1, RM-2, RH-1, RH-2 Districts	2 spaces per unit.
	RM-3 District	1 space per unit.
	RH-CBD and C-CBD Districts	1.5 spaces per dwelling unit for townhouse or multiple family uses.
	Institutional:	
	Auditoriums, theaters, religious institutions, sports arenas	1 space per 3 seats of design capacity of the main assembly with a maximum capacity less than or equal to 1,000 persons or 1 space per 2.5 seats of design capacity of the main assembly with a maximum capacity greater than 1,000 persons, plus additional spaces required for adjoined facilities, not including private or private nonprofit baseball fields (see below).
	Community center, libraries	10 spaces plus 1 space per 300 square feet over 2,000 square feet of floor area for the principal structure.
	Nursing homes, rest homes	Residential care facility: 2 spaces per unit for uses serving 6 or fewer persons in a residential district.

-	Other: 4 spaces plus 1 space for each 3 beds and additional space as determined by the Zoning Administrator.
Private or private nonprofit baseball fields	1 space per 8 seats of design capacity.
School, elementary and middle	1 space per 7 students based upon building design.
School, high school and post-high school facilities	1 space per 3 students based on building design capacity, plus 1 space per classroom.
Senior housing, assisted living and memory care units	4 stalls per 10 dwelling units, plus stalls equal to the number of employees on a maximum shift.
Commercial/industrial:	
Airport hangar	1 stall <u>space</u> per 1,000 square feet.
Animal hospital/kennel	1 space for each 200 square feet of <u>clinic</u> floor area <u>plus one space for each 1,000 square feet of kennel area.</u>
Auto repair uses established after March 17, 2003	1 space per 200 square feet of floor area.
Auto sales	1 space per 500 square feet of showroom plus 1 space for each 3,000 square feet of outdoor sales lot, plus additional parking required for ancillary service or repair.
Beauty or barber shop	2 spaces per chair.
Bowling alleys	5 spaces per lane plus spaces as required for other uses within the principal structure.
<u>Brewery, small brewery, distillery, microdistillery,</u>	<u>1 space per 1,500 square feet of manufacturing, fabrication, processing, or warehouse area, plus 1</u>

	<u>with or without cocktail room or taproom</u>	<u>space per 200 square feet of taproom or cocktail room floor area.</u>
	C-CBD District:	
	Office and/or retail commercial uses, not including restaurants	3 spaces per 1,000 square feet of floor area.
	All restaurant uses	5 spaces per 1,000 square feet of floor area.
	Car wash	Drive through: 40 <u>4</u> spaces.
		Self-service: 1 space per wash bay.
		Motor fuel stations: None in addition to that required for the principal use.
	Convenience food restaurants, coffee shops, doughnut shops with or without drive-through Coffee/doughnut shop with or without drive through	1 space per 50 square feet. 1 space per 80 square feet.
	Commercial self-storage (ministorage) facilities	3 spaces plus 1 space per 100 storage units.
	<u>Data centers</u>	<u>1 space for each 3,500 square feet of floor area</u>
	Daycare facilities	In a residential district serving less than 12 persons: 2 spaces per use.
		All others: 1 space for each <u>classroom plus one space for each 47</u> persons of licensed capacity.
-	Fast <u>Convenience food restaurants, coffee shops, doughnut shops</u>	1 space per 70 <u>80</u> square feet.

	with or without drive through	
	Fitness centers	1 space per exercise station (e.g., strength machine or cardiovascular) plus 1 space per employee on the largest shift plus additional parking required for ancillary uses.
	Funeral home	1 space per exercise station (e.g., strength machine or cardiovascular) plus 1 space per employee on the largest shift plus additional parking required for ancillary uses.
	Furniture sales	1 space per 400 square feet for first 25,000 square feet, plus 1 space per 600 square feet thereafter.
	Golf course	4 stalls <u>spaces</u> per hole plus 50 percent of the parking stall <u>space</u> requirement for any associated retail use; on site restaurant and/or banquet facilities shall provide parking stalls <u>spaces</u> for that use as required by this section.
	Instructional classes, dance studios, karate centers, music schools and similar uses	1 space for each 200 square feet of floor area.
	Major bus terminal, boat/marine sales and repair, bottling company, trade shop with 6 or less employees, garden supply or building materials sales	8 spaces plus 1 space per 800 square feet of manufacturing or display floor area over 1,000 square feet.
	Manufacturing	1 space per 350 square feet of floor area, plus 1 space per company vehicle not stored within the principal structure. <u>1 space per 600 square feet of manufacturing floor area;</u>
	Motels/hotels/lodging or boarding	Boarding house: 1 space per person for whom accommodations are provided.

		Hotels/motels: 1 space per unit, plus 1 space for every 10 units.	
	Motor fuel stations and auto repair	4 spaces plus 2 spaces for each service stall <u>space</u> plus other requirements for uses or sale of goods not directly auto related.	
	Multiple occupancy retail or service buildings with 3 or more tenants	1 space per 160 square feet of gross leasable floor area. The total required spaces may be reduced by 10 percent based upon approval of an administrative permit by the Zoning Administrator.	
	Multiplex theater	1 space per 3.4 seats (all other theaters shall be subject to the requirements applicable to auditoriums, theaters, religious institutions and sports arenas established by this section).	
	Office, general	<u>< 10,000sf.</u>	1 space for each 200 square feet of floor area. <u>4 spaces for each 1,000 square feet of floor area.</u>
		<u>10,000sf. or greater.</u>	<u>3 spaces for each 1,000 square feet of floor area.</u>
	Office, medical	1 space for each 200 square feet.	
	<u>Research facilities</u>	<u>1 space for each 600 square feet for floor area.</u>	
	Restaurants (general), clubs, lodges, brewpubs, taprooms, tasting rooms	1 space per 40 square feet of dining area and 1 space for each 80 square feet of kitchen area. 1 space for each 90 square feet of floor area.	
	<u>Retail commercial sales and service uses other than specifically defined by this section (other)</u>	<u>Less than 10,000sf.</u>	1 space for each 200 square feet of floor area.
		<u>10,000-less than 90,000sf.</u>	<u>1 space for each 225 square feet of floor area.</u>
		90,000sf or greater	1 space per 250 square feet.

	Skating rink, banquet hall, private or public auction house	20 spaces plus 1 space per 200 square feet over 2,000 square feet.	
	Truck wash	3 spaces plus 1 space per service bay.	
	Warehousing	<u>Less than 200,000sf.</u>	1 space per 1,000 square feet plus 1 space per company vehicle not stored within the a principal <u>or accessory</u> structure.
		<u>200,000sf. or greater</u>	1 space per 2,000 square feet plus 1 space per company vehicle not stored within the a principal <u>or accessory</u> structure.

B. Floor Area. The term "floor area" for the purpose of calculating the number of off street parking spaces required shall be determined on the basis of the exterior floor area dimensions of the buildings, structure or use times the number of floors, minus ten percent (10%), except as may hereinafter be provided or modified.

C. Fractional Spaces. When calculating the number of parking spaces required in accordance with section 11-19-13.A of this section results in a fraction, each fraction of one-half (1/2) or more shall constitute another space.

D. Multiple Uses. Except as provided for under joint parking and for mixed use developments within the M-1 and M-2 Districts, should a structure contain two (2) or more types of use, each use shall be calculated separately for determining the total off street parking spaces required by section 11-19-13.A of this section.

E. Assembly Spaces. In places of public assembly in which patrons or spectators occupy benches, pews or other similar seating facilities, each twenty two inches (22") of such seating facilities shall be counted as one seat for the purpose of determining requirements.

F. Mixed Use Parking. The minimum parking requirement for joint facilities that include office, restaurant, retail, government, and/or multiple family residential uses within Mixed Use Districts established by chapter 45 of this title are to be determined by the following calculation:

1. Multiply the minimum parking required for each individual use as required by section 11-19-13.A of this section by the appropriate percentage for each of the six (6) designated time periods as outlined in the following table:

<u>Land Use</u>	<u>Weekday</u>			<u>Weekend</u>		
<u>Time Periods</u>	<u>12:00 (Midnight) -7:00A.M.</u>	<u>7:00A.M. -6:00P.M.</u>	<u>6:00P.M.- 12:00A.M. (Midnight)</u>	<u>12:00 (Midnight) -7:00A.M.</u>	<u>7:00A.M. -6:00P.M.</u>	<u>6:00P.M.- 12:00A.M. (Midnight)</u>
<u>Office</u>	<u>5%</u>	<u>100%</u>	<u>5%</u>	<u>0%</u>	<u>10%</u>	<u>0%</u>
<u>Restaurant</u>	<u>10%</u>	<u>70%</u>	<u>100%</u>	<u>20%</u>	<u>70%</u>	<u>100%</u>
<u>Retail</u>	<u>0%</u>	<u>90%</u>	<u>60%</u>	<u>0%</u>	<u>100%</u>	<u>60%</u>
<u>Government</u>	<u>0%</u>	<u>100%</u>	<u>40%</u>	<u>0%</u>	<u>40%</u>	<u>25%</u>
<u>Multiple Family Residential</u>	<u>100%</u>	<u>60%</u>	<u>100%</u>	<u>100%</u>	<u>75%</u>	<u>100%</u>

b) Add the resulting sums for each of the six (6) designated time periods.

c) The minimum number of spaces required for the development shall be the highest sum among the six (6) designated time periods.

G. C-CBD District. Commercial uses within the C-CBD shall be exempt from the requirements of section 11-19-13.A of this section.

H. Uses Not Specified. Uses not specified or not precisely identified by section 11-19-13.A shall be calculated by the Zoning Administrator based upon, but not limited to, characteristics for similar uses and professional studies prepared by American Planning Association or Institute of Transportation Engineers.

I. Reduction in Number of Spaces:

1. The number of space required by section 11-19-13.A of this section for a specific use may be reduced by approval of an administrative permit based on a parking demand study prepared by a qualified professional.

a. For multiple family residential uses, the parking study shall take into account unit mix, target demographics, accessibility to open (or surface)

parking spaces and enclosed parking spaces to all tenants and guests; at no point shall multiple family housing be parked at a ratio of less than one and one-half (1.5) spaces per unit or one (1) space per bedroom.

2. A deferment for the construction of the number of parking spaces required by section 11-19-13.A of this section for commercial, industrial, institutional, and multiple-family uses, but not for such uses within the RS-CBD, C-CBD, and I-CBD Districts, may be allowed by administrative permit provided that:

a. The proposed use will have a peak parking demand less than the required parking under section 11-19-13.A of this section in consideration of, but limited to:

(1) Size of building, or number of dwelling units and number of bedrooms per dwelling unit.

(2) Type and use.

(3) Number of employees or residents.

(4) Projected volume and turnover of customer traffic.

(5) Projected frequency and volume of delivery or service vehicles.

(6) Number of company owned vehicles not stored within a principal or accessory building.

b. In no case shall the amount of parking provided be less than one-half (1/2) of the amount of parking required by section 11-13-19.A of this section.

c. The site plan includes sufficient property under the same ownership to accommodate the expansion of the parking facilities to meet the minimum requirements of this chapter if the parking demand exceeds on site supply.

d. On site parking shall only occur in areas designed and constructed for parking in accordance with this chapter.

e. The applicant and city enter into a performance agreement, to be recorded against the subject property, which includes a clause requiring the owner to install the additional parking spaces, upon a finding of the Zoning Administrator that such additional parking spaces are necessary to accommodate the use, which may include a requirement for a construction security if determined necessary by the city.

f. A change of use will necessitate compliance with the applicable zoning ordinance standard for parking.

J. Maximum Number of Spaces. Construction of more than one hundred twenty-five percent (125%) of the number of spaces required by section 11-19-13.A of this section for a specific use shall require approval of a conditional use permit based on a parking demand study prepared by a qualified professional.

Section 6. Section 11-19-21 of the Zoning Ordinance (Off-Street Parking – C-CBD District Parking) is hereby repealed:

11-19-21: C-CBD DISTRICT PARKING:

~~A. C-CBD Zoning District: Within the C-CBD zoning district, on street parking stalls directly abutting a parcel may be counted in satisfaction of the number of spaces required pursuant to section 11-19-13 of this chapter.~~

~~B. Parking Space Size:~~

~~1. For existing off street parking lots within the C-CBD district, each parking space shall be not less than eight feet (8') wide and eighteen feet (18') in length, exclusive of snow storage and access aisles, and each space shall be served by access aisles as required by subsection 11-19-7.1 of this chapter.~~

~~2. Construction of new or expanded parking areas shall be designed in accordance with the provisions of subsection 11-19-7.1 of this chapter.~~

~~C. Development And Uses: Within the C-CBD zoning district, the city may approve development and uses which do not comply with the required number of parking spaces as an administrative permit, provided that:~~

~~1. A development agreement running with the land is completed in which it is agreed that the property in question is financially responsible for its proportionate share of the city sponsored and provided parking space construction, maintenance, and parking site acquisition for new on street, lot and/or ramp parking. Said responsibility shall be determined on the basis of the property's parking space shortage based upon ordinance requirements, in relationship to the total parking space shortage, as defined by section 11-19-13 of this chapter for a defined service and benefit area. The "service and benefit area" shall include all properties which benefit from the available public parking serving a particular retail and commercial neighborhood or district.~~

- ~~2. The amount of parking provided on the property in question is the maximum amount possible, taking into account the use and design objectives of the C-CBD district, as outlined by this title and the comprehensive plan.~~
- ~~3. The parking shortages created by the development are not premature or in excess of the supply which can be provided by the city through a public parking system on a long term basis.~~
- ~~D. Exception: Except as provided for by subsection C of this section, no deferment of required parking may be granted for parcels within the C-CBD district.~~

Section 7. Section 11-23-19.G of the Zoning Ordinance (Signs-District Regulations) is hereby amended to read as follows:

G. Within the P-OS District the following additional regulations shall apply:

1. Freestanding Sign:

- a. Number Allowed: One sign is allowed per lot, except that one additional sign shall be allowed when there is more than one entrance from a major collector or arterial street. In addition, a sign is permitted at each entrance to a city park with a community park or special area designation with the Parks, Trails and Open Space Plan.
- b. Area: The area of each sign may not exceed one hundred (100) square feet per sign face.
- c. Monument Type; Height: The sign shall be monument type with a maximum height not to exceed ten feet (10').

2. Wall, Canopy, Or Marquee Signs:

- a. For single occupancy buildings, not more than one sign shall be allowed on one elevation fronting a public street, except in the case of a corner lot or through lot where one additional one hundred (100) square foot wall sign may be installed on a second elevation fronting a public street.
- b. Additional Signs:
- (1) One (1) sign not to exceed forty-eight (48) square feet shall be allowed for each building entrance.
- (2) Two (2) wall signs not to exceed a total of three hundred (300) square feet shall be allowed on permanent structures in city community parks or special use areas, as designated by the parks, trails, and open space plan.

Section 8. Section 11-66-7.I.a(1) of the Zoning Ordinance (M-2 Mixed Use Cedar Corridor District, Conditional Uses) is hereby amended to read as follows:

- (1) ~~One thousand six hundred seventy-five (1,675)~~ One thousand one hundred (1,100) square feet per unit.

Section 9. Section 11-75-7.M of the Zoning Ordinance (O-P, Office Park District, Conditional Uses) is hereby amended to read as follows:

M. ~~Breweries and small breweries~~ with or without taprooms.

Section 10. Section 11-75-7.N of the Zoning Ordinance (O-P, Office Park District, Conditional Uses) is hereby amended to read as follows:

N. ~~Distilleries and microdistilleries~~ with or without tasting rooms.

Section 11. Section 11-86-7 of the Zoning Ordinance (I-1, Light Industrial District Conditional Uses) is hereby amended to include the following provision with subsequent sections numbered accordingly:

C. Automobile repair, major provided that:

1. All building materials and construction including those of accessory structures must be in conformance with section 11-17-9 of this title.
2. Not less than twenty five percent (25%) of the lot, parcel or tract of land shall remain as landscaped green area according to the approved landscape plan.
3. The entire area other than occupied by buildings or structures or planting shall be surfaced with bituminous material or concrete which will control dust and drainage. The entire area shall have a perimeter curb barrier, a stormwater drainage system and is subject to the approval of the City Engineer.
4. The hours of operation shall be between seven o'clock (7:00) A.M. and ~~six~~ eight o'clock (~~6~~8:00) P.M. Evening hours of operation shall be subject to the approval of the City Council.
5. All painting must be conducted in an approved paint booth. All paint booths and all other activities of the operation shall thoroughly control the emission of fumes, dust or other particulate matter so that the use shall be in compliance with the State of Minnesota Pollution Control Standards, Minnesota Regulation APC 1-15, as amended.
6. The emission of odor by a use shall be in compliance with and regulated by the State of Minnesota Pollution Control Standards, Minnesota Regulation APC 7011, as amended.

7. All flammable materials, including liquids and rags, shall conform with the applicable provisions of the Minnesota Uniform Fire Code.
8. ~~All~~ Outside storage is prohibited, except as provided for below. The storage of damaged vehicles, vehicles being repaired, and vehicle parts and accessory equipment shall be completely inside a principal or accessory building, or enclosed and screened as follows:
 - a. The outdoor storage area shall not be located on the side of a site facing a Principal Arterial roadway, as classified in the Lakeville Transportation Plan.
 - b. The storage area shall be enclosed by a solid privacy fence between 6 feet and 8 feet in height, meeting the requirements for fence materials and construction in Section 11-21-5.
 - c. The fenced storage area shall be landscaped with a greenbelt as described in Section 11-21-9: Required Screening and Landscaping.
 - d. The fenced storage area shall meet or exceed the required setbacks for structures.
 - e. The fenced storage area shall not occupy more than 20% of the lot area or 10,000 square feet, whichever is less.
 - f. Individual vehicles shall not be stored on site longer than 30 days.
9. All conditions pertaining to a specific site are subject to change when the Council, upon investigation in relation to a formal request, finds that the general welfare and public betterment can be served by modifying the conditions.

Section 12. Section 11-87-7 of the Zoning Ordinance (I-2, General Industrial District Conditional Uses) is hereby amended to include the following provision with subsequent sections numbered accordingly:

C. Commercial recreation facilities, provided that:

1. The architectural appearance and function plan of the building and the site shall be designed with a high standard of architectural and aesthetic compatibility with surrounding properties. Building materials, orientation, colors, height, roof design, lighting, signage and site landscaping shall be designed to complement the surrounding industrial properties and demonstrate potential industrial reuse. All sides of the principal and accessory structures are to have essentially the same or a coordinated, harmonious exterior finish treatment.
2. A commercial recreational use shall not be located within a shared tenancy building containing a use classified as an "H" occupancy as defined by Minnesota State Building Code, as may be amended.

3. In multiple-occupancy buildings, a Material Safety Data Sheet (MSDS) shall be required identifying all materials stored or used in the operation of the tenant businesses. Any change in building tenants shall require that the MSDS be updated and provided to all other tenants in the multi-tenant building.
4. A commercial recreational use in a shared tenancy building shall have its own exterior entrance and exit.
5. Vehicular access points shall create a minimum of conflict with through traffic movement, shall comply with chapter 19 of this title and shall be subject to the approval of the City Engineer.

Section 13. Section 11-88-11 of the Zoning Ordinance (I-3, Airport Industrial District Administrative Uses) is hereby amended to include the following provision with subsequent sections numbered accordingly:

C. Incidental sleeping quarters for airport maintenance personal only.

Section 14. This ordinance shall be effective immediately upon its passage and publication according to law.

ADOPTED by the Lakeville City Council this _____ day of _____, 2025.

CITY OF LAKEVILLE

BY: _____
Luke M. Hellier, Mayor

ATTEST

BY: _____
Ann Orlofsky, City Clerk



Memorandum

FYI

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: January 2, 2025
Subject: Future and Continued Planning Commission Agenda Items
Summary of City Council Actions on Planning Commission Items

The following is a list of possible agenda items to be considered at upcoming Planning Commission meetings:

- Antlers Ridge revised preliminary plat, CUP, and easement vacation
- Airlake DEA preliminary plat
- Midwest ENT sign variance request
- Lord of Life townhomes preliminary plat, easement vacation, and variance
- North Creek Manufactured Home Park CUP

At their November 4, 2024 meeting, the City Council approved the following:

- Nicholas Bormann CUP
- Sundance Lakeville Second Addition Final plat

At their November 18, 2024 meeting, the City Council approved the following:

- PCL Construction Services CUP
- Cedar Hills North preliminary plat

At their December 16, 2024 meeting, the City Council approved the following:

- Ritter Meadows Third Addition final plat and easement vacation
- 179th Street Apartments preliminary plat extension