



AGENDA PLANNING COMMISSION MEETING

May 22, 2025 - 6:00 PM
City Hall Council Chambers

Members of the public can participate in person at Lakeville City Hall, 20195 Holyoke Avenue. Members of the public may join the meeting via [Teams Meeting](#), Meeting ID: 281 804 256 536, Passcode: Ds66E6Z7, or by calling Toll Number 1-323-433-2142; Conference ID: 641 862 716 #. The Chair will allow for public comments and questions at the appropriate time.

The City Council is provided background information for agenda items in advance by staff and appointed commissions, committees, and boards. Decisions are based on this information, as well as City policy, practices, input from constituents, and a council member's personal judgment.

1. Call to order and flag pledge
2. Roll Call
3. Approval of Minutes
 - a. May 8, 2025 Planning Commission meeting minutes
4. Announcements
5. D.R. Horton, Inc. - Minnesota
Public hearing to consider a variance to the minimum required area and minimum width of an attached garage of a single-family home located at 4824 171st Street West.
 - a. May 15, 2025 Planning report
6. Reserve at Cedar Creek
Public hearing to consider the application of Reserve at Cedar Creek, LLC for a preliminary plat of 48 single family lots to be known as Reserve at Cedar Creek and the vacation of public roadway, drainage, and utility easements.
 - a. May 13, 2025 Planning and Engineering reports
7. Staff Notices
 - a. May 15, 2025 Planning Manager's Memo
8. Adjourn

CITY OF LAKEVILLE.
PLANNING COMMISSION MEETING MINUTES
May 8, 2025

Vice Chair Zimmer called the meeting to order at 6:00 p.m. in the Council Chambers at City Hall. The Pledge of Allegiance to the flag was given.

New Planning Commission member, John Swaney was sworn in by Community Development Recorder Dawn Erickson.

Members Present: Vice Chair Christine Zimmer, Scott Einck, Pat Kaluza, John Swaney, Jason Swenson, Amanda Tinsley, Mark Traffas, Ex-Officio Jeff Hanson.

Members Absent: None

Staff Present: Tina Goodroad, Community Development Director; Kris Jenson, Planning Manager, Heather Botten, Senior Planner, Michael Kutz, Civil Engineer, Dawn Erickson, Community Development Recorder.

4. Approval of the Meeting Minutes

The March 20, 2025 Planning Commission meeting minutes and the April 17, 2025 Planning Commission work session minutes were approved as presented.

5. Announcements

Planning Manager Kris Jenson stated if the agenda items are not tabled they will move forward to the May 19 City Council meeting.

6. South Metro Safe and Vault Interim Use Permit

Vice Chair Zimmer opened the public hearing to consider the application of South Metro Safe and Vault for an interim use permit to allow the outdoor sale and display of a safe as an accessory use in the C-3, General Commercial District. The subject property is located at 16350 Kenrick Loop.

John Borchardt, owner of South Metro Safe and Vault, joined the meeting via Teams and introduced the project.

Senior Planner Heather Botten presented the staff report. Outside sales as an accessory use is allowed in the C-3 district upon approval of an interim use permit, provided the outside sales area does not to exceed 30% of the gross floor area of the leased space. The proposed outside sales and display area would include one vehicle parking space located in the southwest corner of the property. There are no changes proposed to the existing parking lot or building and no additional hard surface is being added to the site. The proposed outdoor display area does not exceed 30% of

the gross floor leased area. Staff recommends approval of the request subject to the four stipulations listed in the report.

Vice Chair Zimmer opened the hearing to the public for comment.

There was no public comment.

Motion was made by Kaluza, seconded by Traffas to close the public hearing at 6:08 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Vice Chair Zimmer asked for comments from the Planning Commission.

- Commissioner Einck requested clarification of how this is different than signage. Ms. Botten stated that signage is advertising only the business, and the proposed display is of a safe that is available for purchase.
- Commissioner Traffas inquired if the location of the safe could change. Ms. Botten stated that it would not be able to be moved off the hard surface, but it could be moved to another parking space, as long as it did not take up more than one space. Ms. Botten also stated that if the current yellow safe was sold, they could put out a new safe.

Motion was made by Swenson, seconded by Kaluza to recommend to City Council approval of the interim use permit for outdoor sales and display of a safe or vault in the C-3 District subject to the four stipulations listed below:

1. Outside sales and display shall be restricted to one parking space, provided it is not an ADA-required stall.
2. Outside sales and display shall not obstruct the access to the building and site and shall not impede access by emergency service vehicles.
3. Signage shall be installed and maintained in compliance with Zoning Ordinance requirements and subject to approval of a sign permit.
4. The interim use permit will terminate at such time that outside sales and display of a safe or vault is no longer occurring on the property or a change of use in building occupancy.

Ayes: Traffas, Kaluza, Zimmer, Einck, Swaney, Swenson, Tinsley

Nays: 0

7. Heritage Commons 9th Addition

Vice Chair Zimmer opened the public hearing to consider the applications of The Architects Partnership, LTD for a preliminary plat of two commercial lots to be known as Heritage Commons 9th Addition, and the vacation of public drainage and utility easements. The property is located north of 202nd Street (CSAH 50) and east of Idealic Avenue.

Connor McCoy from Kimley-Horn introduced the project. Mr. McCoy stated the outlot is proposed to be platted into two parcels, one of which will be Chase Bank.

Ms. Jenson presented the staff report, stating that the applicant is requesting a preliminary plat for two commercial lots and the vacation of public drainage and utility easements. Chase Bank is proposed to be located on Lot 1 while a user has not been identified for Lot 2. The bank will be a one-story structure with parking on the west and north sides of the building and a drive-through ATM on the south side of the building. The parcel will have access from Idealic Avenue and Heritage Drive and provides for a future shared access to Lot 2 to the east.

Vice Chair Zimmer opened the hearing to the public for comment.

There was no public comment.

Motion was made by Kaluza, seconded by Swenson to close the public hearing at 6:16 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Vice Chair Zimmer asked for comments from the Planning Commission.

- Commissioner Swenson asked for clarification about the rectangular structure shown at the northwest corner of Lot 1. Mr. McCoy stated it is underground stormwater storage for the improvements for Heritage Drive.

Motion was made by Einck, seconded by Tinsley to recommend to City Council approval of the Heritage Commons 9th Addition preliminary plat and easement vacation, subject to the 11 stipulations listed below:

1. Implementation of the recommendations listed in the April 25, 2025 engineering report.
2. The site shall be developed according to the plans approved by the City Council.
3. Execution of a Stormwater Maintenance Agreement shall be required between Chase Bank and the City of Lakeville for the maintenance of the stormwater basin located on Lot 1, Block 1, Heritage Commons 9th Addition.
4. An agreement for shared driveway access shall be established between Lots 1 and 2, Block 1 Heritage Commons 9th Addition and Lot 1, Block 1, Heritage Commons 8th Addition (Tires Plus) in conjunction with the recording of the final plat.
5. The trash enclosure must have a durable maintenance-free gate.
6. Any rooftop and/or ground-mounted mechanical equipment must be screened per Zoning Ordinance requirements.
7. The City Forester has reviewed and approved the landscape plan dated May 1, 2025. Landscaping on site must be installed per the approved plan. Prior to a landscape inspection, an as-built landscape plan must be submitted to the city.

8. A cost estimate for the installation of the approved landscaping shall be submitted prior to City Council consideration of the final plat.
9. Exterior lighting shall be down-cast only and shall not glare onto road right-of-way.
10. Snow storage shall not occur within required parking spaces.
11. Prior to City Council consideration of the final plat, drainage and utility easements must be added along the side property lines of each parcel.

Ayes: Kaluza, Zimmer, Einck, Swaney, Swenson, Tinsley, Traffas

Nays: 0

8. Election of Officers

Motion was made by Kaluza, seconded by Tinsley to nominate for the office of Chair Commissioner Zimmer and to nominate Commissioner Einck for the office of Vice Chair, and to close the nominations. Vice Chair Zimmer called three times for additional nominations.

Voice vote was taken on the motion.

Ayes: unanimous

9. Staff Notices

There being no further business, the meeting was adjourned at 6:19 p.m.

Respectfully submitted,

Dawn Erickson, Community Development Recorder



Memorandum

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: May 15, 2025
Subject: Packet Material for the May 22, 2025 Planning Commission Meeting
Agenda Item: 4824 171st Street Garage Size Variance

BACKGROUND

D.R. Horton, Inc. – Minnesota, on behalf of Dayitwa Shrestha and Renu Lakhemaru. has submitted a variance application for an attached garage of less than 540 square feet and a width of less than 22 feet for the home at 4824 171st Street West. Construction of the home was completed and conveyed to the current homeowners in March 2025. The zoning of the property is RST-2, Single and Two-Family Residential District.

The following exhibits are attached for your review:

- A. Location map
- B. Applicant narrative
- C. Survey
- D. Floor Plan

PLANNING REVIEW

Section 11-18-7.D of the Zoning Ordinance includes minimum size standards for single family home attached garages. The minimum floor area of an attached garage for a dwelling without a basement is 540 square feet with a minimum width of 22 feet. The minimum floor area for an attached garage with a basement is 480 square feet. These measurements are based on interior dimensions.

Shortly after the homeowners took possession of their home, they contacted Community Development staff to inquire about the minimum size for an attached garage in a single family home. Staff responded via email a day or so later, but in the interim, Staff was contacted by representatives from DR Horton. They had been contacted by the homeowners regarding the garage size, and it was determined that the attached garage constructed with the home did not meet the minimum garage size for area and width.

When the building permit was submitted, it should have included a bump out on the side of the garage such that the minimum garage area would be at least 540 square feet and the width 22 feet. Those measurements are the minimum requirements for a home that is a slab on grade (no basement). This was an error on DR Horton's part. When the building plans were reviewed by Building Inspections staff, they also missed that the garage did not include the additional bump out area to increase the garage area and width. This was an error on the City's part. The permit was issued and the home was constructed. The garage as constructed is 481 square feet in area and 20 feet in width. Upon learning of the error at 4824 171st Street, Inspections staff reviewed all of the issued permits for single family homes without a basement in the Brookshire development and confirmed that all of the previous permits issued for similar homes meet the minimum area and width requirements.

Approval of this variance request would remove the non-conformity status of the garage, meaning the structure is considered legal and conforming. The variance form would be recorded with Dakota County so that the legal and conforming status is known and available to any future buyers of the home.

VARIANCE REVIEW CRITERIA

Section 11-6-5 of the Zoning Ordinance states that the board of adjustment (City Council) shall not approve any variance request unless they find failure to grant the variance will result in practical difficulties. "Practical difficulties" means that the property owner proposes to use the property in a reasonable manner not permitted by the Zoning Ordinance and that economic considerations alone do not constitute practical difficulties. The following review criteria must also be met:

A. That the variance would be consistent with the comprehensive plan.

Single family homes are consistent with the low-density residential land use designation.

B. That the variance would be in harmony with the general purposes and intent of this title.

A two car garage is the minimum requirement for a single family home and therefore is in harmony with the general purposes and intent of this title.

- C. That the plight of the landowner is due to circumstances unique to the property not created by the landowner.

The homeowner did not create this situation; it is due to an error on the part of DR Horton and the City of Lakeville.

- D. That the purpose of the variance is not exclusively economic considerations.

Not applicable.

- E. That the granting of the variance will not alter the essential character of the neighborhood in which the parcel of land is located.

There are other single family homes in the Brookshire development which have two car garages. That the attached garage at 4824 171st Street does not meet the minimum area and width is not noticeable from outside the structure and therefore will not alter the essential character of the neighborhood in which the home is located.

- F. That the requested variance is the minimum action required to eliminate the practical difficulty.

The home and garage are constructed and therefore the granting of the requested variance is the minimum action required to eliminate the practical difficulty.

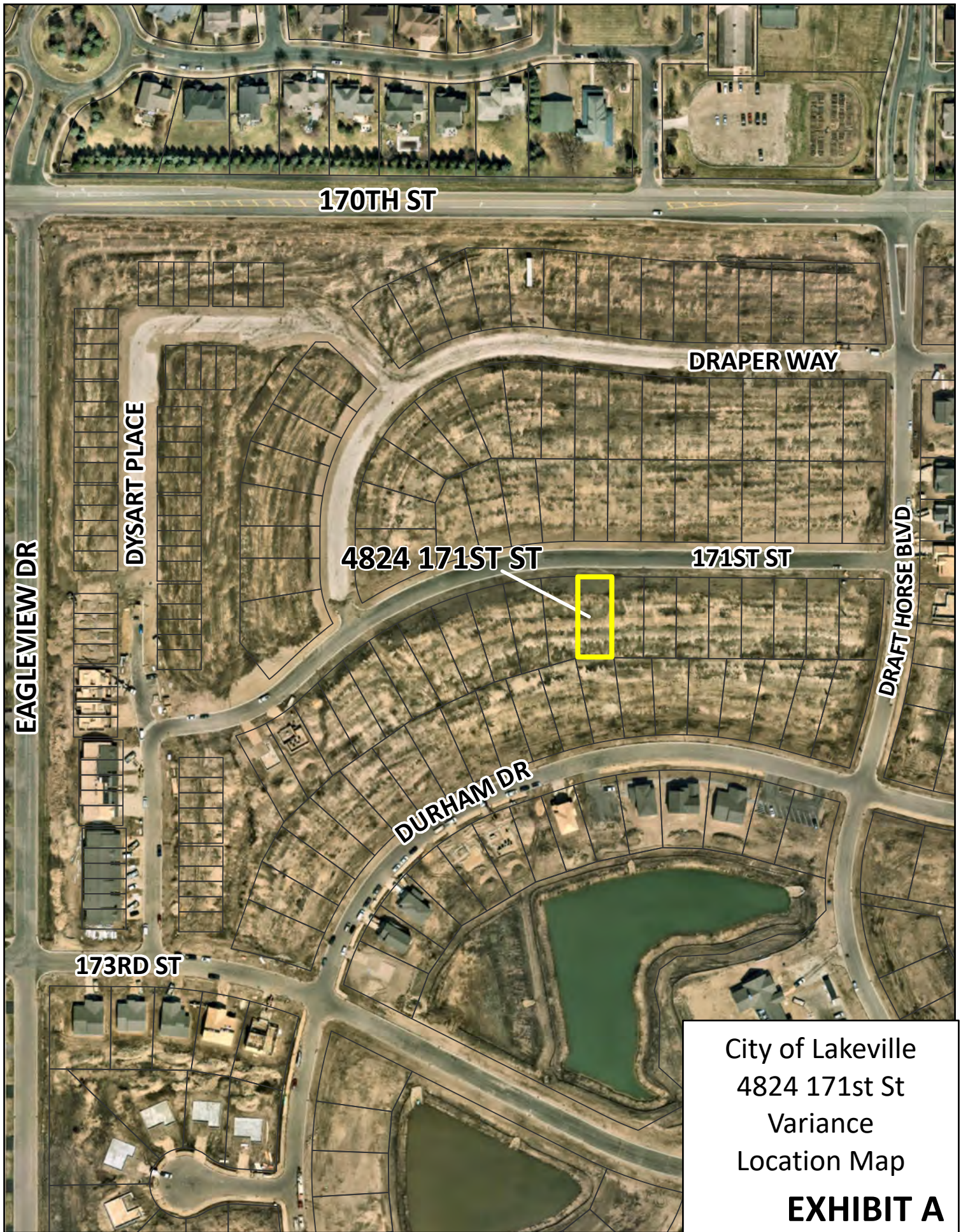
- G. Variances may not be approved for any use that is not allowed under this title for property in the zone where the affected person's land is located.

Not applicable; single family homes are a permitted use in the RST-2 District.

RECOMMENDATION

Community Development Department staff recommends approval of the variance for minimum garage area and width at 4824 171st Street, on the basis that the review criteria have been met.

Findings of Fact are attached for consideration.



City of Lakeville
4824 171st St
Variance
Location Map

EXHIBIT A

Brookshire
Variance Request
4824 171st Street W
5/2/2025

D.R. Horton formally requests approval for a variance on a completed home in Brookshire, 4824 171st Street West. The home is slab on grade with a garage size of 481 square feet as measured from the inside walls where city code requires a minimum of 540 square feet. Unfortunately, the error in garage size was an oversight.

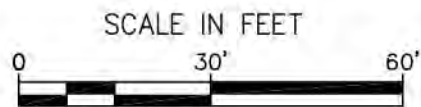
The home was sold and closed March 2025. To bring the home into compliance with the cooperation of the current owner, D.R. Horton is requesting this variance post construction.

Below is a timeline of the critical dates related to 4824 171st Street West:

- 07/29/2024 – Permit Application
- 08/15/2024 – Permit Approved
- 02/03/2025 – Building Final Inspection
- 02/03/2025 – Certificate of Occupancy
- 04/23/2025 – As-Built Grading Survey Approved

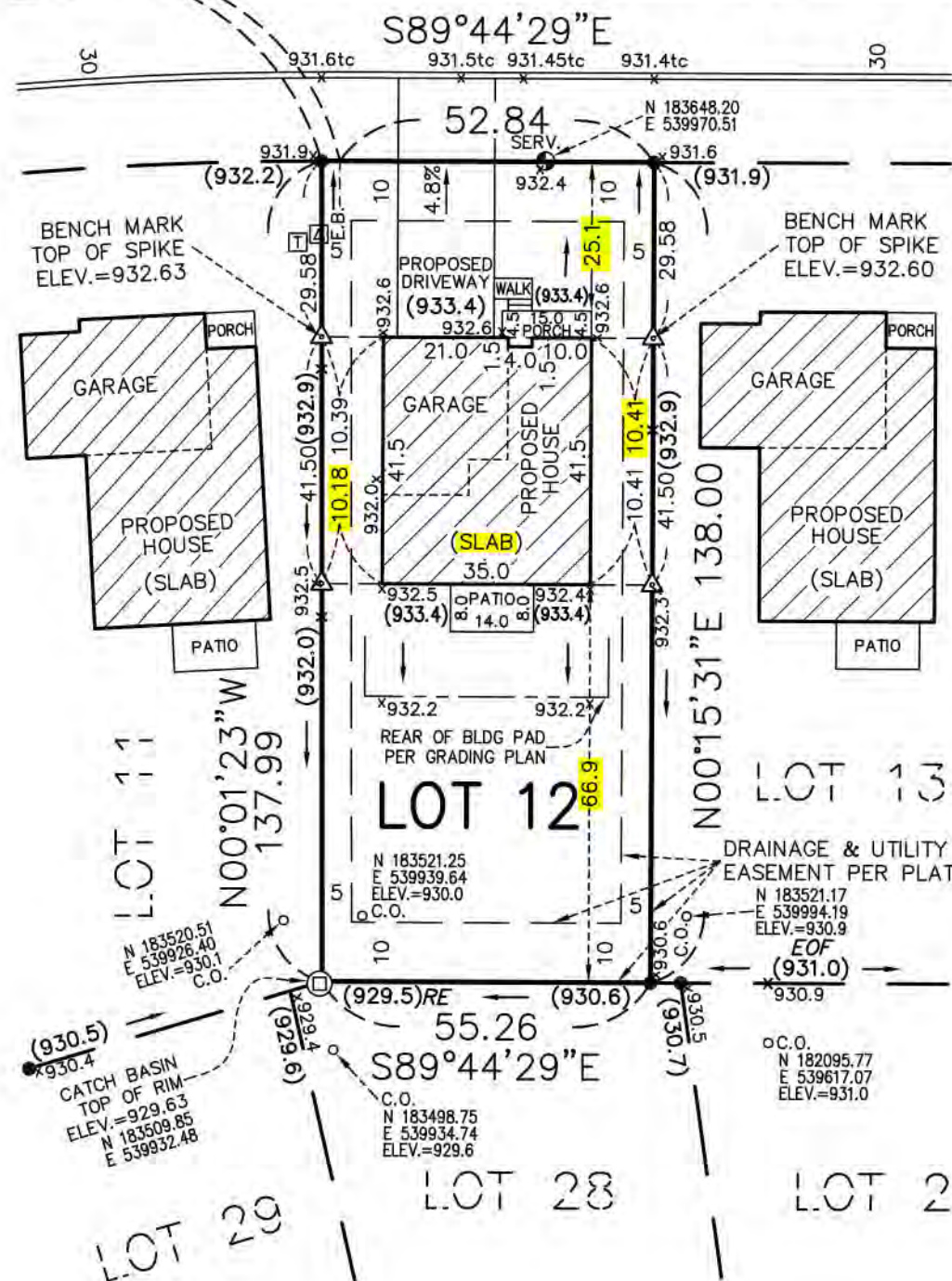
- 01/31/2025 – Buyer Purchase Agreement
- 03/20/2025 – Buyer Close Date

Creating homes for thousands of families in this city, Lakeville has been a valuable partner of D.R. Horton for over 30 years. We appreciate the flexibility in approval for this post-construction request.



$$\Delta = 0^\circ 16' 54''$$
$$R = 630.00$$
$$3.10$$

171ST STREET WEST



SETBACKS

Front	= 25 ft.
Side	= 7 ft.
Side (corner)	= 20 ft.
Rear	= 30 ft.

△	Denotes set spike
○	Denotes set iron monument
●	Denotes found iron monument
×	Denotes found scribed "x"
□	Denotes set hub
→	Denotes proposed drainage
tc	Denotes top of curb
x900.0	Denotes existing elevation
(930.0)	Denotes proposed elevation
x[900.0]	Denotes as-built elevation

PROPERTY DESCRIPTION

Lot 12, Block 6, BROOKSHIRE, Dakota County, Minnesota

PROPERTY ADDRESS

4824 171st Street West, Lakeville, Minnesota

NOTES

1. Bearings are based on the recorded plat.
2. Building dimensions shown are for horizontal and vertical placement of structure only. See architectural plans for building and foundation dimensions.
3. No specific soils investigation has been completed on this lot by James R. Hill, Inc. the suitability of soils to support the specific house proposed is not the responsibility of James R. Hill, Inc. or the surveyor.
4. No specific title search for existence or non-existence of recorded or un-recorded easements has been conducted by the surveyor as a part of this survey. Only easements per the recorded plat are shown.
5. Proposed grades shown were taken from the grading &/or development plan prepared by Westwood Professional Services, Inc.
6. Grading plan date/revision date: October 14, 2022
7. Plan No. x427-B 'HOLCOMBE'

BENCHMARK

Top nut of hydrant located at Lots 14 and 15, Block 6 = 934.37

FLOOR ELEVATIONS

	Proposed
Garage Floor @ Front	= 933.6
Garage Top of Foundation	= 934.0
House Top of Foundation	= 934.0
Lowest Floor	= 934.0

HARD COVER CALCULATIONS

Lot	= 7,673 sq. ft.
House/Garage	= 1,447 sq. ft.
Porch	= 74 sq. ft.
Driveway	= 481 sq. ft.
Sidewalk	= 30 sq. ft.
Patio	= 112 sq. ft.
Total Impervious	= 2,144 sq. ft. or 27.94% of lot

DRIVEWAY TOTAL = 708 S.F.

SURVEYOR'S CERTIFICATE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota. That this survey does not purport to show all improvements, easements or encroachments, to the property except as shown thereon.

Signed this 28th day of June, 2024

Marcus F. Hampton, MN L.S. No. 47481

EXHIBIT C

James R. Hill, Inc.



CERTIFICATE OF SURVEY

FOR
D.R. HORTON, INC. - MINNESOTA

Lot 12, Block 6, BROOKSHIRE,
Dakota County, Minnesota

DRAWN BY
SHP

DATE
6/28/2024

REVISIONS
A 7/16/24 Client/Re-stake

CAD FILE
440627.dwg

PROJECT NO.
440627

SHEET 1 OF 1

LOT 12 BLOCK 6 - BROOKSHIRE

PLAN OPTIONS

LIVING ROOM HD-FLR

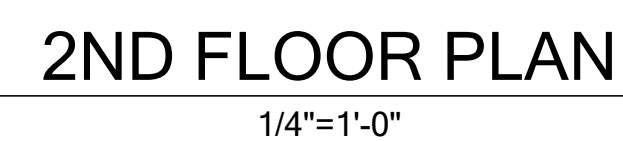
ELECTRIC FIREPLACE

IRRIGATION SYSTEM



NOTES:
 -9'-1 1/8" PLATE HEIGHT TYPICAL
 -WDW SIZES GIVEN IN FEET AND INCHES (WIDTH x HEIGHT)
 -TYP. FIRST FLOOR WINDOW HEAD HEIGHT AT 7'-11 3/8" U.N.O.
 -BEAM & HEADER SIZES TO BE VERIFIED BY SUPPLIER/MFR

ADDITIONAL NOTES
 INTERIOR SWING DOORS: RGH OPG HGT IS 83",
 THE WIDTH IS THE SIZE OF THE DOOR PLUS 2"
 INTERIOR BI-FOLD DOORS: RGH OPG HGT IS 82",
 THE WIDTH IS THE SIZE OF THE DOOR PLUS 1-1/2"



NOTES:
 -8'-1 1/8" PLATE HEIGHT TYPICAL
 -WDW SIZES GIVEN IN FEET AND INCHES (WIDTH x HEIGHT)
 -TYP. SECOND FLOOR WINDOW HEAD HEIGHT AT 6'-11 3/8" U.N.O.
 -BEAM & HEADER SIZES TO BE VERIFIED BY SUPPLIER/MFR

1381 SQ. FT.
LIVING AREA



WINDOW & DOOR SCHEDULE- UPPER LEVEL					
CALL-OUT	#	LOCATION	U-FACTOR	SHGC	ROUGH OPENING
3050 SH	2	BEDROOM #3	0.31	0.31	36 1/4" X 60 1/4"
3050 SH	1	CLOSET	0.31	0.31	36 1/4" X 60 1/4"
2020 FX	1	BEDROOM #4	0.31	0.31	24" X 24"
3050 SH	1	BEDROOM #4	0.31	0.31	36 1/4" X 60 1/4"
3050 SH	1	STAIRS	0.31	0.31	36 1/4" X 60 1/4"
2W 3050 SH	1	BEDROOM #1	0.31	0.31	72 1/8" X 60 1/4"
2040 SH	1	BATH #1	0.31	0.31	24" X 48"
3050 SH	1	BEDROOM #2	0.31	0.31	36 1/4" X 60 1/4"

EXHIBIT D.

X427 HOLCOMBE	3.0 X
PC#1133,1141,1143: 9-14-2023-LL	
PC#1155: 12-29-23-LL	
PERMIT/CONSTRUCT: 7-29-24-RK	

CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA

4824 171ST ST VARIANCE
FINDINGS OF FACT AND RECOMMENDATION

The Lakeville Planning Commission met at its regularly scheduled meeting on May 22, 2025 to consider the application of D.R. Horton, Inc, - Minnesota, on behalf of Dayitwa Shrestha and Renu Lakhemaru, for a variance to allow an attached garage of less than 540 square feet and a width of less than 22 feet for the home at 4824 171st Street. The Planning Commission conducted a public hearing on the variance application preceded by published and mailed notice. The applicant was present, and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The subject property is located in Comprehensive Planning District 3, which guides the property for low density residential use.
2. The subject site is zoned RST-2, Single and Two-Family Residential District.
3. Legal description of the property is:

Lot 12, Block 6, Brookshire

4. Chapter 6 of the City of Lakeville Zoning Ordinance provides that a variance shall not be approved unless failure to grant the variance will result in practical difficulties. The criteria and our findings regarding them are:

- a. **That the variance would be consistent with the comprehensive plan.**

Finding: Single family homes are consistent with the low-density residential land use designation.

- b. **That the variance would be in harmony with the general purposes and intent of this Title.**

Finding: A two car garage is the minimum requirement for a single family home and therefore is in harmony with the general purposes and intent of this title.

- c. **That the plight of the landowner is due to circumstances unique to the property not created by the landowner.**

Finding: The homeowner did not create this situation; it is due to an error on the part of DR Horton and the City of Lakeville.

- d. That the purpose of the variance is not exclusively economic considerations.

Finding: Not applicable.

- e. That the granting of the variance will not alter the essential character of the neighborhood in which the parcel of land is located.

Finding: There are other single family homes in the Brookshire development which have two car garages. That the attached garage at 4824 171st Street does not meet the minimum area and width is not noticeable from outside the structure and therefore will not alter the essential character of the neighborhood in which the home is located.

- f. That the requested variance is the minimum action required to eliminate the practical difficulty.

Finding: The home and garage are constructed and therefore the granting of the requested variance is the minimum action required to eliminate the practical difficulty.

- g. Variances may not be approved for any use that is not allowed under this section for property in the zone where the affected person's land is located.

Finding: Not applicable; single family homes are a permitted use in the RST-2 District.

5. The report dated May 15, 2025 prepared by Kris Jenson, Planning Manager is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the variance based upon the foregoing information, findings, and the considerations and stipulations outlined in the Planning Report dated May 15, 2025, prepared by Kris Jenson, Planning Manager.

DATED: May 22, 2025

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair



Memorandum

To: Planning Commission
From: Kris Jensen, Planning Manager
Date: May 13, 2025
Subject: Packet Material for the May 22, 2025 Planning Commission Meeting
Agenda Item: Reserve at Cedar Creek preliminary plat and easement vacation.
Action Deadline: June 3, 2025

BACKGROUND

Reserve at Cedar Creek, LLC has applied for a preliminary plat and easement vacation to allow the development of 48 single family home lots on 20 acres to be known as Reserve at Cedar Creek. The Reserve at Cedar Creek preliminary plat is located north of 202nd Street (CSAH 50), west of Glenbrook Path, and south of 200th Street.

The Reserve at Cedar Creek preliminary plat plans have been distributed to Engineering Division and Parks and Recreation Department staff, and the Parks, Recreation and Natural Resources Committee.

EXHIBITS

- A. Aerial Map
- B. Zoning Map
- C. Easement Vacation
- D. Existing Conditions
- E. Preliminary Plat
- F. Overall Preliminary Grading & Erosion Control Plan
- G. Preliminary Sanitary Sewer and Watermain Plan
- H. Preliminary Storm Sewer Plan
- I. Overall Tree Inventory Plan
- J. Tree Inventory Data (2 pages)
- K. Overall Preliminary Landscape Plan
- L. Plat Commission Letter dated March 13, 2025

PLANNING ANALYSIS

EASEMENT VACATION

The south parent parcel includes a public drainage and utility easement over the East Branch of South Creek, which crosses the southeast corner of the parcel to be developed. The Federal Emergency Management Agency (FEMA) recently approved a Letter of Map Revision (LOMR) for the creek in this area, which more accurately defines the floodplain within this parcel. Because of this revision and that the creek area will be placed in an outlot and required to be deeded to the City with the final plat, the easement over the creek area is no longer needed. The easement also includes roadway, drainage, and utility easement over 202nd Street, which will be replaced with platted right of way.

PRELIMINARY PLAT

Existing Conditions. The development site consists of two parcels. Each parcel has a single family home and outbuilding, all of which will be removed with development of the properties.

Consistency with the Comprehensive Plan. The Reserve at Cedar Creek property is located in Planning District 5 of the 2040 Comprehensive Plan, which guides the subject property for low/medium density residential development.

Adjacent Land Uses. The adjacent land uses and zoning are as follows:

- North – 200th Street, Large lot single family home property (RST-2)
- East – Cedar Creek Villas detached townhome lots (RST-2)
- South – 202nd Street (CSAH 50), Large lot single family home property (RST-2)
- West – Large lot single family homes (RST-2)

Consistency with the Capital Improvement Plan (CIP). City streets, sanitary sewer and water improvements for the area of Reserve at Cedar Creek will be financed and constructed by the Developer. The development costs associated with the Reserve at Cedar Creek development are not programmed in the 2025– 2029 CIP.

Premature Subdivision Criteria. A preliminary plat may be deemed premature if any of the criteria listed in Chapter 10-2-4-1 of the Subdivision Ordinance exist. Eligible criteria pertain to a lack of adequate: drainage, water, streets, sanitary sewer, and public service capacity (police and fire protection). The other pertinent criteria pertain to inconsistencies with the City Comprehensive Land Use and Capital Improvement Plans (discussed above). Staff review of the Reserve at Cedar Creek preliminary plat against these criteria finds that it is not a premature subdivision.

MUSA. The Reserve at Cedar Creek preliminary plat area is located within the current MUSA.

Density/Average Lot Size. The Reserve at Cedar Creek preliminary plat consists of 48 single-family home lots on 20 acres. This results in a gross density of 2.40 units per acre.

Excluding arterial street right-of-way, stormwater management ponds, and the creek, the net density is 3.27 units per acre.

Lot Requirements. The following minimum requirements for single family home lots in the RST-2 District pertain to the Reserve at Cedar Creek preliminary plat:

	Lot Area	Lot Width
Interior Lot	8,400 SF	70 feet
Corner Lot	10,200 SF	85 feet

The proposed lots shown on the Reserve at Cedar Creek preliminary plat have sufficient area to accommodate the single family homes.

Lot Setbacks. The following minimum setbacks for single family homes in the RST-2 District pertain to the Reserve at Cedar Creek preliminary plat:

Front Yard	Rear Yard	Side Yard	
		Interior	ROW
25 ft garage face 20 ft building	30 feet	7 feet	20 feet

The proposed lots shown on the Reserve at Cedar Creek preliminary plat have sufficient area to accommodate a single family home.

Garage Area. The single family homes are proposed to include slab on grade, look out, and walk out units. The minimum width of each garage must be 22 feet (interior measurement). Units that are slab on grade must have a minimum garage size of 540 square feet and units which are a look out or walk out design must have minimum garage size of 480 square feet, to comply with the requirements of Section 11-18-7.D.

Outlots. There are two outlots totaling 2.18 acres in the Reserve at Cedar Creek preliminary plat. The use of the proposed outlots will be as follows:

Outlot A is a 2.05 acre outlot consisting of a stormwater management basin that will be deeded to the City with the final plat.

Outlot B is a 2.13 acre outlot consisting of a drainageway and stormwater management basin that will be deeded to the City with the final plat.

Landscaping. While Lots 1-9, Block 1 directly abut 200th Street, buffer yard landscaping is not required as 200th Street is designated as a minor collector roadway in the City's Comprehensive Transportation Plan. Buffer yard landscaping is required when lots abut major collector or arterial roads. Regardless, the Developer has opted to include trees at

the rear of the lots adjacent to 200th Street as well as Lots 12-17, Block 2, which abut a stormwater pond adjacent to 202nd Street (CSAH 50)

Signs. A location for a monument sign is not shown on the preliminary plat. If planned, a monument sign must be located within and outlot or on private property.

Streets. The following is a summary of streets proposed with the Reserve at Cedar Creek preliminary plat. Additional detailed information is outlined in the Engineering Division memorandum dated May 13, 2025.

202nd Street (CSAH 50) – 202nd Street is south of and adjacent to the property and is classified as a minor arterial County Highway in the Comprehensive Transportation Plan. 202nd Street was reconstructed in 2019 as a two-lane divided roadway. The Developer is dedicating 75 feet of north half right of way as required by the current Dakota County Plat Needs Map. 202nd Street has bituminous trails on both sides of the street.

200th Street – 200th Street is north of and adjacent to the property and is designated as a minor collector in the City's Transportation Plan. It is currently a rural gravel roadway. The Developer is dedicating 40 feet of south half right of way with the preliminary plat. There are no programmed improvements in the current adopted CIP (2025-2029). Driveway access from Lots 1-9, Block 1 to 200th Street is prohibited.

Globe Drive – Globe Drive is an existing 32-foot-wide residential street along the east property line, just outside the plat boundary. It was constructed within a 60-foot-wide right-of-way with a five-foot-wide concrete sidewalk along the east side of the street and will provide access to 200th Street.

Glarus Lane – Glarus Lane will be a 32-foot-wide residential street constructed within a 60-foot-wide right-of-way with a five-foot-wide concrete sidewalk on one side of the street that will be extended from the Cedar Creek Villas development to the east. The Developer will be required to place a future street extension sign and barricades at the west end of the street.

Gothic Avenue – Gothic Avenue will be a 32-foot-wide residential street constructed within a 60-foot-wide right-of-way with a five-foot-wide concrete sidewalk on one side of the street that will be extended from the Cedar Creek Villas development to the east.

All streets meet the minimum width and design requirements of the Subdivision Ordinance.

Sidewalks/Trails. The Developer will construct five-foot-wide concrete sidewalks along one side of all streets in the development. No trails are proposed to be constructed with the development. Additional information regarding sidewalk and trail construction is included in the Engineering Memo.

Plat Commission. The Dakota County Plat Commission reviewed the preliminary plat at their March 12, 2025 meeting and approved the preliminary plat.

Phasing. Reserve at Cedar Creek will be developed in one phase.

Grading, Drainage, Erosion Control, and Utilities. Proposed grading, drainage, erosion control, and utilities for the Reserve at Cedar Creek preliminary plat is shown on the grading, drainage and erosion control and utility plans. All existing and new local utilities shall be placed underground.

Grading, drainage, erosion control, and utilities details are outlined in the May 13, 2025 engineering report prepared by Alanna Sobottka, Civil Engineer and Mac Cafferty, Environmental Resources Manager. The Engineering Division recommends approval of the preliminary plat and easement vacations.

Tree Preservation. A tree preservation plan was submitted by the Developer that identifies 857 significant trees on site. The tree preservation plan proposes to save 30 (3.5%) of the significant trees on site. A significant number of trees on site were planted by current or previous property owners. All 'save' trees must be replaced at a ratio of 2:1.

Wetlands. A wetland delineation was completed and approved for the site in 2024. There is a 0.125 acre wetland that will be impacted and the Developer has purchased 0.25 acres of wetland banking credit to replace the wetland impacts. Mac Cafferty has reviewed the wetland report and additional information about the wetlands are included in the May 13, 2025 engineering report.

Park Dedication. The 2015 Parks, Trails, and Open Space Plan does not identify a park location in this area. The park dedication requirement will be satisfied through park dedication fees to be paid with the final plat. The Parks, Recreation and Natural Resources Committee will review the preliminary plat at their May 21, 2025 meeting. Their comments will be forwarded to the Planning Commission at the public hearing.

Overhead Utilities. Overhead electric line and poles are located along the south side of 200th Street. The Developer will be required to place these utilities underground along the plat boundary as a part of the improvements on the site.

RECOMMENDATION

Community Development Department staff recommends approval of the Reserve at Cedar Creek preliminary plat and easement vacation, subject to the following stipulations:

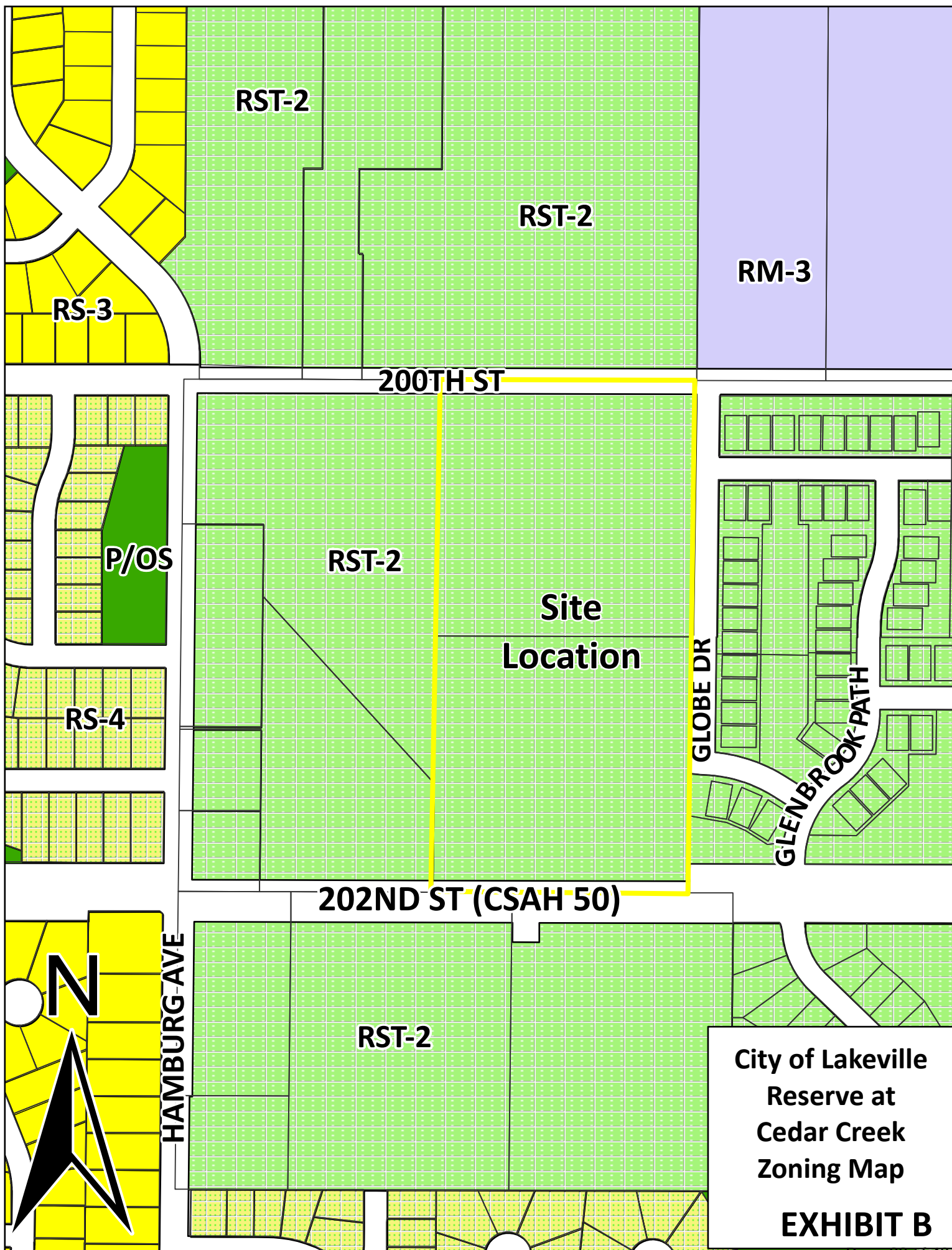
1. Implementation of the recommendations listed in the May 13, 2025 engineering report.
2. Park dedication shall be satisfied with a cash contribution paid with the final plat.
3. The Developer shall construct five-foot-wide concrete sidewalks as shown on the preliminary plat plans.
4. Outlots A and B shall be deeded to the City with the final plat.

5. Glarus Lane must have a future street extension sign and barricades placed at the west end of the street.
6. Driveway access from Lots 1-9, Block 1 to 200th Street is prohibited.
7. All new local utilities and the existing overhead service utilities located along the south side of 200th Street shall be placed underground.



City of Lakeville
Reserve at
Cedar Creek
Site Location Map

EXHIBIT A



City of Lakeville
Reserve at
Cedar Creek
Zoning Map

EXHIBIT B

DESCRIPTION

A PUBLIC DRAINAGE AND UTILITY EASEMENT OVER, UNDER , AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

THE WEST 661.31 FEET OF THE EAST 1983.05 FEET OF THAT PART OF THE N $\frac{1}{4}$ OF THE NE $\frac{1}{4}$ LYING SOUTHERLY OF THE NORTH 660.00 FEET THEREOF IN SECTION 28, RANGE 20, DAKOTA COUNTY, MINNESOTA.

EASEMENT IS FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE ABOVE DESCRIBED PROPERTY; THENCE NORTH 00 DEGREES 10 MINUTES 34 SECONDS WEST, ASSUMED BEARING, ALONG THE WEST LINE OF SAID PROPERTY, A DISTANCE OF 446.00 FEET; THENCE SOUTH 42 DEGREES 57 MINUTES 40 SECONDS EAST, A DISTANCE OF 263.71 FEET; THENCE SOUTH 10 DEGREES 59 MINUTES 37 SECONDS EAST, A DISTANCE OF 255.05 FEET TO THE SOUTH LINE OF SAID PROPERTY; THENCE SOUTH 89 DEGREES 20 MINUTES 01 SECONDS WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 227.00 FEET TO THE POINT OF BEGINNING.

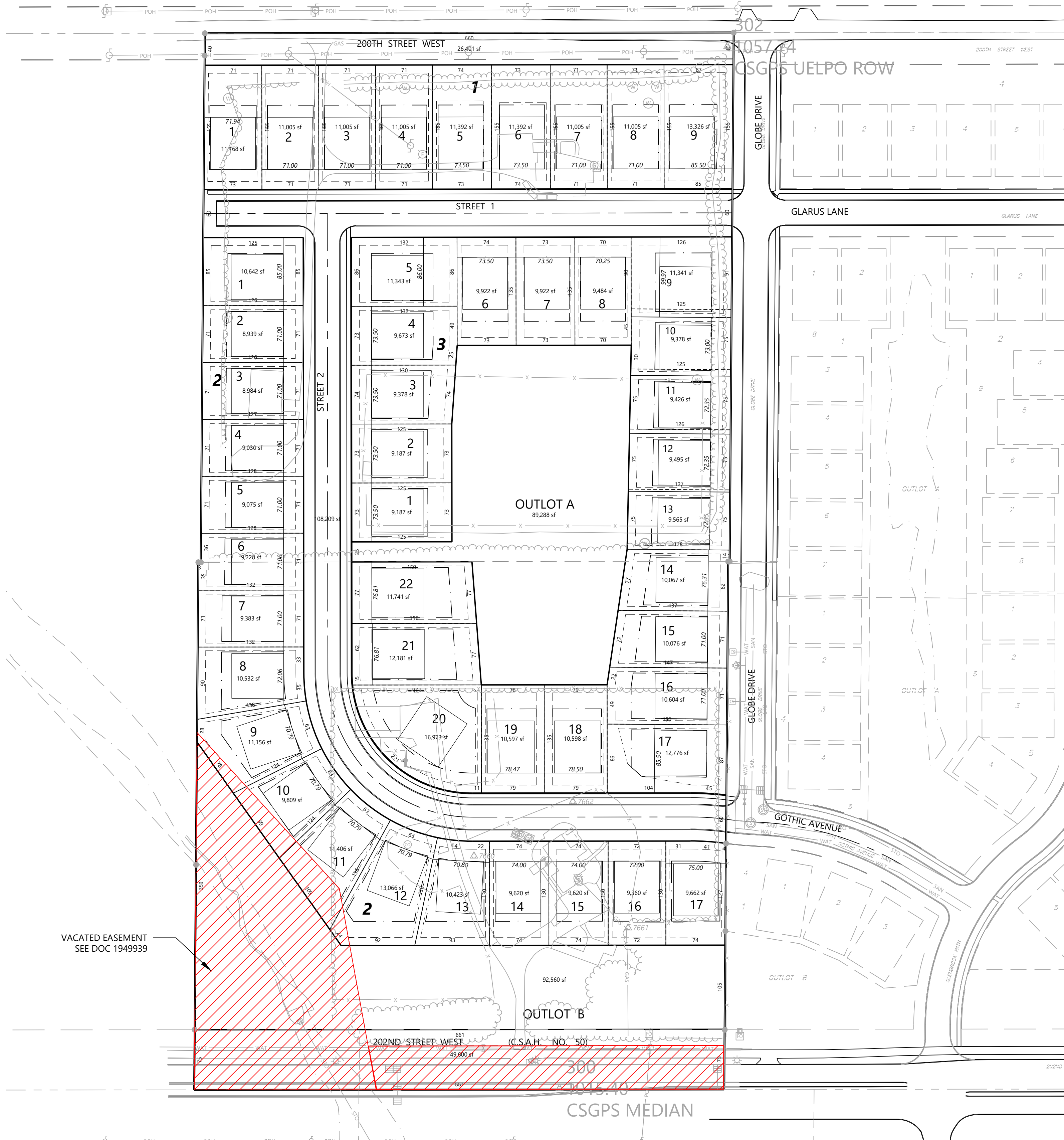
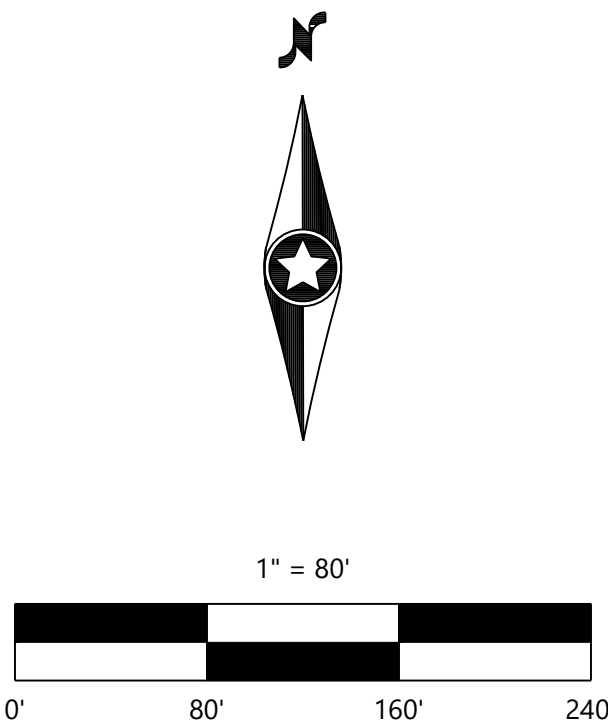


EXHIBIT C



RESERVE AT CEDAR CREEK

DESIGNED:	TDD
CHECKED:	TDD
DRAWN:	TDD
HORIZONTAL SCALE:	80'
VERTICAL SCALE:	16' OR 8'

INITIAL ISSUE:	01/07/25
REVISIONS:	
△	-
△	-
△	-
△	-
△	-

PREPARED FOR:

RESERVE AT CEDAR CREEK, LLC.

221 S RIVER RIDGE CIR STE 100
BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME
OR UNDER MY DIRECT SUPERVISION AND THAT I AM A
DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE
STATE OF MINNESOTA

MATHEW J. WELINSKI
DATE: 01/07/25 LICENSE NO. 53596

RESERVE AT CEDAR CREEK

LAKEVILLE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

EASEMENT VACATION
EXHIBIT

PROJECT NUMBER: 0052375.00

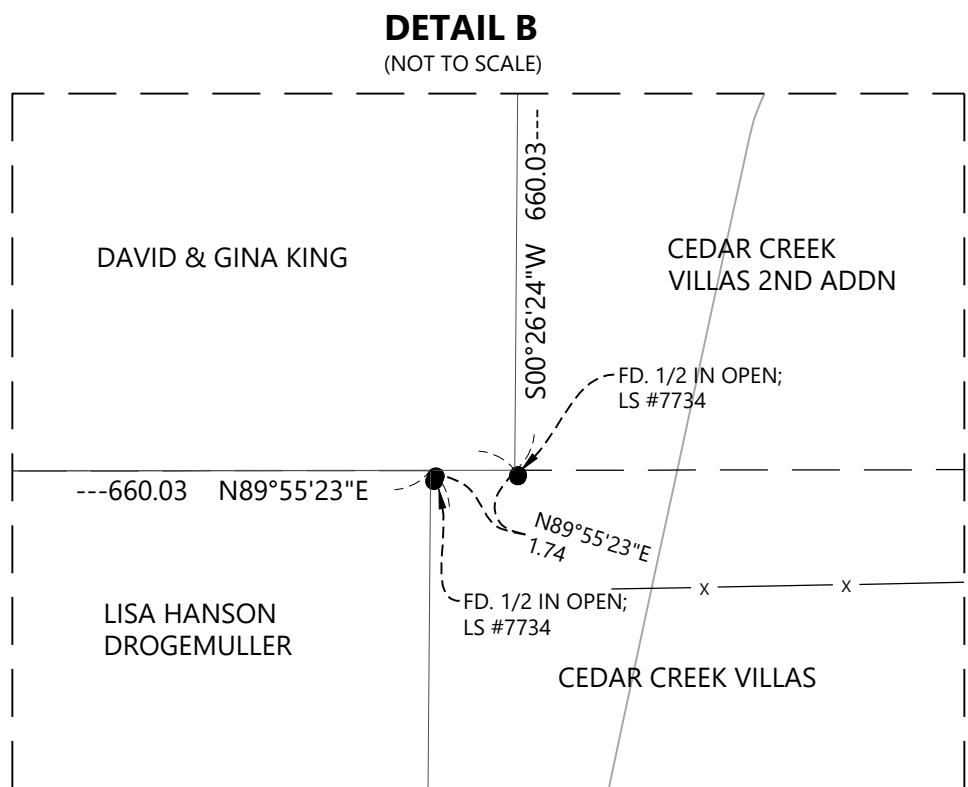
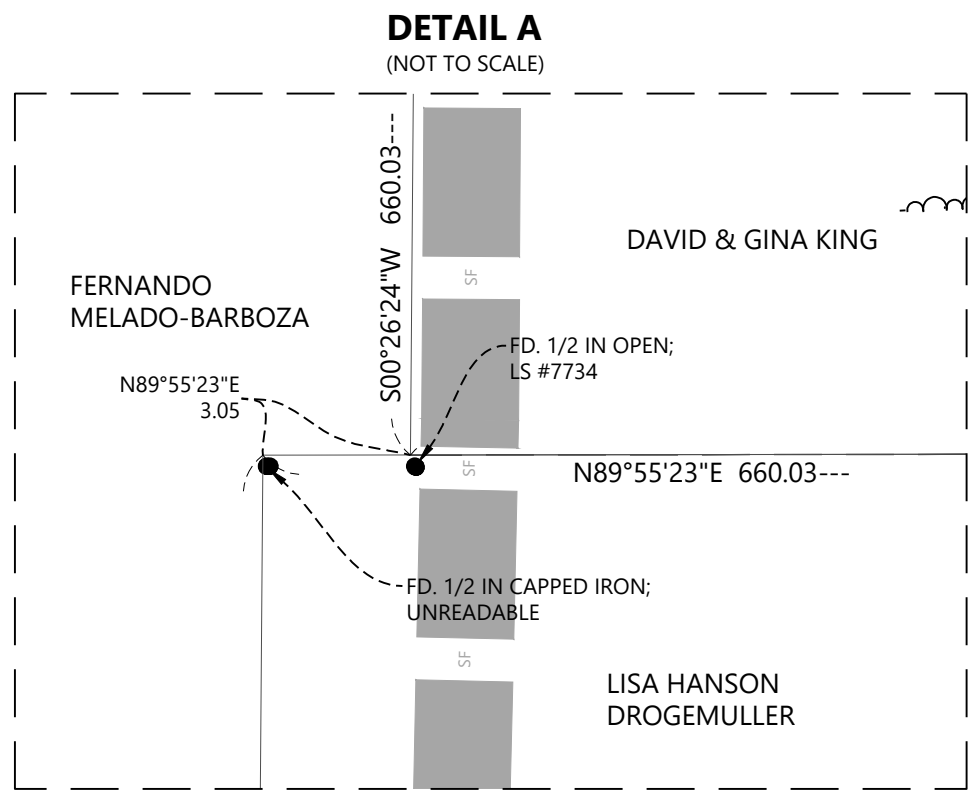
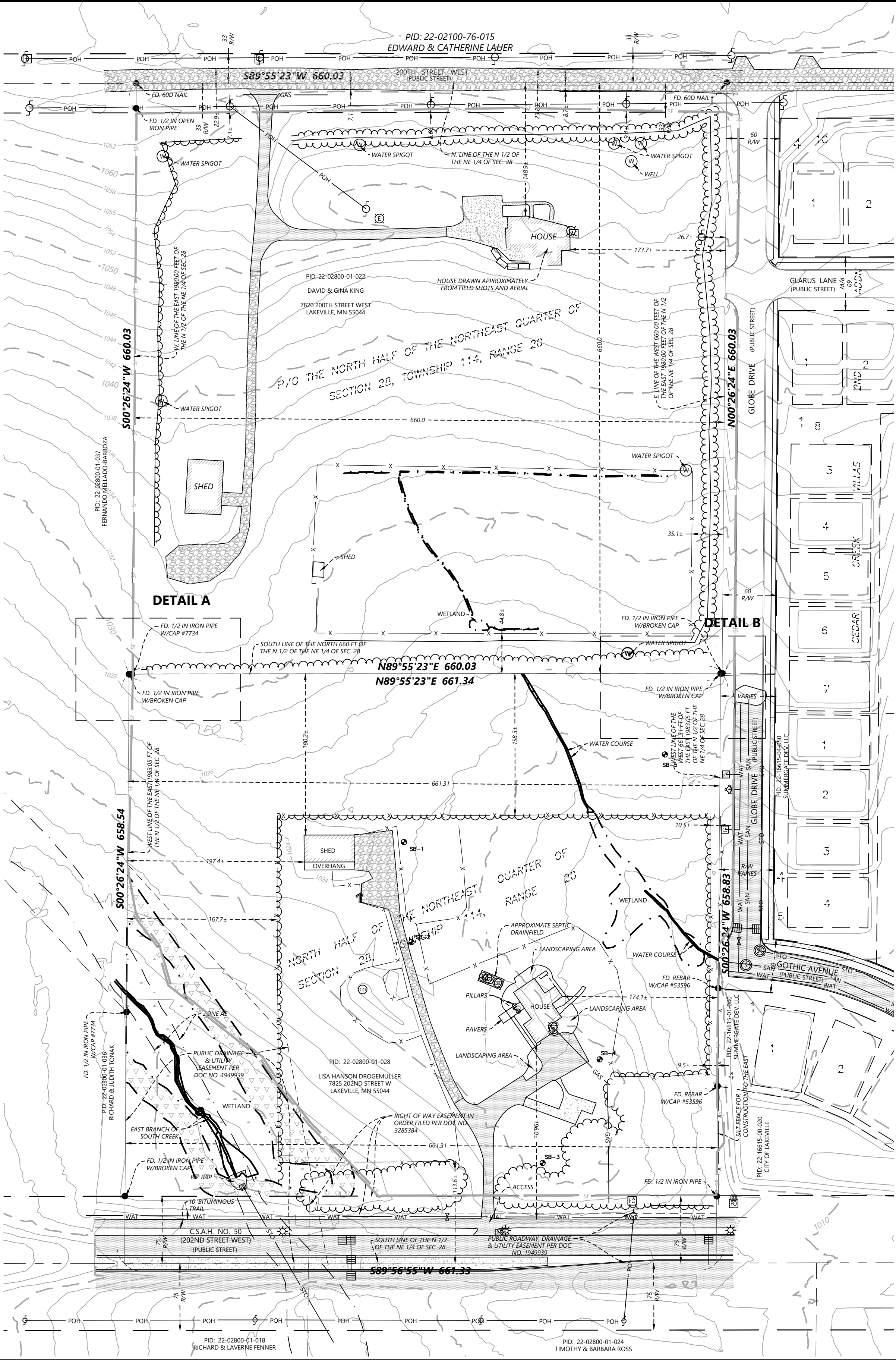
SHEET NUMBER:

1

OF

1

DATE: 2/7/25



KING PROPERTY DESCRIPTION

The West 660.00 feet of the East 1980.00 feet of the North 660.00 feet of the North-Half (N1/2) of the Northeast Quarter (NE1/4), Section Twenty-eight (28), Township One Hundred Fourteen (114), Range Twenty (20), Dakota County, Minnesota.

Abstract Property

DROGEMULLER PROPERTY DESCRIPTION

The West 661.31 feet of the East 1983.05 feet of that part of the North 1/2 of the Northeast 1/4 lying Southerly of the North 660.00 feet thereof, Section 28, Township 114, Range 20, Dakota County, Minnesota.

Abstract Property

GENERAL NOTES

- Bearings of property lines shown hereon are based on the Dakota County coordinate system, (NAD 83 - 1986 Control Adjustment).
- Lengths of lines and distances between features are measured in US-Survey Feet.
- Wetlands shown were delineated by Westwood Professional Services.

LEGEND

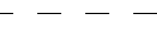
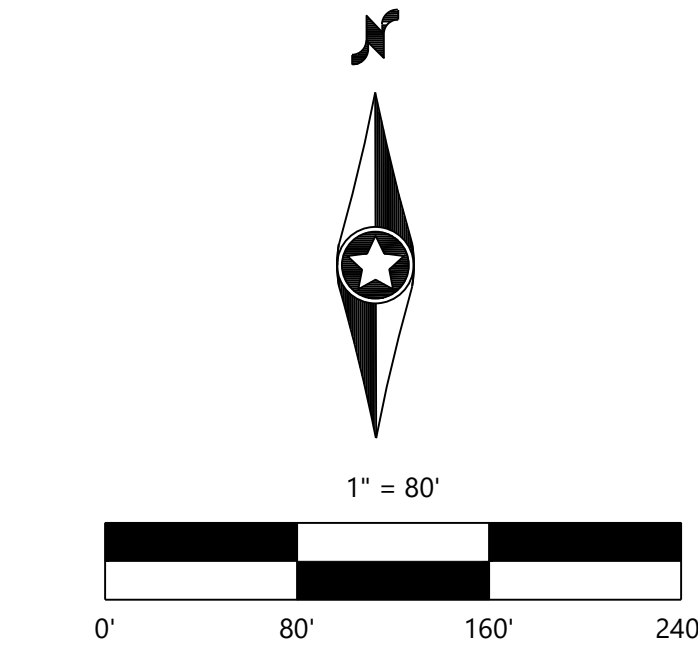
	SANITARY MANHOLE		BOUNDARY LINE
	SEWER CLEANOUT		RIGHT-OF-WAY LINE
	STORM MANHOLE		LOT LINE
	CATCH BASIN		EASEMENT LINE
	FLARED END SECTION		SECTION LINE
	HYDRANT		TREE LINE
	GATE VALVE		GAS LINE
	CURB STOP BOX		POWER OVERHEAD
	WELL		POWER UNDERGROUND
	FARM HYDRANT		SANITARY SEWER
	ELECTRIC BOX		STORM SEWER
	ELECTRIC METER		WATERMAIN
	STREET LIGHT		FIBER OPTIC
	GUY WIRE		FENCE LINE
	POWER POLE		CURB & GUTTER
	FIBER OPTIC PEDESTAL		CONCRETE SURFACE
	NATURAL GAS METER		BITUMINOUS SURFACE
	STEEL/WOOD POST		GRAVEL SURFACE
	SIGN		WETLAND
	MAIL BOX		FOUND MONUMENT

EXHIBIT D



NOT FOR CONSTRUCTION

PREPARED FOR:
RESERVE AT CEDAR CREEK, LLC.

221 S RIVER RIDGE CIR STE 100
BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME
OR UNDER MY DIRECT SUPERVISION AND THAT I AM A
DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE
STATE OF MINNESOTA
MATHEW J. WELINSKI
DATE: 05/14/25 LICENSE NO. 53596

RESERVE AT CEDAR CREEK
LAKEVILLE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

EXISTING CONDITIONS

PROJECT NUMBER: 0052375.00

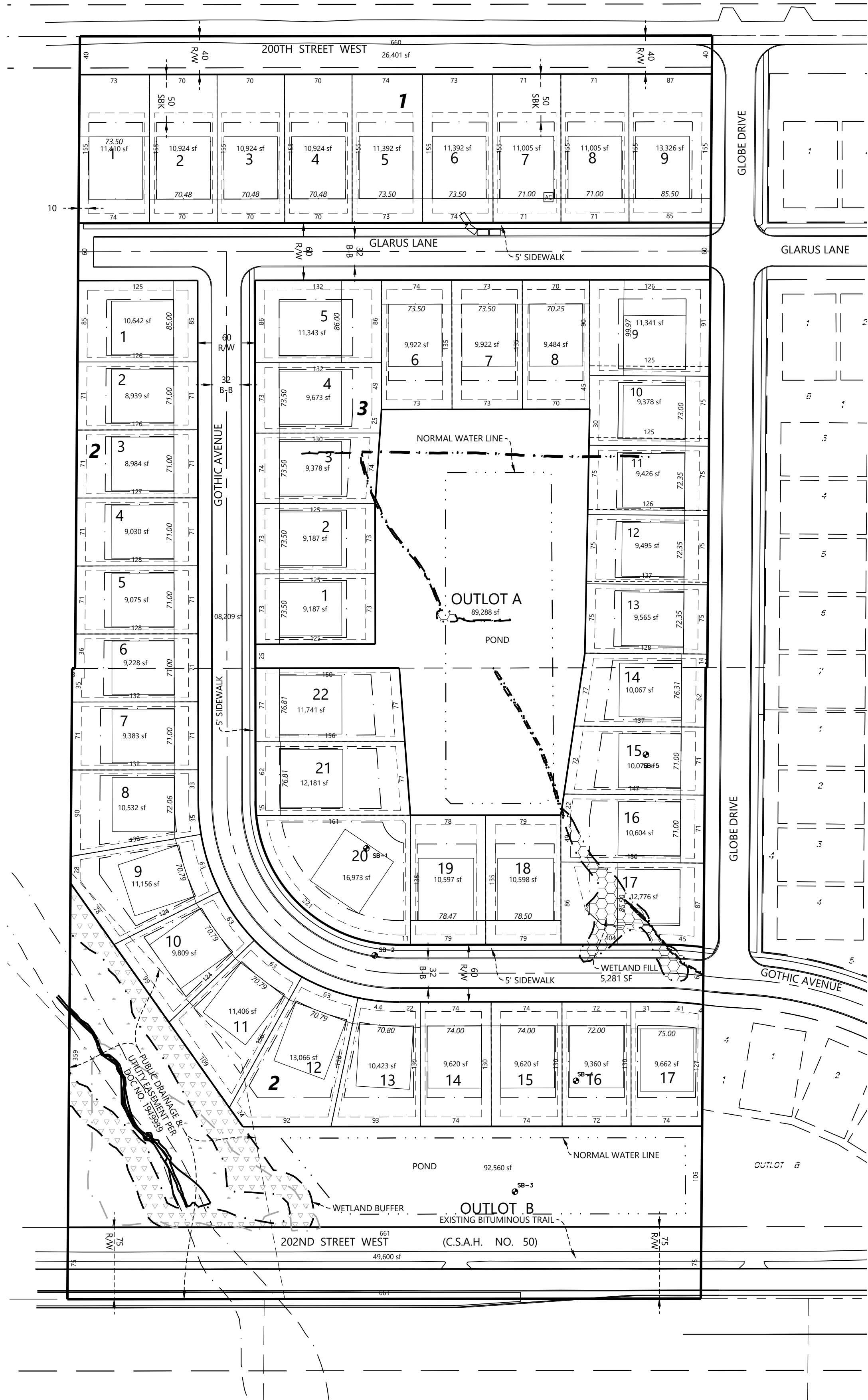
SHEET NUMBER:

2

OF

25

DATE: 05/14/25



KING PROPERTY DESCRIPTION

The West 660.00 feet of the East 1980.00 feet of the North 660.00 feet of the North-Half (N1/2) of the Northeast Quarter (NE1/4), Section Twenty-eight (28), Township One Hundred Fourteen (114), Range Twenty (20), Dakota County, Minnesota.

Abstract Property

DROGEMULLER PROPERTY DESCRIPTION

The West 661.31 feet of the East 1983.05 feet of that part of the North 1/2 of the Northeast 1/4 lying Southerly of the North 660.00 feet thereof, Section 28, Township 114, Range 20, Dakota County, Minnesota.

Abstract Property

SITE DEVELOPMENT DATA

- EXISTING ZONING: RST-2
- GROSS SITE AREA: 20.0 AC (871,214 SF)
MAJOR R.O.W.: 202ND ST 1.14 AC (49,600 SF)
200TH ST 0.61 AC (26,401 SF)
WETLANDS (TO REMAIN): 0.49 AC (21,344 SF)
- NET SITE AREA: 17.76 AC (773,625 SF)
- DEVELOPMENT SUMMARY
70 FT SINGLE FAMILY HOMES: 48 LOTS
- PROJECT DENSITY:
GROSS: ±2.40 UN/AC
NET: ±2.61 UN/AC

LOT STANDARDS

STANDARD	70' SINGLE FAMILY
MINIMUM LOT AREA	8,939 SF
AVERAGE LOT AREA	10,524 SF
MINIMUM LOT WIDTH	70' @ FRONT SBK
MINIMUM LOT DEPTH	124'
SETBACKS	
FRONT	25'
SIDE INTERIOR LOT	7'
SIDE CORNER LOT	20'
REAR	30" TYPICAL 50' TO 200TH ST. & 202ND ST.

OUTLOT TABLE

OUTLOT	USE	OWNERSHIP	GROSS AREA
A	PONDING	CITY	2.05 AC
B	PONDING / WETLAND	CITY	2.13 AC

SITE LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		RETAINING WALL

DEVELOPMENT NOTES

- ALL LOT DIMENSIONS ARE ROUNDED TO THE NEAREST FOOT.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- STREET NAMES ARE SUBJECT TO APPROVAL BY THE CITY.
- DRAINAGE AND UTILITY EASEMENTS SHALL BE PROVIDED AS REQUIRED. DRAINAGE AND UTILITY EASEMENTS WILL BE PROVIDED OVER ALL PUBLIC UTILITIES AND UP TO 1 FOOT ABOVE THE HIGH WATER LEVEL OF ALL PONDS.
- STREET WIDTHS ARE SHOWN FROM BACK OF CURB TO BACK OF CURB.

TYPICAL SINGLE FAMILY (SF) LOT DETAIL

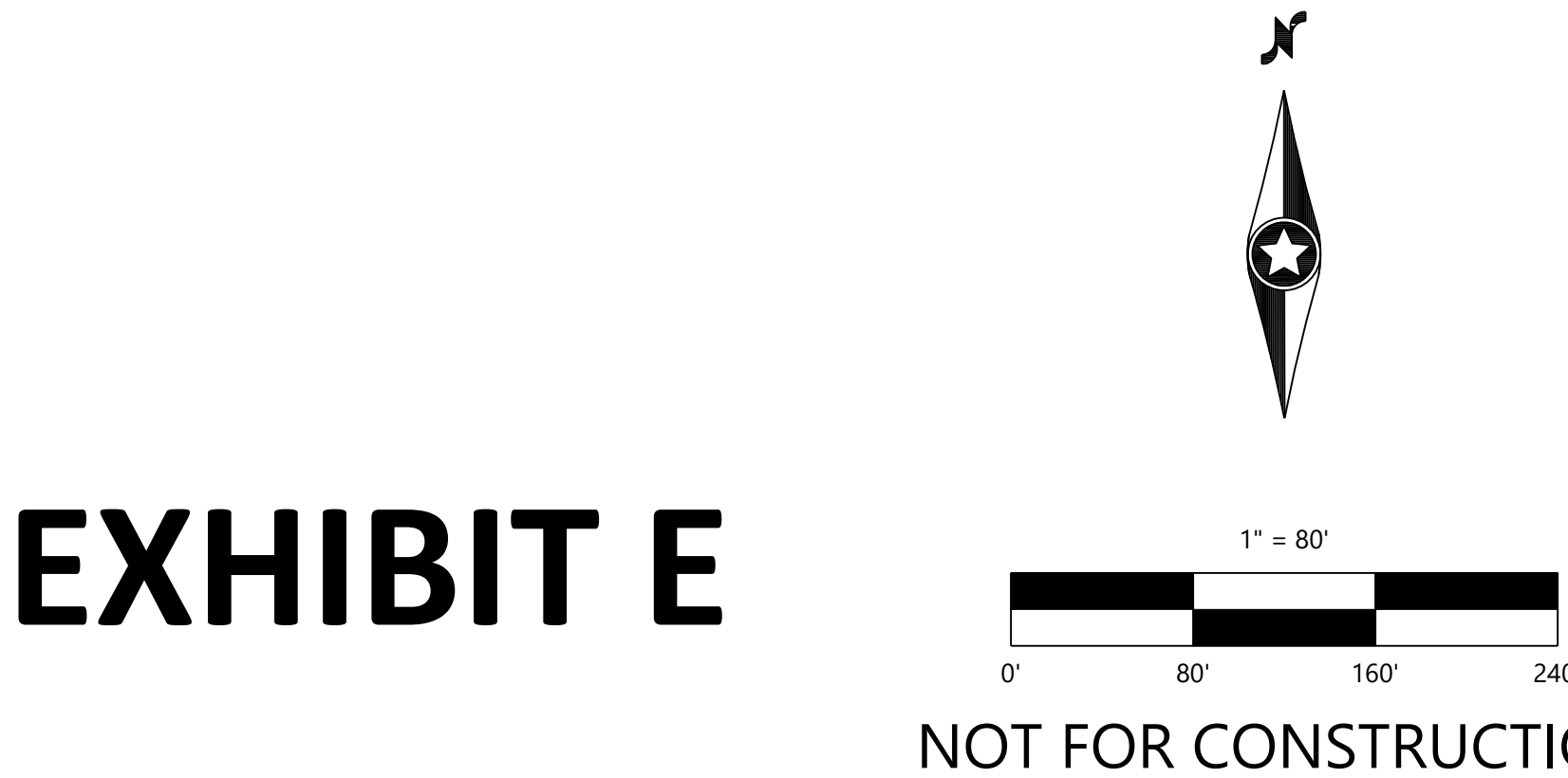
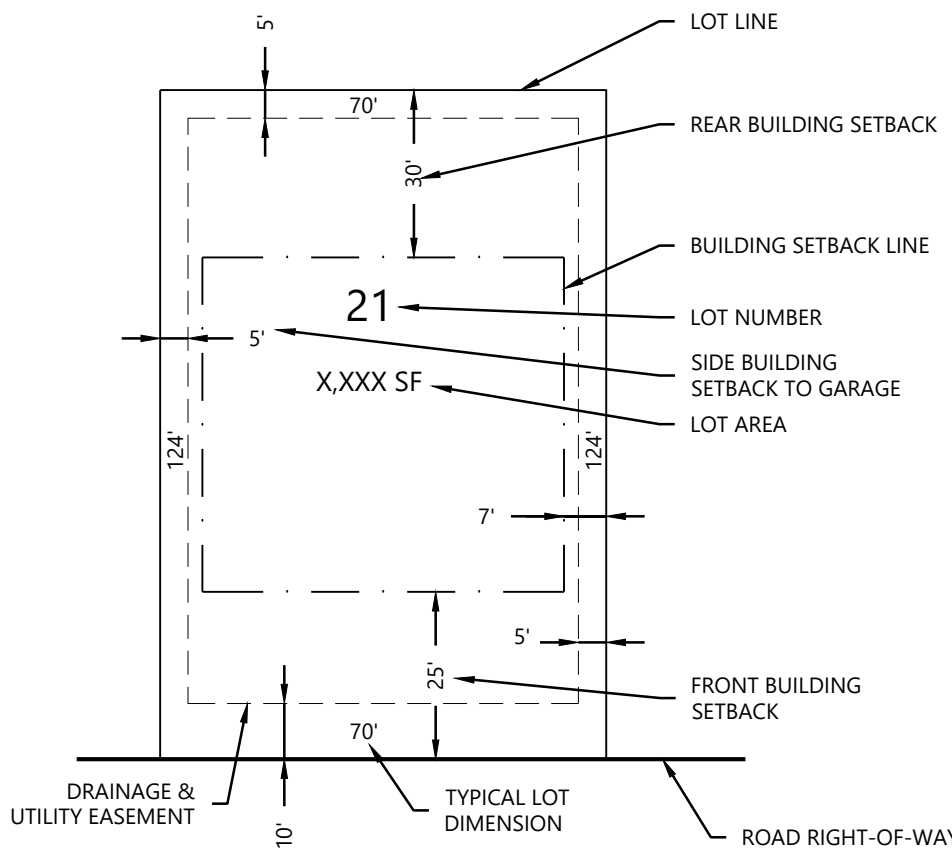


EXHIBIT E

NOT FOR CONSTRUCTION

DESIGNED:	TDD
CHECKED:	TDD
DRAWN:	TDD
HORIZONTAL SCALE:	80'
VERTICAL SCALE:	16' OR 8'

INITIAL ISSUE: 01/07/25

REVISIONS:

03/07/25	CITY COMMENTS
04/04/25	CITY COMMENTS
05/06/25	CITY COMMENTS
05/14/25	CITY COMMENTS

PREPARED FOR:

RESERVE AT CEDAR CREEK, LLC.

221 S RIVER RIDGE CIR STE 100
BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

CORY L. MEYER
DATE: 05/14/25 LICENSE NO. 26971

RESERVE AT CEDAR CREEK

LAKEVILLE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

PRELIMINARY PLAT

PROJECT NUMBER: 0052375.00

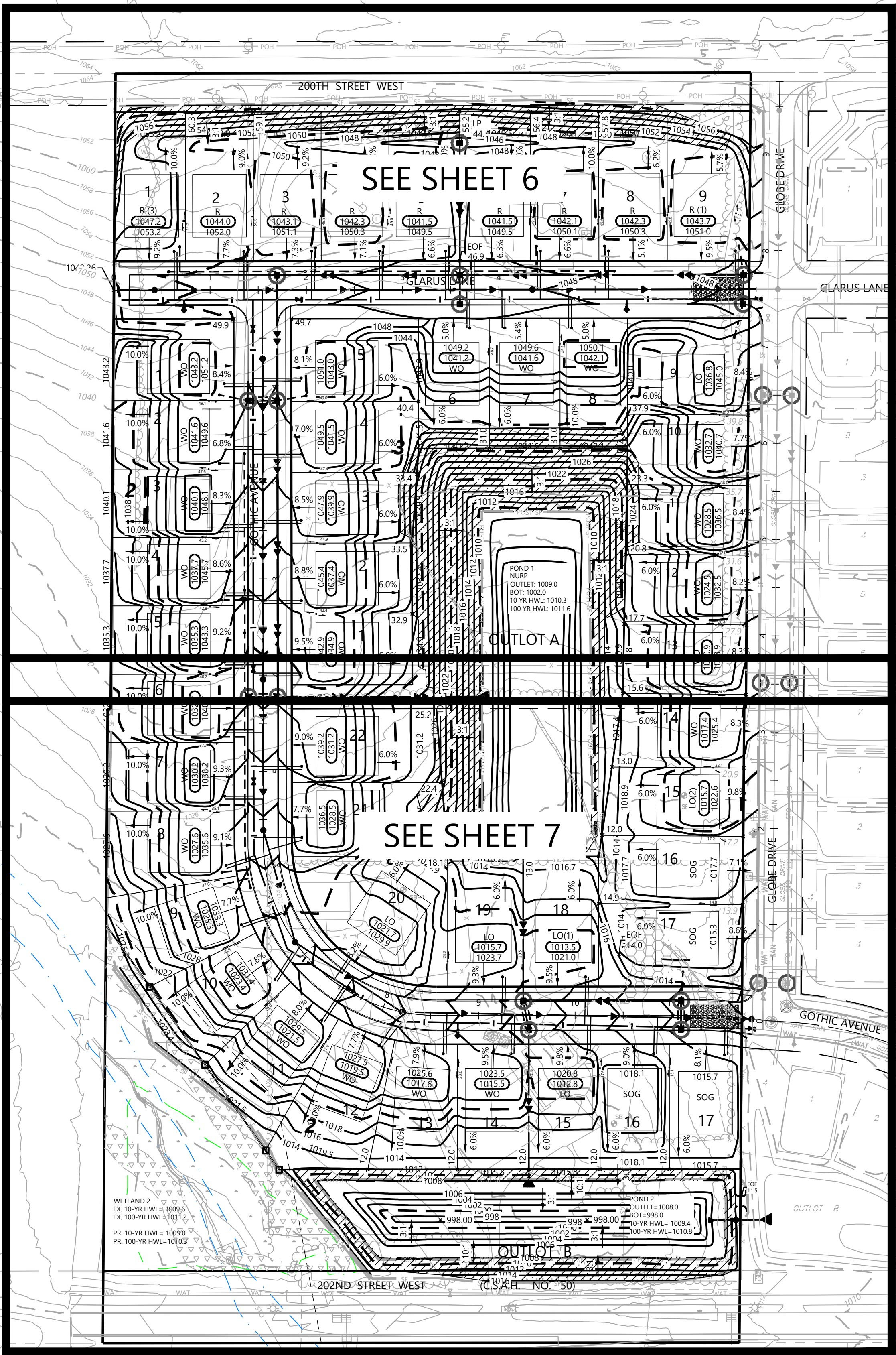
SHEET NUMBER:

4

OF

25

DATE: 05/14/25



GRADING & DRAINAGE NOTES

- ALL CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISHED SURFACE/GUTTER GRADES UNLESS OTHERWISE NOTED.
- REFER TO THE SITE PLAN/RECORD PLAT FOR MOST CURRENT HORIZONTAL SITE DIMENSIONS AND LAYOUT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHICAL FEATURES WITH THE OWNERS AND FIELD-VERIFY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL RULES.
- POSITIVE DRAINAGE FROM THE SITE MUST BE PROVIDED AT ALL TIMES.

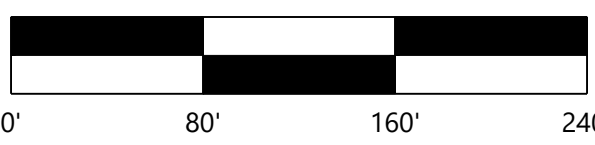
EROSION CONTROL NOTES

- ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAY BALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A ROCK ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
- REDUNDANT PERIMETER SEDIMENT CONTROLS ARE NECESSARY WHEN SOIL DISTURBANCE IS WITHIN 50 FEET OF SURFACE WATERS. REDUNDANT SEDIMENT CONTROLS COULD INCLUDE:
 - TWO ROWS OF SILT FENCE (SEPARATED BY 8 FEET); OR
 - SILT FENCE AND A TOPSOIL BERM (STABILIZE BERM WITH MULCH); OR
 - SILT FENCE AND FIBER LOGS; OR
 - TOPSOIL BERM AND FIBER LOGS (STABILIZE BERM WITH MULCH).
- REDUNDANT SEDIMENT CONTROLS MUST BE INSTALLED PRIOR TO DISTURBING WITHIN 50 FEET OF THE SURFACE WATER.

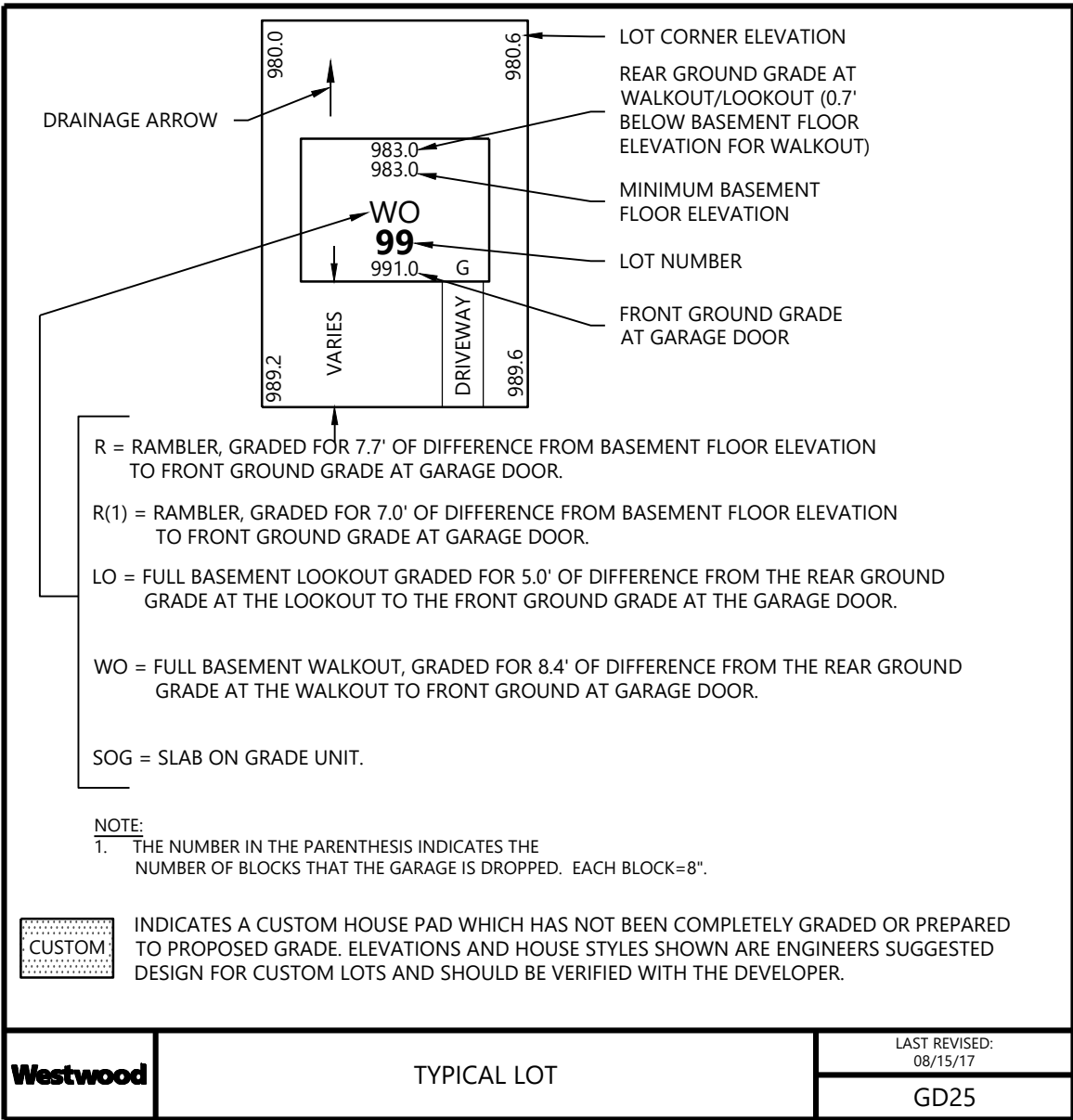
GRADING & EROSION CONTROL LEGEND

EXISTING	PROPOSED	
SB-19	SB-19	PROPERTY LINE
980	980	SOIL BORING LOCATION
982	982	INDEX CONTOUR
900.00	900.00	INTERVAL CONTOUR
	HP/LP	SPOT ELEVATION
	900.00	HIGH/LOW POINT
	CL-CL	CL-CL ELEVATION
	0.00%	FLOW DIRECTION
	TW=XXX.XX BW=XXX.XX	TOP AND BOTTOM OF RETAINING WALL
	E.O.F.	EMERGENCY OVERFLOW
STO	XXX%	PROPOSED STREET PROFILE GRADE
STO	STO	STORM SEWER
STO	STO	TREE LINE
STO	STO	TREE PROTECTION FENCE
STO	STO	RETAINING WALL (MODULAR BLOCK)
STO	STO	GRADING LIMITS
STO	STO	SILT FENCE
STO	STO	SILT FENCE-POST GRADING
STO	STO	HEAVY DUTY SILT FENCE
STO	STO	REDUNDANT SEDIMENT CONTROL
STO	STO	INLET PROTECTION
STO	STO	EROSION CONTROL CHECKS/BIOROLLS
STO	STO	ROCK CONSTRUCTION ENTRANCE
STO	STO	EROSION CONTROL BLANKET
STO	STO	POND NORMAL WATER LEVEL
STO	STO	WETLAND LINE
STO	STO	FEMA 100-YEAR FLOODPLAIN
STO	STO	CITY 100-YEAR FLOODPLAIN
STO	STO	WETLAND FILL
STO	STO	WETLAND BUFFER
STO	STO	WETLAND BUFFER LIMITS
STO	STO	WETLAND BUFFER MONUMENT

EXHIBIT F



NOT FOR CONSTRUCTION



DESIGNED:	TDD
CHECKED:	TDD
DRAWN:	TDD
HORIZONTAL SCALE:	80'
VERTICAL SCALE:	16' OR 8'

INITIAL ISSUE:	01/07/25
REVISIONS:	
03/07/25	CITY COMMENTS
04/04/25	CITY COMMENTS
05/06/25	CITY COMMENTS
05/14/25	CITY COMMENTS

PREPARED FOR:
RESERVE AT CEDAR CREEK, LLC.

221 S RIVER RIDGE CIR STE 100
BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

TOM DESUTTER
DATE: 05/14/25 LICENSE NO. 59640

RESERVE AT CEDAR CREEK
LAKEVILLE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

**OVERALL PRELIMINARY
GRADING AND EROSION
CONTROL PLAN**

PROJECT NUMBER: 0052375.00

SHEET NUMBER:

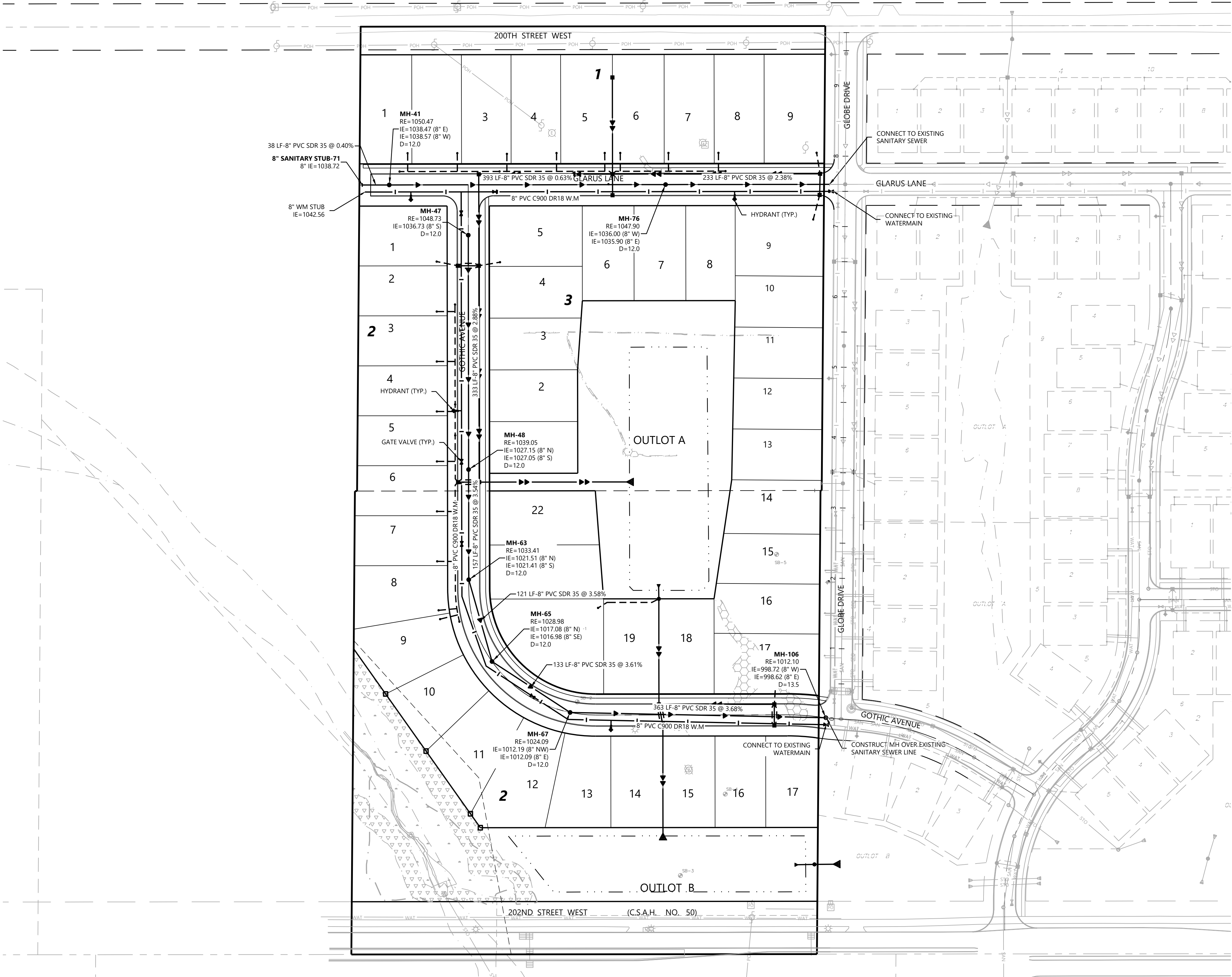
5

OF

25

DATE: 05/14/25

RESERVE AT CEDAR CREEK



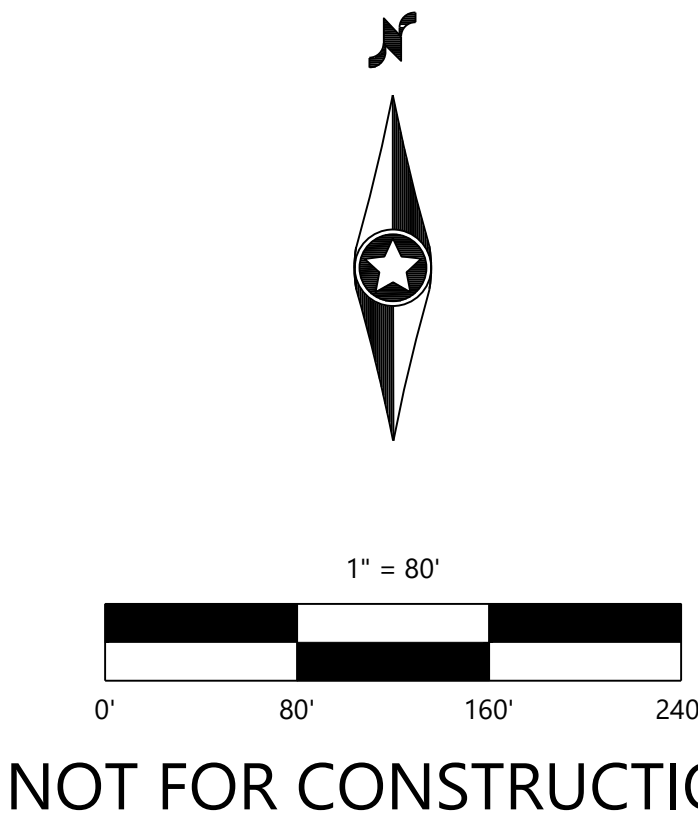
OVERALL UTILITY LEGEND

EXISTING	PROPOSED	FUTURE	
SAN			SANITARY SEWER
STO			STORM SEWER
DT			DRAIN TILE
WAT			WATER MAIN
WAT			HYDRANT

GENERAL UTILITY NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OF ANY DIFFERENCES.
2. UNLESS OTHERWISE NOTED, ALL MATERIALS, CONST. TECHNIQUES AND TESTING SHALL CONFORM TO THE 2023 ED. OF THE "STANDARD UTILITIES SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION BY THE CITY ENGINEERING ASSOCIATION OF MINN." AND TO THE "STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION" MINN. DEPT. OF TRANS., 2020 EDITION AND SUPPLEMENTAL SPECIFICATIONS SEPTEMBER 2022. THE CONTRACTOR SHALL BE REQUIRED TO FOLLOW ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.
3. THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMITS FOR ALL WORK OUTSIDE OF THE PROPERTY LIMITS.
4. VERIFY EXISTING INVERT LOCATION & ELEVATION PRIOR TO BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL CONTACT "GOPHER STATE ONE CALL" FOR FOR UTILITY LOCATIONS PRIOR TO UTILITY INSTALLATION.

EXHIBIT G



DESIGNED:	TDD
CHECKED:	TDD
DRAWN:	TDD
HORIZONTAL SCALE:	80'
VERTICAL SCALE:	16' OR 8'

INITIAL ISSUE:	01/07/25
REVISIONS:	
	03/07/25 CITY COMMENTS
	04/04/25 CITY COMMENTS
	05/06/25 CITY COMMENTS
	05/14/25 CITY COMMENTS

PREPARED FOR:
RESERVE AT CEDAR CREEK, LLC.
221 S RIVER RIDGE CIR STE 100
BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

TOM DESUTTER
DATE: 05/14/25 LICENSE NO. 59640

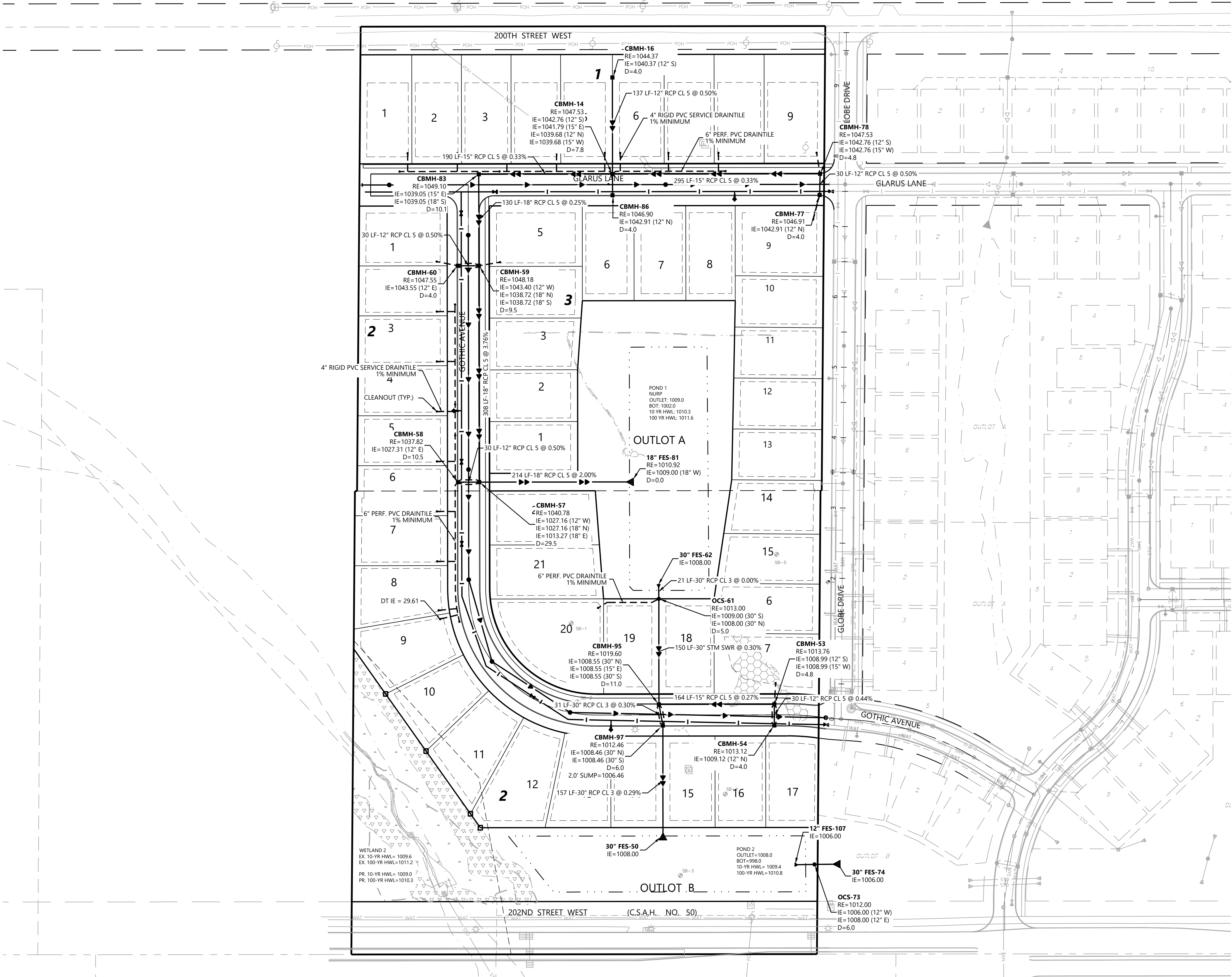
RESERVE AT CEDAR CREEK
LAKEVILLE, MN

Westwood

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Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

PRELIMINARY SANITARY
SEWER AND WATERMAIN
PLAN
PROJECT NUMBER: 0052375.00

SHEET NUMBER:
8 OF **25**
DATE: 05/14/25



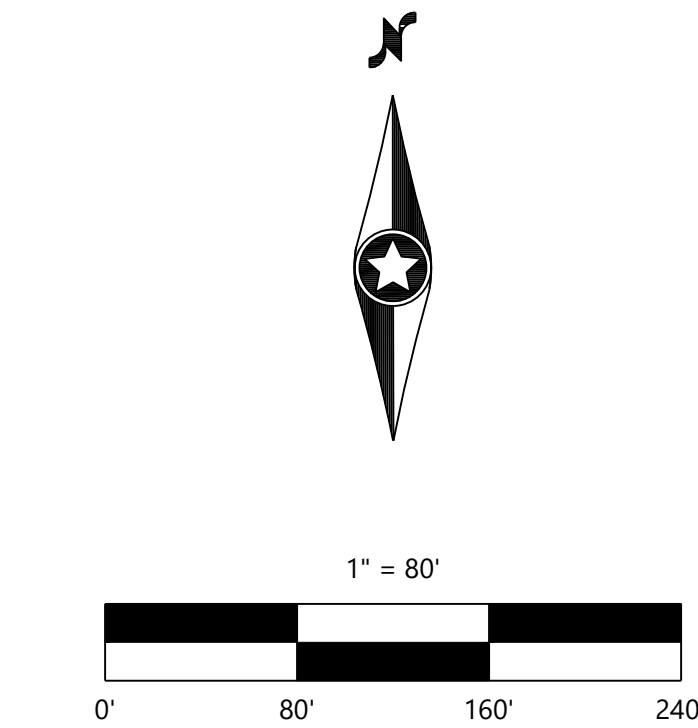
OVERALL UTILITY LEGEND

EXISTING	PROPOSED	FUTURE	
SAN			SANITARY SEWER
STO			STORM SEWER
DT			DRAIN TILE
WAT			WATER MAIN
WAT			HYDRANT

GENERAL UTILITY NOTES

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- UNLESS OTHERWISE NOTED, ALL MATERIALS, CONST. TECHNIQUES AND TESTING SHALL CONFORM TO THE 2023 ED. OF THE "STANDARD UTILITIES SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION BY THE CITY ENGINEERING ASSOCIATION OF MINN." AND TO THE "STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION" MINN. DEPT. OF TRANS., 2020 EDITION AND SUPPLEMENTAL SPECIFICATIONS SEPTEMBER 2022. THE CONTRACTOR SHALL BE REQUIRED TO FOLLOW ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.
- THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMITS FOR ALL WORK OUTSIDE OF THE PROPERTY LIMITS.
- VERIFY EXISTING INVERT LOCATION & ELEVATION PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT "GOPHER STATE ONE CALL" FOR FOR UTILITY LOCATIONS PRIOR TO UTILITY INSTALLATION.

EXHIBIT H



NOT FOR CONSTRUCTION

RESERVE AT CEDAR CREEK

DESIGNED:	TDD
CHECKED:	TDD
DRAWN:	TDD
HORIZONTAL SCALE:	80'
VERTICAL SCALE:	16' OR 8'

INITIAL ISSUE: 01/07/25

REVISIONS:

	03/07/25	CITY COMMENTS
	04/04/25	CITY COMMENTS
	05/06/25	CITY COMMENTS
	05/14/25	CITY COMMENTS

PREPARED FOR:

RESERVE AT CEDAR CREEK, LLC.

221 S RIVER RIDGE CIR STE 100
BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

TOM DESUTTER
DATE: 05/14/25 LICENSE NO. 59640

RESERVE AT CEDAR CREEK

LAKEVILLE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoods.com
Westwood Professional Services, Inc.

PRELIMINARY STORM
SEWER PLAN

PROJECT NUMBER: 0052375.00

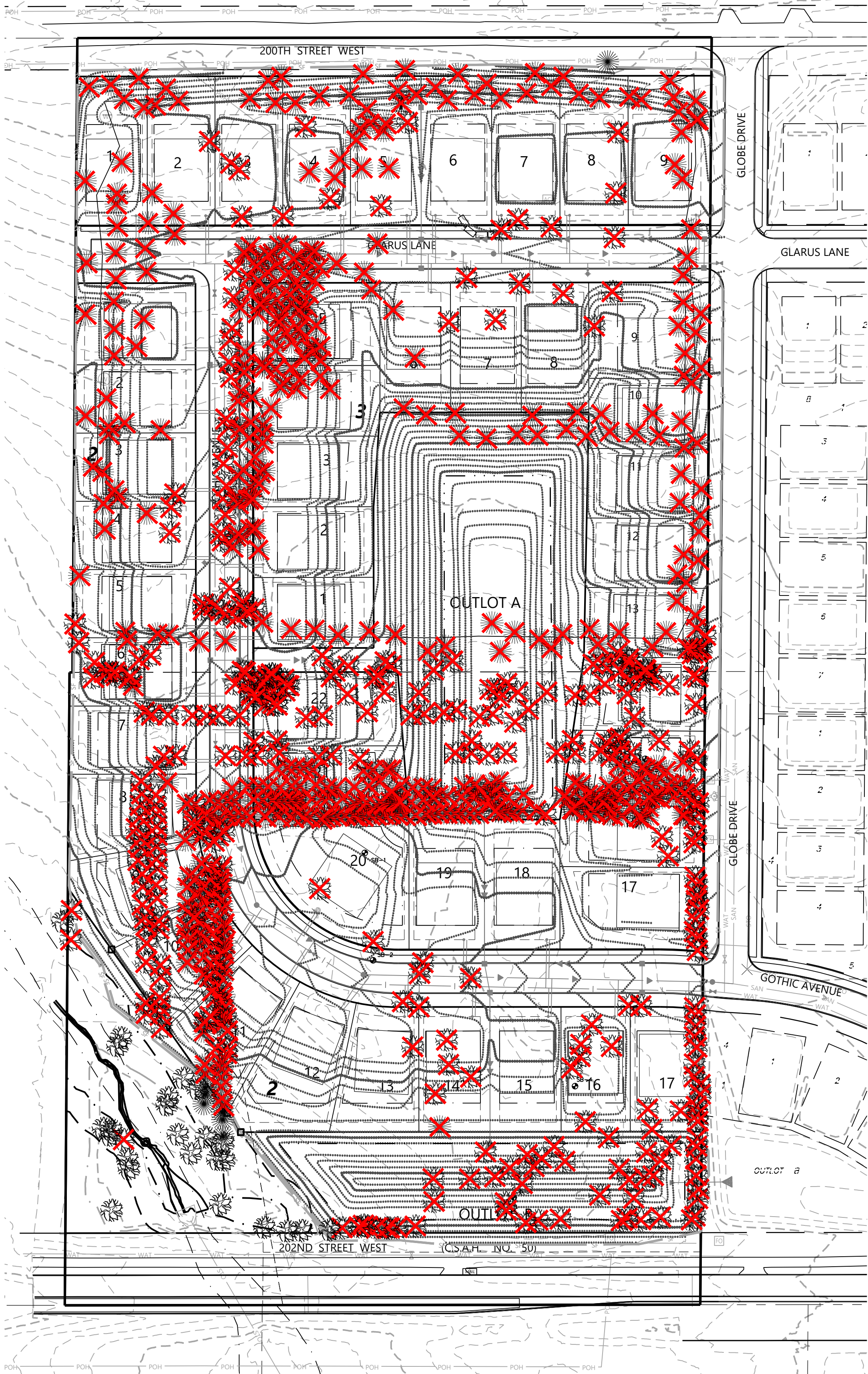
SHEET NUMBER:

9

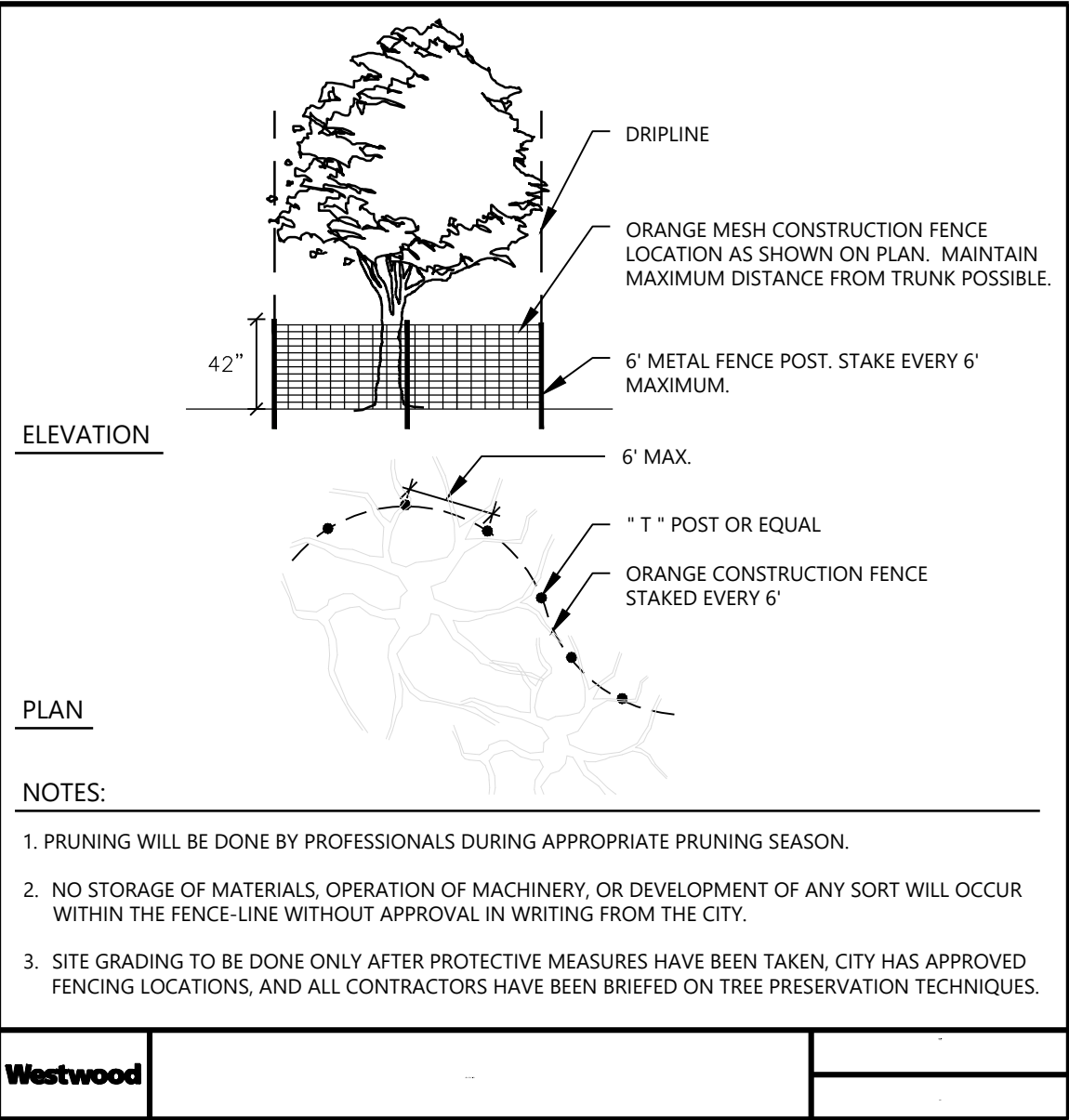
OF

25

DATE: 05/14/25



TREE PROTECTION DETAIL



LEGEND

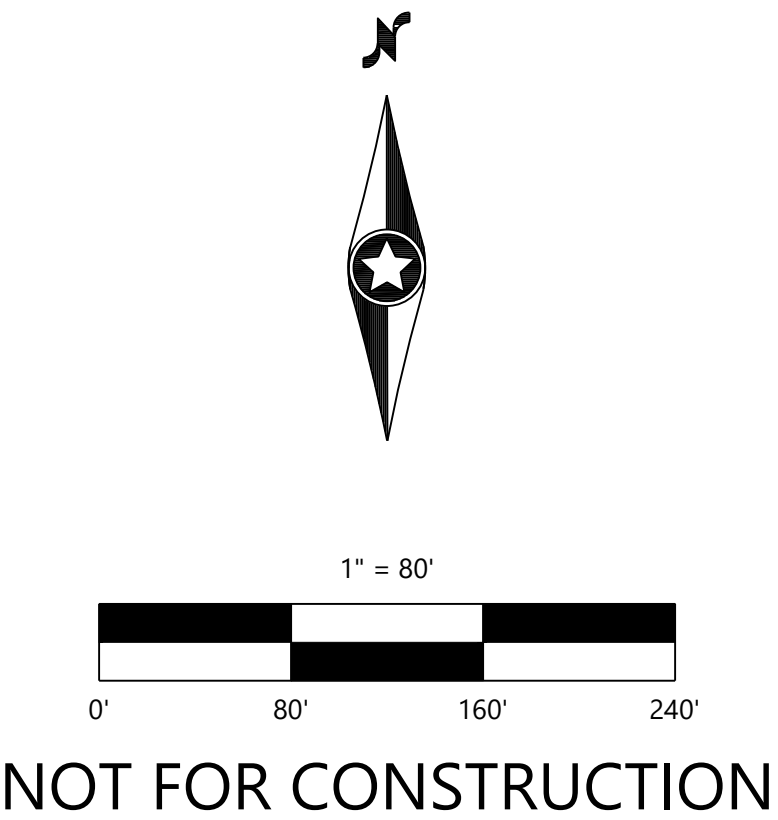
- Denotes existing coniferous tree to remain
- Denotes existing deciduous tree to remain
- Denotes existing coniferous tree to be removed
- Denotes existing deciduous tree to be removed
- Silt fence / removal and disturbance limits

TREE INVENTORY CALC. (BOTH PROPERTIES)

Tree Inventory Calculations (King Property)	
Total Trees On-Site	338 Trees
Total Trees Removed	337 Trees
Total Trees Saved	1 Tree

Tree Inventory Calculations (Droegemuller Property)	
Total Trees On-Site	519 Trees
Total Trees Removed	490 Trees
Total Trees Saved	29 Trees

EXHIBIT I



DESIGNED:	TDD
CHECKED:	TDD
DRAWN:	TDD
HORIZONTAL SCALE:	80'
VERTICAL SCALE:	16' OR 8'

INITIAL ISSUE:	01/07/25
REVISIONS:	
△ 03/07/25	CITY COMMENTS
△ 04/04/25	CITY COMMENTS
△ 05/06/25	CITY COMMENTS
△ 05/14/25	CITY COMMENTS
△	

PREPARED FOR:
RESERVE AT CEDAR CREEK, LLC.
221 S RIVER RIDGE CIR STE 100
BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

CORY L. MEYER
DATE: 05/14/25 LICENSE NO. 26971

RESERVE AT CEDAR CREEK
LAKEVILLE, MN

Westwood
Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

OVERALL TREE INVENTORY PLAN

PROJECT NUMBER: 0052375.00

SHEET NUMBER:
15 OF **25**
DATE: 05/14/25

N:\0052375.00\DWG\CIVIL\PRELIM\0052375 - TP01.DWG © 2025 Westwood Professional Services, Inc.

TREE TAG	SPECIES	SIZE (DBH)	MULTI	NOTES	TREE TYPE	STATUS
5001	Silver Maple	20	x		Deciduous	Removed
5002	Silver Maple	13			Deciduous	Removed
5003	Silver Maple	12	x		Deciduous	Removed
5004	Silver Maple	10	x		Deciduous	Removed
5005	Silver Maple	7	x		Deciduous	Removed
5006	Silver Maple	15	x		Deciduous	Removed
5007	Silver Maple	14			Deciduous	Removed
5008	Silver Maple	10			Deciduous	Removed
5009	Silver Maple	8			Deciduous	Removed
5010	Silver Maple	12	x		Deciduous	Removed
5011	Silver Maple	28	x		Deciduous	Removed
5012	White Spruce	12			Coniferous	Removed
5013	White Spruce	15			Coniferous	Removed
5014	White Spruce	13			Coniferous	Removed
5015	White Spruce	16			Coniferous	Removed
5016	White Spruce	10			Coniferous	Removed
5017	White Spruce	15			Coniferous	Removed
5018	White Spruce	13		bd 20% crown death	Coniferous	Removed
5019	White Spruce	15		bd 20% crown death	Coniferous	Removed
5020	White Spruce	15		bd 30% crown death	Coniferous	Removed
5021	White Spruce	17			Coniferous	Removed
5022	White Spruce	13			Coniferous	Removed
5023	White Spruce	18			Coniferous	Removed
5024	White Spruce	17			Coniferous	Removed
5025	Red (Norway) Pine	15			Coniferous	Removed
5026	Red (Norway) Pine	16	x		Coniferous	Removed
5027	Big Tooth Aspen	8			Deciduous	Removed
5028	Big Tooth Aspen	12			Deciduous	Offsite
5029	Big Tooth Aspen	8			Deciduous	Removed
5030	Big Tooth Aspen	7			Deciduous	Removed
5031	Big Tooth Aspen	7			Deciduous	Offsite
5032	Big Tooth Aspen	8			Deciduous	Removed
5033	Big Tooth Aspen	10			Deciduous	Removed
5034	Big Tooth Aspen	18	x		Deciduous	Removed
5035	Big Tooth Aspen	7			Deciduous	Removed
5036	Big Tooth Aspen	16			Deciduous	Removed
5037	Big Tooth Aspen	16			Deciduous	Removed
5038	Big Tooth Aspen	14			Deciduous	Removed
5039	Big Tooth Aspen	14			Deciduous	Removed
5040	Big Tooth Aspen	17			Deciduous	Removed
5041	Big Tooth Aspen	16		pd fire damage on trunk	Deciduous	Removed
5042	Big Tooth Aspen	18			Deciduous	Removed
5043	Big Tooth Aspen	14			Deciduous	Removed
5044	Big Tooth Aspen	13			Deciduous	Removed
5045	Big Tooth Aspen	14			Deciduous	Removed
5046	Big Tooth Aspen	15		bd 4ft sore w/rot on trunk	Deciduous	Removed
5047	Big Tooth Aspen	13			Deciduous	Removed
5048	Big Tooth Aspen	15			Deciduous	Removed
5049	Big Tooth Aspen	16			Deciduous	Removed
5050	Big Tooth Aspen	16			Deciduous	Removed
5051	Red (Norway) Pine	10			Coniferous	Removed
5052	Red (Norway) Pine	12			Coniferous	Removed
5053	Red (Norway) Pine	11			Coniferous	Removed
5054	Red (Norway) Pine	12			Coniferous	Removed
5055	Red (Norway) Pine	14			Coniferous	Removed
5056	Red (Norway) Pine	13			Coniferous	Removed
5057	Red (Norway) Pine	11			Coniferous	Removed
5058	Red (Norway) Pine	11			Coniferous	Removed
5059	Red (Norway) Pine	11			Coniferous	Removed
5060	Red (Norway) Pine	10			Coniferous	Removed
5061	Red (Norway) Pine	10			Coniferous	Removed
5062	Red (Norway) Pine	8			Coniferous	Removed
5063	Colorado Spruce	9			Coniferous	Removed
5064	Red (Norway) Pine	10			Coniferous	Removed
5065	Colorado Spruce	9			Coniferous	Removed
5066	Colorado Spruce	10			Coniferous	Removed
5067	Colorado Spruce	10			Coniferous	Removed
5068	Big Tooth Aspen	6			Deciduous	Removed
5069	Big Tooth Aspen	8			Deciduous	Removed
5070	Big Tooth Aspen	7			Deciduous	Removed
5071	Big Tooth Aspen	6			Deciduous	Offsite
5072	Big Tooth Aspen	7			Deciduous	Removed
5073	Big Tooth Aspen	7			Deciduous	Removed
5074	Big Tooth Aspen	6			Deciduous	Removed
5075	Big Tooth Aspen	6			Deciduous	Offsite
5076	Big Tooth Aspen	7			Deciduous	Removed
5077	Big Tooth Aspen	9			Deciduous	Removed
5078	White Spruce	15			Coniferous	Removed
5079	White Spruce	16			Coniferous	Removed
5080	Red (Norway) Pine	12	x		Coniferous	Removed
5081	Red (Norway) Pine	20			Coniferous	Removed
5082	Red (Norway) Pine	17			Coniferous	Removed
5083	Red (Norway) Pine	20			Coniferous	Removed
5084	Quaking Aspen	6			Deciduous	Offsite
5085	Quaking Aspen	6			Deciduous	Offsite
5086	Quaking Aspen	6			Deciduous	Offsite
5087	Quaking Aspen	6			Deciduous	Offsite
5088	Big Tooth Aspen	8			Deciduous	Removed
5089	Green and White Ash	6			Deciduous	Removed
5090	Big Tooth Aspen	6			Deciduous	Removed
5091	Big Tooth Aspen	6			Deciduous	Removed
5092	Big Tooth Aspen	7			Deciduous	Removed
5093	Big Tooth Aspen	6			Deciduous	Offsite
5094	Red (Norway) Pine	16	x		Coniferous	Removed
5095	Big Tooth Aspen	8			Deciduous	Removed
5096	Big Tooth Aspen	6			Deciduous	Removed
5097	Red (Norway) Pine	9	x		Coniferous	Removed
5098	Red (Norway) Pine	17			Coniferous	Removed
5099	Red (Norway) Pine	15			Coniferous	Removed
5100	Red (Norway) Pine	18			Coniferous	Removed
5101	Big Tooth Aspen	6			Deciduous	Removed
5102	Green and White Ash	20		pd woodpecker damage/bark removed from upper limbs	Deciduous	Removed
5103	Arborvitae	6	x		Deciduous	Removed
5104	Arborvitae	6	x		Deciduous	Removed
5105	Colorado Spruce	23			Coniferous	Removed
5106	Basswood	16			Deciduous	Removed
5107	Basswood	18			Deciduous	Removed
5108	Basswood	17			Deciduous	Removed
5109	Basswood	15			Deciduous	Removed
5110	Colorado Spruce	12			Coniferous	Removed
5111	White Spruce	9			Coniferous	Removed
5112	Red (Norway) Pine	6			Coniferous	Removed
5113	Red (Norway) Pine	6			Coniferous	Removed
5114	Red (Norway) Pine	6			Coniferous	Removed
5115	Red (Norway) Pine	8			Coniferous	Removed

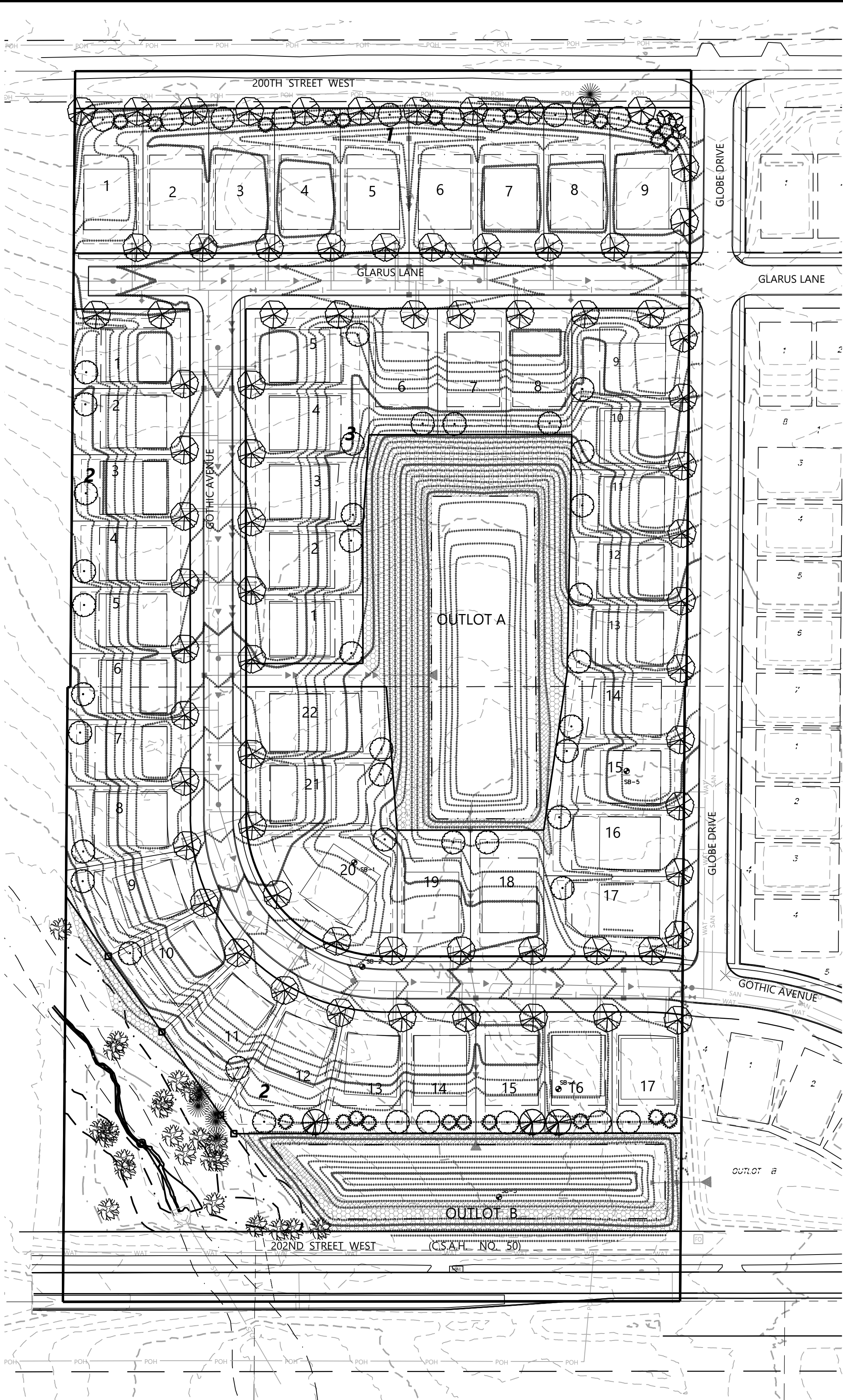
TREE TAG	SPECIES	SIZE (DBH)	MULTI	NOTES	TREE TYPE	STATUS
5116	Red (Norway) Pine	13			Coniferous	Removed
5117	Red (Norway) Pine	17			Coniferous	Removed
5118	Balsam Fir	8			Coniferous	Removed
5119	Balsam Fir	11			Coniferous	Removed
5120	Balsam Fir	17			Coniferous	Removed
5121	Red (Norway) Pine	14			Coniferous	Removed
5122	White Spruce	14			Coniferous	Removed
5123	White Spruce	13			Coniferous	Removed
5124	Balsam Fir	17			Coniferous	Removed
5125	White Spruce	13			Coniferous	Removed
5126	White Spruce	10		bd 30% crown death	Coniferous	Removed
5127	White Spruce	17		bd 75% crown death	Coniferous	Removed
5128	White Spruce	12		bd 49% crown death	Coniferous	Removed
5129	White Spruce	17			Coniferous	Removed
5130	Red (Norway) Pine	17		bd 50% crown death	Coniferous	Removed
5131	Red (Norway) Pine	13		bd 50% crown death	Coniferous	Removed
5132	White Spruce	18			Coniferous	Removed
5133	White Spruce	13			Coniferous	Removed
5134	White Spruce	17			Coniferous	Removed
5135	White Spruce	13			Coniferous	Removed
5136	White Spruce	17			Coniferous	Removed
5137	Red (Norway) Pine	16	x		Coniferous	Removed
5138	White Spruce	16			Coniferous	Removed
5139	White Spruce	10			Coniferous	Removed
5140	White Spruce	14			Coniferous	Removed
5141	White Spruce	15			Coniferous	Removed
5142	Red (Norway) Pine	18			Coniferous	Removed
5143	White Spruce	15			Coniferous	Removed
5144	Red (Norway) Pine	21			Coniferous	Removed
5145	Red (Norway) Pine	20			Coniferous	Removed
5146	White Spruce	12			Coniferous	Removed
5147	White Spruce	15			Coniferous	Removed
5148	Colorado Spruce	13			Coniferous	Removed
5149	White Spruce	18			Coniferous	Removed
5150	White Spruce	17			Coniferous	Removed
5151	White Spruce	15			Coniferous	Removed
5152	White Spruce	14			Coniferous	Removed
5153	White Spruce	14			Coniferous	Removed
5154	White Spruce	13			Coniferous	Removed
5155	Red (Norway) Pine	17			Coniferous	Removed
5156	Red (Norway) Pine	20			Coniferous	Removed
5157	Basswood	16			Deciduous	Removed
5158	White Spruce	11			Coniferous	Removed
5159	White Spruce	16			Coniferous	Removed
5160	White Spruce	14			Coniferous	Removed
5161	White Spruce	15			Coniferous	Removed
5162	Colorado Spruce	17			Coniferous	Removed
5163	Colorado Spruce	15			Coniferous	Removed
5164	Sugar Maple	13			Deciduous	Removed
5165	White Spruce	14			Coniferous	Removed
5166	White Spruce	13			Coniferous	Removed
5167	White Spruce	16			Coniferous	Removed
5168	Colorado Spruce	15			Coniferous	Removed
5169	White Spruce	16			Coniferous	Removed
5170	Red (Norway) Pine	18			Coniferous	Removed
5171	Colorado Spruce	13			Coniferous	Removed
5172	Colorado Spruce	13			Coniferous	Removed
5173	Colorado Spruce	13			Coniferous	Removed
5174	Basswood	15			Deciduous	Removed
5175	Basswood	18			Deciduous	Removed
5176	Basswood	15			Deciduous	Removed
5177	Colorado Spruce	7			Coniferous	Removed
5178	Colorado Spruce	14			Coniferous	Removed
5179	Colorado Spruce	11			Coniferous	Removed
5180	Colorado Spruce	11			Coniferous	Removed
5181	Colorado Spruce	11			Coniferous	Removed
5182	Colorado Spruce	12			Coniferous	Removed
5183	Colorado Spruce	6			Coniferous	Removed
5184	Colorado Spruce	12			Coniferous	Removed
5185	Colorado Spruce	10			Coniferous	Removed
5186	Colorado Spruce	6			Coniferous	Removed
5187	Colorado Spruce	7			Coniferous	Removed
5188	Colorado Spruce	6			Coniferous	Removed
5189	Colorado Spruce	12			Coniferous	Removed
5190	Colorado Spruce	11			Coniferous	Removed
5191	Colorado Spruce	8			Coniferous	Removed
5192	Colorado Spruce	8			Coniferous	Removed
5193	Colorado Spruce	9			Coniferous	Removed
5194	Colorado Spruce	10			Coniferous	Removed
5195	Colorado Spruce	9			Coniferous	Removed
5196	Colorado Spruce	9			Coniferous	Removed
5197	Colorado Spruce	6			Coniferous	Removed
5198	Colorado Spruce	6			Coniferous	Removed
5199	Colorado Spruce	6			Coniferous	Removed
5200	Colorado Spruce	9			Coniferous	Removed
5201	Colorado Spruce	11			Coniferous	Removed
5202	Colorado Spruce	9			Coniferous	Removed
5203	Colorado Spruce	10			Coniferous	Removed
5204	Colorado Spruce	11			Coniferous	Removed
5205	Colorado Spruce	9			Coniferous	Removed
5206	Colorado Spruce	9			Coniferous	Removed
5207	Colorado Spruce	10			Coniferous	Removed
5208	Colorado Spruce	10			Coniferous	Removed
5209	Colorado Spruce	10			Coniferous	Removed
5210	Colorado Spruce	8			Coniferous	Removed
5211	Colorado Spruce	9			Coniferous	Removed
5212	Colorado Spruce	9			Coniferous	Removed
5213	Colorado Spruce	10			Coniferous	Removed
5214	Colorado Spruce	7			Coniferous	Removed
5215	Colorado Spruce	11			Coniferous	Removed
5216	Colorado Spruce	8			Coniferous	Removed
5217	Colorado Spruce	10			Coniferous	Removed
5218	White Spruce	12			Coniferous	Removed
5219	Colorado Spruce	17			Coniferous	Removed
5220	Colorado Spruce	10			Coniferous	Removed
5221	White Spruce	13			Coniferous	Removed
5222	Colorado Spruce	8			Coniferous	Removed
5223	Colorado Spruce	9			Coniferous	Removed
5224	Colorado Spruce	12			Coniferous	Removed
5225	Colorado Spruce	10			Coniferous	Removed
5226	White Spruce	11			Coniferous	Removed
5227	Colorado Spruce	8			Coniferous	Removed
5228	Colorado Spruce	10			Coniferous	Removed
5229	Colorado Spruce	11			Coniferous	Removed
5230	Colorado Spruce	9			Coniferous	Removed

TAG	SPECIES	SIZE (DBH)	MULTI	NOTES	TREE TYPE	STATUS
5231	Colorado Spruce	7			Coniferous	Removed
5232	Colorado Spruce	13			Coniferous	Removed
5233	White Spruce	18			Coniferous	Removed
5234	Colorado Spruce	8			Coniferous	Removed
5235	Colorado Spruce	13			Coniferous	Removed
5236	White Spruce	12			Coniferous	Removed
5237	White Spruce	13			Coniferous	Removed
5238	Colorado Spruce	8			Coniferous	Removed
5239	White Spruce	10			Coniferous	Removed
5240	Colorado Spruce	8			Coniferous	Removed
5241	White Spruce	8			Coniferous	Removed
5242	Colorado Spruce	9			Coniferous	Removed
5243	White Spruce	10			Coniferous	Removed
5244	Colorado Spruce	9			Coniferous	Removed
5245	White Spruce	17			Coniferous	Removed
5246	White Spruce	6			Coniferous	Removed
5247	White Spruce	9			Coniferous	Removed
5248	White Spruce	12			Coniferous	Removed
5249	White Spruce	14			Coniferous	Removed
5250	Colorado Spruce	12			Coniferous	Removed
5251	White Spruce	11			Coniferous	Removed
5252	Colorado Spruce	11			Coniferous	Removed
5253	Colorado Spruce	10			Coniferous	Removed
5254	White Spruce	10	x		Coniferous	Removed
5255	White Spruce	14	x		Coniferous	Removed
5256	White Spruce	18			Coniferous	Removed
5257	White Spruce	16			Coniferous	Removed
5258	White Spruce	13			Coniferous	Removed
5259	White Spruce	13			Coniferous	Removed
5260	White Spruce	12			Coniferous	Removed
5261	White Spruce	14			Coniferous	Removed
5262	Green and White Ash	20			Deciduous	Removed
5263	Norway Maple	18			Deciduous	Removed
5264	Norway Maple	18			Deciduous	Removed
5265	Unknown Deciduous Tree	7		unknown cultivar	Deciduous	Removed
5266	Green and White Ash	15			Deciduous	Removed
5267	Green and White Ash	16			Deciduous	Removed
5268	Green and White Ash	16			Deciduous	Removed
5269	Green and White Ash	16			Deciduous	Removed
5270	Green and White Ash	16			Deciduous	Removed
5271	Green and White Ash	15			Deciduous	Removed
5272	Green and White Ash	20			Deciduous	Removed
5273	Green and White Ash	18			Deciduous	Removed
5274	Green and White Ash	19			Deciduous	Removed
5275	Colorado Spruce	14			Coniferous	Removed
5276	Colorado Spruce	14			Coniferous	Removed
5277	Colorado Spruce	13			Coniferous	Removed
5278	Colorado Spruce	15			Coniferous	Removed
5279	Colorado Spruce	14			Coniferous	Removed
5280	Red (Norway) Pine	16			Coniferous	Removed
5281	White Spruce	14			Coniferous	Removed
5282	Red (Norway) Pine	14	x		Coniferous	Removed
5283	Red (Norway) Pine	13			Coniferous	Removed
5284	Red (Norway) Pine	14			Coniferous	Removed
5285	Red (Norway) Pine	15	x		Coniferous	Removed
5286	Red (Norway) Pine	12	x		Coniferous	Removed
5287	Red (Norway) Pine	16			Coniferous	Removed
5288	Big Tooth Aspen	10			Deciduous	Removed
5289	Big Tooth Aspen	11			Deciduous	Removed
5290	Big Tooth Aspen	7			Deciduous	Removed
5291	Big Tooth Aspen	8			Deciduous	Removed
5292	Big Tooth Aspen	11			Deciduous	Removed
5293	Red (Norway) Pine	12	x		Coniferous	Removed
5294	Big Tooth Aspen	6			Deciduous	Removed
5295	White Spruce	11			Coniferous	Removed
5296	White Spruce	12			Coniferous	Removed
5297	White Spruce	12			Coniferous	Removed
5298	White Spruce	14			Coniferous	Removed
5299	White Spruce	16			Coniferous	Removed
5300	White Spruce	16			Coniferous	Removed
5301	White Spruce	18			Coniferous	Removed
5302	White Spruce	13			Coniferous	Removed
5303	White Spruce	16			Coniferous	Removed
5304	White Spruce	14			Coniferous	Removed
5305	White Spruce	14			Coniferous	Removed
5306	White Spruce	16			Coniferous	Removed
5307	White Spruce	16			Coniferous	Removed
5308	White Spruce	17			Coniferous	Removed
5309	White Spruce	14			Coniferous	Removed
5310	White Spruce	12			Coniferous	Removed
5311	White Spruce	16			Coniferous	Removed
5312	White Spruce	12	x		Coniferous	Removed
5313	White Spruce	18			Coniferous	Removed
5314	White Spruce	16			Coniferous	Removed
5315	White Spruce	19			Coniferous	Removed
5316	White Spruce	20			Coniferous	Removed
5317	White Spruce	23			Coniferous	Removed
5318	White Spruce	18			Coniferous	Removed
5319	Red (Norway) Pine	17			Coniferous	Removed
5320	Red (Norway) Pine	20			Coniferous	Removed
5321	Red (Norway) Pine	17			Coniferous	Removed
5322	Red (Norway) Pine	22			Coniferous	Removed
5323	Red (Norway) Pine	19			Coniferous	Removed
5324	Red (Norway) Pine	18			Coniferous	Removed
5325	Red (Norway) Pine	13	x		Coniferous	Removed
5326	White Spruce	11	x		Coniferous	Removed
5327	White Spruce	14			Coniferous	Removed
5328	White Spruce	17	x		Coniferous	Removed
5329	White Spruce	15			Coniferous	Removed
5330	White Spruce	12			Coniferous	Removed
5331	White Spruce	18			Coniferous	Removed
5332	White Spruce	13			Coniferous	Removed
5333	White Spruce	22			Coniferous	Removed
5334	White Spruce	20			Coniferous	Scand
5335	White Spruce	20			Coniferous	Removed
5336	White Spruce	14			Coniferous	Removed
5337	White Spruce	20			Coniferous	Removed
5338	White Spruce	25			Coniferous	Damaged
5339	White Spruce	14			Coniferous	Removed
5340	White Spruce	16			Coniferous	Removed
5341	White Spruce	22			Coniferous	Removed
5342	White Spruce	18			Coniferous	Removed
5343	Red (Norway) Pine	21			Coniferous	Removed
5344	White Spruce	18			Coniferous	Removed
5345	White Spruce	17			Coniferous	Damaged
5346	White Spruce	17			Coniferous	Removed
5347	White Spruce	13			Coniferous	Removed

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TREE TAG	SPECIES	SIZE (DBH)	MULT	NOTES	TYPE	STATUS
6720	Silver Maple	21	x		Deciduous	Removed
6721	Fruit Tree	7		bd 10%rotted lower branches	Deciduous	Removed
6722	Fruit Tree	7		bd 10%rotted lower branches	Deciduous	Removed
6723	Fruit Tree	8		bd 30%rotted lower branches	Deciduous	Removed
6724	Fruit Tree	8	x	bd 10%rotted lower branches	Deciduous	Removed
6725	Fruit Tree	13		bd 30%rotted lower branches, damage to crown	Deciduous	Removed
6726	Fruit Tree	8	x	bd 20%rotted lower branches	Deciduous	Removed
6727	Fruit Tree	6	x	bd 20%rotted lower branches, damage to crown	Deciduous	Removed
6728	Fruit Tree	6		bd 10%rotted lower branches	Deciduous	Removed
6729	Fruit Tree	16			Deciduous	Removed
6730	Fruit Tree	6		bd 30%damage to crown	Deciduous	Removed
6731	Boxelder	10		bd 10%rotted lower branches	Deciduous	Removed
6732	Bur Oak	7		bd 40%rotted lower branches to crown	Deciduous	Removed
6733	Black Walnut	7			Deciduous	Removed
6734	Bur Oak	11		bd 30%rotted lower branches	Deciduous	Removed
6735	Bur Oak	7		bd 10%rotted lower branches	Deciduous	Removed
6736	Silver Maple	11	x		Deciduous	Removed
6737	Silver Maple	10	x		Deciduous	Removed
6738	Silver Maple	7			Deciduous	Removed
6739	Silver Maple	20	x	bd 20%damage to crown	Deciduous	Removed
6740	Bur Oak	6		bd 30%rotted lower branches to crown	Deciduous	Removed
6741	Cottonwood	28		bd 10%rotted lower branches	Deciduous	Removed
6742	Fruit Tree	9	x		Deciduous	Removed
6743	Fruit Tree	11	x	bd 20%rotted lower branches to crown	Deciduous	Removed
6744	Fruit Tree	8		bd 20%rotted lower branches	Deciduous	Removed
6745	Fruit Tree	6			Deciduous	Removed
6746	Fruit Tree	7		bd 10%rotted lower branches	Deciduous	Removed
6747	Fruit Tree	7	x	bd 10%rotted lower branches	Deciduous	Removed
6748	Fruit Tree	7	x	bd 10%rotted lower branches	Deciduous	Removed
6749	Fruit Tree	6			Deciduous	Removed
6750	Fruit Tree	11	x	bd 20%rotted lower branches	Deciduous	Removed
6751	Fruit Tree	11			Deciduous	Saved
6752	Fruit Tree	10	x		Deciduous	Saved
6753	Fruit Tree	6	x	bd 10%rotted lower branches	Deciduous	Saved
6754	Fruit Tree	12		bd 20%rotted lower branches	Deciduous	Saved
6755	Unknown Deciduous Tree	10	x	bd 20%additional trunk down/ Mountain Ash	Deciduous	Removed
6756	Catalpa	18			Deciduous	Removed
6757	Boxelder	23			Deciduous	Removed
6758	Boxelder	19		pd 10%lower branches removed	Deciduous	Removed
6759	Norway Maple	20			Deciduous	Removed
6760	White Oak	26			Deciduous	Removed
6761	Silver Maple	26			Deciduous	Removed
6762	Silver Maple	19			Deciduous	Removed
6763	Fruit Tree	19			Deciduous	Removed
6764	Basswood	14		European Linden (lilia x European L)	Deciduous	Removed
6765	Fruit Tree	9			Deciduous	Removed
6766	Norway Maple	18		pd 10%lower branch removed	Deciduous	Removed
6767	Red (Norway) Pline	18			Coniferous	Removed
6768	Fruit Tree	7	x		Deciduous	Removed
6769	Fruit Tree	9			Deciduous	Removed
6770	Bitternut Hickory	8			Deciduous	Removed
6771	Black Locust	11	x		Deciduous	Removed
6772	Silver Maple	14	x		Deciduous	Removed
6773	Norway Maple	11			Deciduous	Removed
6774	HoneyLocust	9			Deciduous	Removed
6775	Green & White Ash	10			Deciduous	Removed
6776	HoneyLocust	9			Deciduous	Removed
6777	Green & White Ash	10		bd 80%damage by emerald ashbore	Deciduous	Removed
6778	Green & White Ash	7		bd 60%damage by emerald ashbore	Deciduous	Removed
6779	Boxelder	19			Deciduous	Removed
6780	Green & White Ash	10	x	bd 80%damage by emerald ashbore	Deciduous	Removed
6781	Norway Maple	12			Deciduous	Removed
6782	Boxelder	10			Deciduous	Removed
6783	White Oak	17			Deciduous	Removed
6784	Sugar Maple	11			Deciduous	Removed
6785	Silver Maple	25			Deciduous	Removed
6786	Boxelder	17			Deciduous	Removed
6787	Boxelder	13		bd 20%rotted lower branches	Deciduous	Removed
6788	Boxelder	14			Deciduous	Removed
6789	Boxelder	17			Deciduous	Removed
6790	Boxelder	17			Deciduous	Removed
6791	Boxelder	12			Deciduous	Removed
6792	Silver Maple	10	x		Deciduous	Removed
6793	Silver Maple	23	x		Deciduous	Removed
6794	Cottonwood	19		bd 10%rotted lower branches	Deciduous	Removed
6795	Silver Maple	11	x		Deciduous	Removed
6796	Cottonwood	25		bd 20%rotted lower branches	Deciduous	Removed
6797	Silver Maple	6	x		Deciduous	Removed
6798	Cottonwood	26			Deciduous	Removed
6799	Cottonwood	28		bd 10%rotted lower branches	Deciduous	Removed
6800	Cottonwood	18		bd 10%rotted lower branches	Deciduous	Removed
6801	Cottonwood	18		bd 10%rotted lower branches	Deciduous	Removed
6802	Cottonwood	21		bd 10%rotted branches	Deciduous	Removed
6803	Silver Maple	20	x		Deciduous	Removed
6804	Silver Maple	15	x		Deciduous	Removed
6805	Silver Maple	10	x		Deciduous	Removed
6806	Silver Maple	17	x		Deciduous	Removed
6807	Silver Maple	14	x		Deciduous	Removed
6808	Silver Maple	9	x		Deciduous	Removed
6809	Silver Maple	14	x		Deciduous	Removed
6810	Silver Maple	8			Deciduous	Removed
6811	Silver Maple	16	x	bd 10%additional trunk down	Deciduous	Removed
6812	Silver Maple	20	x		Deciduous	Removed
6813	Silver Maple	11	x		Deciduous	Removed
6814	Silver Maple	8	x		Deciduous	Removed
6815	Silver Maple	10	x		Deciduous	Removed
6816	Silver Maple	13	x	bd 20%rotted additional trunk	Deciduous	Removed
6817	Boxelder	6			Deciduous	Removed
6818	Boxelder	10		bd 40%rotted lower branches to crown	Deciduous	Removed
6819	Green & White Ash	16		bd 10%rotted lower branches	Deciduous	Removed
6820	Black Walnut	18			Deciduous	Removed
6821	Sugar Maple	11			Deciduous	Removed
6822	Silver Maple	10	x		Deciduous	Removed
6823	White Spruce	9			Coniferous	Removed
6824	White Spruce	6			Coniferous	Removed
6825	Silver Maple	8	x		Deciduous	Removed
6826	Silver Maple	8			Deciduous	Removed
6827	Red Maple	10			Deciduous	Removed
6828	Silver Maple	8	x		Deciduous	Removed
6829	Red Maple	10			Deciduous	Removed
6830	White Spruce	9			Coniferous	Removed
6831	White Spruce	10			Coniferous	Removed
6832	White Spruce	12			Coniferous	Removed
6833	White Spruce	9			Coniferous	Removed
6834	White Spruce	10			Coniferous	Removed
6835	White Spruce	10			Coniferous	Removed
6836	White Spruce	10			Coniferous	Removed
6837	White Spruce	10			Coniferous	Removed
6838	White Spruce	10			Coniferous	Removed
6839	White Spruce	10			Coniferous	Removed
6840	White Spruce	10			Coniferous	Removed
6841	White Spruce	10			Coniferous	Removed
6842	White Spruce	10			Coniferous	Removed
6843	White Spruce	10			Coniferous	Removed
6844	White Spruce	10			Coniferous	Removed
6845	White Spruce	10			Coniferous	Removed
6846	White Spruce	10			Coniferous	Removed
6847	White Spruce	10			Coniferous	Removed
6848	White Spruce	10			Coniferous	Removed
6849	White Spruce	10			Coniferous	Removed

TREE TAG	SPECIES	SIZE (DBH)	MULT	NOTES	TYPE	STATUS
5230	White Spruce	9			Coniferous	Removed
5231	White Spruce	11			Coniferous	Removed
5232	Scotch Pine	6			Coniferous	Removed
5233	Red (Norway) Pline	11			Coniferous	Removed
5234	Red (Norway) Pline	11			Coniferous	Removed
5235	Black Walnut	9			Deciduous	Removed
5236	Bitternut Hickory	7			Deciduous	Removed
5237	Black Walnut	7			Deciduous	Removed
5238	Black Walnut	9			Deciduous	Removed
5239	Red (Norway) Pline	11			Coniferous	Removed
5240	Red (Norway) Pline	10			Coniferous	Removed
5241	White Spruce	8			Coniferous	Removed
5242	White Spruce	10			Coniferous	Removed
5243	Scotch Pine	8			Coniferous	Removed
5244	White Spruce	11			Coniferous	Removed
5245	White Spruce	11			Coniferous	Removed
5246	White Spruce	11			Coniferous	Removed
5247	Scotch Pine	7			Coniferous	Removed
5248	White Spruce	7			Coniferous	Removed
5249	White Spruce	10			Coniferous	Removed
5250	Red (Norway) Pline	11			Coniferous	Removed
5251	Black Walnut	9			Deciduous	Removed
5252	Black Walnut	6			Deciduous	Removed
5253	Black Walnut	9			Deciduous	Removed
5254	White Spruce	7			Coniferous	Removed
5255	White Spruce	8			Coniferous	Removed
5256	Scotch Pine	8			Coniferous	Removed
5257	White Spruce	7			Coniferous	Removed
5258	White Spruce	7			Coniferous	Removed
5259	White Spruce	7			Coniferous	Removed
5260	Scotch Pine	6			Coniferous	Removed
5261	White Spruce	8			Coniferous	Removed
5262	White Spruce	8	x		Coniferous	Removed
5263	White Spruce	9			Coniferous	Removed
5264	White Spruce	10			Coniferous	Removed
5265	White Spruce	11			Coniferous	Removed
5266	Scotch Pine	11			Coniferous	Removed
5267	Scotch Pine	12			Coniferous	Removed
5268	Black Walnut	10			Deciduous	Removed
5269	Black Walnut	10			Deciduous	Removed
5270	Black Walnut	11			Deciduous	Removed
5271	Black Willow	7	x		Deciduous	Removed
5272	Red Maple	6	x		Deciduous	Removed
5273	Red Maple	6	x		Deciduous	Removed
5274	Black Walnut	7			Deciduous	Removed
5275	Aspen	7		pd 20%trunk damage	Deciduous	Removed
5276	Aspen	6			Deciduous	Removed
5277	Black Willow	17	x		Deciduous	Removed
5278	Aspen	7			Deciduous	Removed
5279	Aspen	8			Deciduous	Removed
5280	Aspen	7			Deciduous	Removed
5281	Aspen	7			Deciduous	Removed
5282	Aspen	6		pd 40%trunk damage	Deciduous	Removed
5283	Red Maple	6			Deciduous	Removed
5284	Red Maple	7			Deciduous	Removed
5285	Black Willow	12	x		Deciduous	Removed
5286	Black Willow	10			Deciduous	Removed
5287	Black Willow	10			Deciduous	Removed
5288	Black Willow	6			Deciduous	Removed
5289	Black Willow	8			Deciduous	Removed
5290	Black Willow	8		pd 60%trunk and crown damage	Deciduous	Removed
5291	Black Walnut	8			Deciduous	Removed
5292	White Spruce	9			Coniferous	Removed
5293	White Spruce	9			Coniferous	Removed
5294	White Spruce	10			Coniferous	Removed
5295	Black Willow	10		bd 60%rotated trunk and crown braches	Deciduous	Removed
5296	White Spruce	8			Coniferous	Removed
5297	White Spruce	6			Coniferous	Removed
5298	White Spruce	11			Coniferous	Removed
5299	White Spruce	12			Coniferous	Removed
5300	Scotch Pine	9			Coniferous	Removed
5301	Red (Norway) Pline	9			Coniferous	Removed
5302	Red (Norway) Pline	10			Coniferous	Removed
5303	White Spruce	8			Coniferous	Removed
5304	White Spruce	9			Coniferous	Removed
5305	Scotch Pine	9			Coniferous	Removed
5306	White Spruce	7			Coniferous	Removed
5307	White Spruce	10			Coniferous	Removed
5308	White Spruce	11			Coniferous	Removed
5309	White Spruce	10			Coniferous	Removed
5310	White Spruce	9			Coniferous	Removed
5311	Scotch Pine	6			Coniferous	Removed
5312	Red (Norway) Pline	11			Coniferous	Removed
5313	Bitternut Hickory	6			Deciduous	Removed
5314	Bitternut Hickory	9			Deciduous	Removed
5315	Black Walnut	8			Deciduous	Removed
5316	Black Walnut	17			Deciduous	Removed
5317	Red (Norway) Pline	12			Coniferous	Removed
5318	White Spruce	9			Coniferous	Removed
5319	White Spruce	8			Coniferous	Removed
5320	White Spruce	8			Coniferous	Removed
5321	White Spruce	9			Coniferous	Removed
5322	White Spruce	12			Coniferous	Removed
5323	White Spruce	10			Coniferous	Removed
5324	White Spruce	11			Coniferous	Removed
5325	Red (Norway) Pline	7			Coniferous	Removed
5326	White Spruce	7			Coniferous	Removed
5327	White Spruce	8			Coniferous	Removed
5328	White Spruce	10			Coniferous	Removed
5329	White Spruce	7	x		Coniferous	Removed
5330	Red (Norway) Pline	10			Coniferous	Removed
5331	Red (Norway) Pline	8			Coniferous	Saved
5332	Boxelder	7		bd 80%damage to crown	Deciduous	Saved
5333	Boxelder	13	x	bd 90%damage to crown	Deciduous	Saved
5334	Green & White Ash	13		bd 90%damage to crown	Deciduous	Saved



PRELIMINARY LANDSCAPE SCHEDULE - DEVELOPER TREES

CODE	QTY	COMMON / BOTANICAL NAME	SIZE	ROOT	SPACING O.C.	MATURE SIZE
DECIDUOUS TREES - 75						
ACE	8	ACCOLADE ELM / ULMUS X 'MORTON'	2.5" CAL.	B&B	AS SHOWN	H 70' W 40'-50'
AGG	1	AUTUMN GOLD GINKGO / GINKGO BILOBA 'AUTUMN GOLD'	2.5" CAL.	B&B	AS SHOWN	H 50' W 30'
FFM	3	FALL FIESTA MAPLE / ACER SACCHARUM 'BAILSTA'	2.5" CAL.	B&B	AS SHOWN	H 50'-75' W 50'
FYL	10	FRONTYARD LINDEN / TILIA AMERICANA 'BAILYARD'	2.5" CAL.	B&B	AS SHOWN	H 60'-70' W 30'-40'
HAK	8	HACKBERRY / CELTIS OCCIDENTALIS	2.5" CAL.	B&B	AS SHOWN	H 40'-60' W 40'
REO	10	RED OAK / QUERCUS RUBRA	2.5" CAL.	B&B	AS SHOWN	H 50'-70' W 40'-50'
RVB	1	RIVER BIRCH / BETULA NIGRA	10' HT.-CLUMP	B&B	AS SHOWN	H 40'-60' W 30'-40'
SGM	8	SIENNA GLEN MAPLE / ACER X FREEMANII 'SIENNA'	2.5" CAL.	B&B	AS SHOWN	H 40'-50' W 35'-40'
SKH	7	SKYLINE HONEY LOCUST / GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	2.5" CAL.	B&B	AS SHOWN	H 50' W 30'-35'
SCE	6	ST CROIX ELM / ULMUS AMERICANA 'ST. CROIX'	2.5" CAL.	B&B	AS SHOWN	H 60'-80' W 40'-60'
SWO	1	SWAMP WHITE OAK / QUERCUS BICOLOR	2.5" CAL.	B&B	AS SHOWN	H 50'-60' W 60'-80'
WHO	8	WHITE OAK / QUERCUS ALBA	2.5" CAL.	B&B	AS SHOWN	H 60'-80' W 60'-80'
EVERGREEN TREES - 22						
BHS	4	BLACK HILLS SPRUCE / PICEA GLAUCA DENSATA	8' HT.	B&B	AS SHOWN	H 35'-45' W 20'-25'
COS	7	COLORADO SPRUCE / PICEA PUNGENS	8' HT.	B&B	AS SHOWN	H 40'-60' W 15'-30'
COF	2	CONCOLOR FIR / ABIES CONCOLOR	8' HT.	B&B	AS SHOWN	H 40'-50' W 15'-30'
NOP	3	NORWAY PINE / PINUS RESINOSA	8' HT.	B&B	AS SHOWN	H 60'-80' W 25'-30'
NOS	3	NORWAY SPRUCE / PICEA ABIES	8' HT.	B&B	AS SHOWN	H 60'-80' W 25'-30'
WHP	3	WHITE PINE / PINUS STROBUS	8' HT.	B&B	AS SHOWN	H 50'-80' W 30'-40'
ORNAMENTAL TREES - 3						
SDC	3	SNOWDRIFT CRABAPPLE / MALUS X 'SNOWDRIFT'	2.0" CAL.	B&B	AS SHOWN	H 20' W 20'

PRELIMINARY LANDSCAPE SCHEDULE - HOME BUILDER TREES

CODE	QTY	COMMON / BOTANICAL NAME	SIZE	ROOT	SPACING O.C.	MATURE SIZE
DECIDUOUS TREES - 48						
ACE*	4	ACCOLADE ELM / ULMUS X 'MORTON'	2.5" CAL.	B&B	AS SHOWN	H 70' W 40'-50'
AGG*	8	AUTUMN GOLD GINKGO / GINKGO BILOBA 'AUTUMN GOLD'	2.5" CAL.	B&B	AS SHOWN	H 50' W 30'
FFM*	3	FALL FIESTA MAPLE / ACER SACCHARUM 'BAILSTA'	2.5" CAL.	B&B	AS SHOWN	H 50'-75' W 50'
FYL*	1	FRONTYARD LINDEN / TILIA AMERICANA 'BAILYARD'	2.5" CAL.	B&B	AS SHOWN	H 60'-70' W 30'-40'
HAK*	3	HACKBERRY / CELTIS OCCIDENTALIS	2.5" CAL.	B&B	AS SHOWN	H 40'-60' W 40'
REO*	2	RED OAK / QUERCUS RUBRA	2.5" CAL.	B&B	AS SHOWN	H 50'-70' W 40'-50'
RVB*	7	RIVER BIRCH / BETULA NIGRA	10' HT.-CLUMP	B&B	AS SHOWN	H 40'-60' W 30'-40'
SGM*	4	SIENNA GLEN MAPLE / ACER X FREEMANII 'SIENNA'	2.5" CAL.	B&B	AS SHOWN	H 40'-50' W 35'-40'
SKH*	5	SKYLINE HONEY LOCUST / GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	2.5" CAL.	B&B	AS SHOWN	H 50' W 30'-35'
SCE*	1	ST CROIX ELM / ULMUS AMERICANA 'ST. CROIX'	2.5" CAL.	B&B	AS SHOWN	H 60'-80' W 40'-60'
SWO*	8	SWAMP WHITE OAK / QUERCUS BICOLOR	2.5" CAL.	B&B	AS SHOWN	H 50'-60' W 60'-80'
WHO*	2	WHITE OAK / QUERCUS ALBA	2.5" CAL.	B&B	AS SHOWN	H 60'-80' W 60'-80'

ABBREVIATIONS: B & B = BALLED AND BURLAPPED CAL = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER SP. = SPREAD QTY. = QUANTITY CONT. = CONTAINER
NOTES: 1) QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.
2) LABELS WITH * SYMBOL REPRESENT YARD TREE (BY HOME BUILDER), NO DIFFERENCE IN SPEC. FROM OTHER DECIDUOUS TREES

LANDSCAPE REQUIREMENTS & PROVISIONS

LANDSCAPING DESIGN REQUIREMENTS - CITY OF LAKEVILLE, MINNESOTA			
SITE DESCRIPTION			
ZONING DISTRICT: RST-2			
TOTAL GROSS ACRES: 20.0 AC			
SINGLE FAMILY RESIDENTIAL REQUIREMENTS:	REQUIRED	PROVIDED	NOTES
TWO OVERSTORY TREES PER SINGLE FAMILY LOT	96 TREES (48 LOTS)	148 TOTAL TREES	1) ONE YARD TREE IN REAR LOT (BY HOME BUILDER), ONE YARD TREE IN FRONT AS A STREET TREE (BY DEVELOPER). 2) YARD TREES TO BE INTERGRATED INTO BUFFER ALONG 200th STREET W. & 202nd STREET W.
		72 OVERSTORY STREET TREES	
		3 OVERSTORY DECIDUOUS TREES	
		22 EVERGREEN TREES	
		3 ORNAMENTAL TREES	
		48 YARD TREES (BY HOME BUILDER)	

PLANT LEGEND

	OVERSTORY DECIDUOUS STREET TREE		ORNAMENTAL TREE
	OVERSTORY DECIDUOUS TREE		EXISTING DECIDUOUS TREE TO REMAIN
	EVERGREEN TREE		EXISTING CONIFEROUS TREE TO REMAIN
	DECIDUOUS YARD TREE (BY HOME BUILDER)		

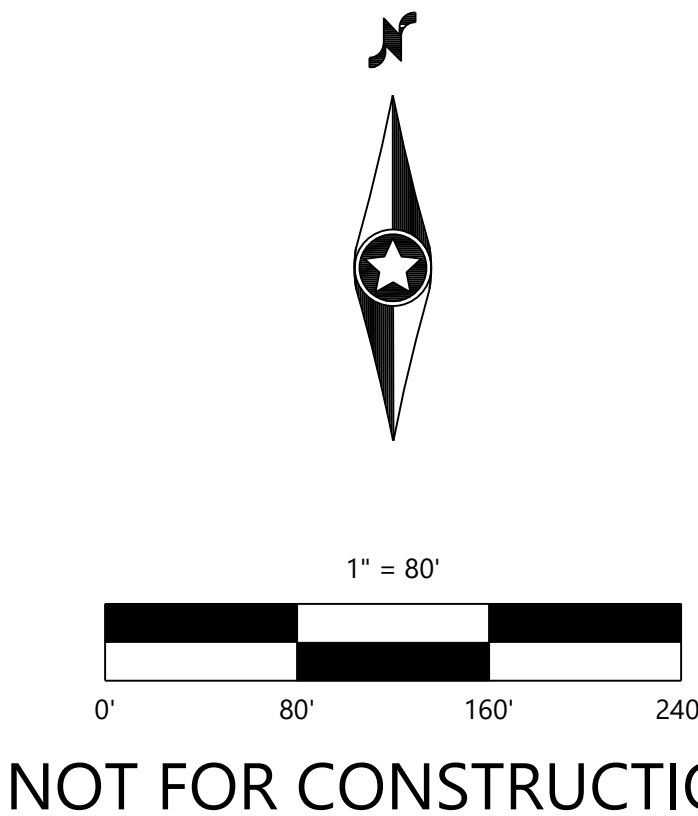
NATIVE SEEDING LEGEND

	MNDOT SOUTHERN TALLGRASS ROADSIDE (STR) TOTAL AREA (1.3 AC)	* ALL DISTURBED AREAS TO BE SODDED UNLESS NOTED OTHERWISE * ALL DISTURBED AREAS IN R.O.W. TO BE SEEDED WITH MESIC GENERAL ROADSIDE SEED MIX (25-141)
	MNDOT WET DITCH (WD) TOTAL AREA (0.4 AC)	

NOTES:

- STREET TREE LOCATIONS AND SPACING ARE SUBJECT TO CHANGE BASED ON CONSTRUCTED DRIVEWAY AND UTILITY LOCATIONS.
- TREES SHALL BE PLANTED IN FRONT OF SINGLE FAMILY LOTS 20' FROM BACK OF CURB IN A LOCATION THAT DOES NOT INTERFERE WITH CURBSTOPS OR INDIVIDUAL SEWER & WATER CONNECTIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- DECIDUOUS TREES SHOULD BE LOCATED A MINIMUM OF 5' OFF ANY UTILITY PIPE AND CONIFEROUS TREES SHOULD BE LOCATED A MINIMUM OF 15' OFF ANY UTILITY PIPE.
- NO TREE SHOULD BE LOCATED WITHIN 10' OF A HYDRANT OR 15' FROM A STREETLIGHT.
- NO TREES SHOULD BE LOCATED WITHIN A STORM POND HWL.
- NO TREES SHOULD BE LOCATED WITHIN STORM POND ACCESS ROUTE.
- NO DECIDUOUS TREE WITH 5' OF A SIDEWALK OR TRAIL AND NO CONIFEROUS TREES WITHIN 20' OF A PROPOSED SIDEWALK OR TRAIL.
- BUFFER YARD EVERGREEN TREES WITHIN LOT 15, BLOCK 3 MUST BE AT LEAST 10 FEET IN HEIGHT.

EXHIBIT K



RESERVE AT CEDAR CREEK

DESIGNED:	TDD
CHECKED:	TDD
DRAWN:	TDD
HORIZONTAL SCALE:	80'
VERTICAL SCALE:	16' OR 8'

INITIAL ISSUE:	01/07/25
REVISIONS:	
	03/07/25 CITY COMMENTS
	04/04/25 CITY COMMENTS
	05/06/25 CITY COMMENTS
	05/14/25 CITY COMMENTS

PREPARED FOR:

RESERVE AT CEDAR CREEK, LLC.

221 S RIVER RIDGE CIR STE 100
BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

CORY L. MEYER
DATE: 05/14/25 LICENSE NO. 26971

RESERVE AT CEDAR CREEK

LAKEVILLE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

OVERALL PRELIMINARY
LANDSCAPE PLAN

PROJECT NUMBER: 0052375.00

SHEET NUMBER:

20 OF 25

DATE: 05/14/25



Dakota County Surveyor's Office

Western Service Center • 14955 Galaxie Avenue • Apple Valley, MN 55124
952.891-7087 • Fax 952.891-7127 • www.co.dakota.mn.us

March 13, 2025

City of Lakeville
20195 Holyoke Ave.
Lakeville, MN 55044

Re: **RESERVE AT CEDAR CREEK**

The Dakota County Plat Commission met on March 12, 2025, to consider the preliminary plat of the above referenced plat. The plat is adjacent to CSAH 50 (202nd St. W.) and is therefore subject to the Dakota County Contiguous Plat Ordinance.

The proposed site includes a residential development for 58 lots. The right-of-way needs for a 2-lane divided roadway are 60 feet of half right of way, which has been met. Restricted access should be shown along all of CSAH 50. A quit claim deed to Dakota County for restricted access is required with the recording of the plat mylars.

The Plat Commission has approved the preliminary and final plat, provided that the described conditions are met, and will recommend approval to the County Board of Commissioners on April 8, 2025.

Traffic volumes on CSAH 50 are 7,800 ADT and are anticipated to be 7,300 ADT by the year 2040. These traffic volumes indicate that current Minnesota noise standards for residential units could be exceeded for the proposed plat. Residential developments along County highways commonly result in noise complaints. In order for noise levels from the highway to meet acceptable levels for adjacent residential units, substantial building setbacks, buffer areas, and other noise mitigation elements should be incorporated into this development.

No work shall commence in the County right of way until a permit is obtained from the County Transportation Department and no permit will be issued until the plat has been filed with the County Recorder's Office. The Plat Commission does not review or approve the actual engineering design of proposed accesses or other improvements to be made in the right of way. Nothing herein is intended to restrict or limit Dakota County's rights with regards to Dakota County rights of way or property. The Plat Commission highly recommends early contact with the Transportation Department to discuss the permitting process which reviews the design and may require construction of highway improvements, including, but not limited to, turn lanes, drainage features, limitations on intersecting street widths, medians, etc. Please contact TJ Bentley regarding permitting questions at (952) 891-7115 or Todd Tollefson regarding Plat Commission or Plat Ordinance questions at (952) 891-7070.

Sincerely,

A handwritten signature in black ink that reads "Todd B. Tollefson". The signature is written in a cursive, flowing style.

Todd B. Tollefson
Secretary, Plat Commission

c: John Anderson, developer

EXHIBIT L



Memorandum

To: Kris Jenson, Planning Manager
From: Alanna Sobottka, Civil Engineer
McKenzie L. Cafferty, Environmental Resources Manager
Joe Masiarchin, Parks and Recreation Director
Copy: Julie Stahl, Finance Director
Tina Goodroad, Community Development Director
Dave Mathews, Building Official
Date: May 13, 2025
Subject: Reserve at Cedar Creek

- Preliminary Plat
- Preliminary Utility Plan
- Preliminary Grading and Erosion Control Plan
- Preliminary Tree Preservation and Landscaping Plan

BACKGROUND

Reserve at Cedar Creek, LLC submitted a preliminary plat named Reserve at Cedar Creek. The proposed subdivision is located south of and adjacent to 200th Street, west of Cedar Avenue (CSAH 23) and north of and adjacent to 202nd Street (CSAH 50). The parent parcels consist of two metes and bounds parcels (PID Nos. 22-02800-01-022 and 22-02800-01-028) and are zoned RST-2, Single and Two Family Residential District.

The preliminary plat consists of 48 residential lots within three blocks, and two outlots on 20.00 acres. The outlots created with the preliminary plat have the following uses:

Outlot A: Stormwater Management; deeded to City (2.05 acres)
Outlot B: Stormwater Management, Wetland, and Buffer; deeded to City (2.13 acres)

The development will be completed by:

Developer:	Reserve at Cedar Creek, LLC
Engineer/Surveyor:	Westwood Professional Services

SITE CONDITIONS

The Reserve at Cedar Creek site consists of two existing homesteads. All existing structures, accessory buildings, driveways and aprons, fences and septic systems shall be removed, and all wells shall be abandoned with the final plat. The Developer shall provide a security with the final plat to ensure the work is completed and certified in accordance with all applicable codes and regulations, including demolition permit from the Building Inspections Division.

STREET AND SUBDIVISION LAYOUT

200th Street

Reserve at Cedar Creek is located south of and adjacent to 200th Street, a City roadway classified as a minor collector. The Developer is dedicating the south ½ right-of-way of 40 feet, as shown on the preliminary plat. Dedication of the north ½ right-of-way will be collected when the adjoining property to the north is subdivided.

200th Street is a two-lane undivided rural gravel roadway. 200th Street will be constructed in the future consistent with City urban collector roadway design standards. There are no programmed improvements in Lakeville's current adopted 5-year Capital Improvement Plan (2025-2029).

202nd Street (CSAH 50)

Reserve at Cedar Creek is located north of and adjacent to 202nd Street, a minor arterial County highway, as identified in the City's Transportation Plan. The current Dakota County Plat Review Needs Map indicates a 75-foot-wide half right-of-way requirement, which is shown to be dedicated on the preliminary plat.

Local Roads

Development of Reserve at Cedar Creek includes the extension of Glarus Lane and Gothic Avenue, City roadways classified as local roads. The roadways are designed as 32-foot-wide urban roads with a sidewalk along one side, within a 60-foot-wide right-of-way. The Developer is dedicating the necessary right-of-way as shown on the preliminary plat.

CONSTRUCTION ACCESS

Construction traffic access and egress for grading, utility and street construction is restricted to the 200th Street and Globe Drive intersection, via Cedar Avenue (CSAH 23). Construction access and egress is not permitted on Hamburg Avenue.

PARKS, TRAILS, AND SIDEWALKS

Development of Reserve at Cedar Creek includes the construction of public sidewalks. Five-foot-wide concrete sidewalks, with pedestrian curb ramps, will be installed along one side of all local streets.

The Park Dedication requirement has not been collected on the parent parcels and will be satisfied through a cash contribution with the final plat, calculated based on the rate in effect at that time.

UTILITIES

SANITARY SEWER

Reserve at Cedar Creek is located within subdistrict SC-10070 of the South Creek sanitary sewer district. Wastewater will be conveyed through City sanitary sewer to the MCES interceptor sewer monitored by meter M646. Wastewater treatment is provided by the Empire Wastewater Treatment Facility.

Development of Reserve at Cedar Creek includes construction of public sanitary sewer. 8-inch sanitary sewer will extend within the subdivision from existing stubs located within Glarus Lane (west of the Globe Drive intersection) and Gothic Avenue (west of the Globe Drive intersection). The Developer shall extend public sanitary sewer to the west plat boundary (west of the Glarus Lane and Gothic Avenue intersection) to provide for future development. The Developer is responsible for obtaining all necessary temporary easements, as applicable, so that future sanitary sewer connections do not impact any existing public streets.

The Sanitary Sewer Availability Charge has not been collected on the parent parcels and will be satisfied through a cash contribution with the final plat, calculated based on the rate in effect at that time.

WATERMAIN

Development of Reserve at Cedar Creek includes construction of public watermain. 8-inch watermain will extend within the subdivision from existing stubs located within Glarus Lane (west of the Globe Drive intersection) and Gothic Avenue (west of the Globe Drive intersection). The Developer shall extend public watermain to the west plat boundary (west of the Glarus Lane and Gothic Avenue intersection) to provide for future development. The Developer is responsible for obtaining any necessary temporary easements, as applicable, so that future watermain connections do not impact any existing public streets.

UNDERGROUNDING

Existing aboveground equipment (utility lines and poles) is located along the south side of 200th Street, adjacent to the parent parcels. The equipment must be relocated and maintained

underground with development of Reserve at Cedar Creek, consistent with the City's Public Ways and Property Ordinance. The Developer shall provide a security with the final plat to ensure the work is completed and certified in accordance with all applicable codes and regulations.

DRAINAGE AND GRADING

Reserve at Cedar Creek is located within subdistrict SC-095 of the South Creek stormwater district.

The Reserve at Cedar Creek preliminary plat includes construction of two stormwater management basins to provide water quality treatment and rate control of the stormwater runoff generated from Reserve at Cedar Creek. These basins are placed within Outlots A and B that will be deeded to the City with the final plat.

The final grading plan shall identify all fill lots in which building footings will be placed on fill material. The grading specifications shall also indicate that all embankments meet FHA/HUD 79G specifications. The Developer shall certify to the City that all lots with footings placed on fill material are appropriately constructed. Building permits will not be issued until a soils report and an as-built certified grading plan are submitted and approved by City staff.

Reserve at Cedar Creek contains more than one acre of site disturbance. A National Pollution Discharge Elimination System General Stormwater Permit for construction activity is required from the Minnesota Pollution Control Agency for areas exceeding one acre being disturbed by grading. A copy of the Notice of Stormwater Permit Coverage must be submitted to the City upon receipt from the MPCA.

STORM SEWER

Reserve at Cedar Creek includes construction of public storm sewer systems. Storm sewer will be constructed within the subdivision to collect and convey stormwater runoff generated from within the public right-of-way and lots to a public stormwater management basin located within Outlots A and B, Reserve at Cedar Creek.

Draintile construction is required in areas of non-granular soils within Reserve at Cedar Creek for the street subgrade and lots. Any additional draintile construction, including perimeter draintile required for building footings, deemed necessary during construction by the City shall be the Developer's responsibility to install and finance.

The Storm Sewer Charge has not been collected on the parent parcels and will be collected with the final plat, calculated based on the rate in effect at that time.

Final locations and sizes of all storm sewer facilities will be reviewed by City staff with the final construction plans.

FEMA FLOODPLAIN ANALYSIS

Reserve at Cedar Creek is shown on the Flood Insurance Rate Map (Map No. 27037C0211E; Eff. Date 12/2/2011; Revised to reflect LOMR Eff. Date 5/5/2025) primarily as Zone X by the Federal Emergency Management Agency (FEMA). Based on this designation, the lots within Reserve at Cedar Creek are not located within a Special Flood Hazard Area (SFHA), as determined by FEMA.

South Creek crosses through the southwest corner of Reserve at Cedar Creek and is designated as Zone AE, and therefore within a Special Flood Hazard Area (SFHA). The area mapped as Zone AE will be placed in an outlot and deeded to the City at the time of final plat approval.

WETLANDS

The wetland delineation for the site was completed and approved on 8/16/2024. The wetland delineation for the area outlined in the reports has been determined to be acceptable for use in implementing the Wetland Conservation Act.

The plans propose to impact one lower quality wetland that is located within farm pasture. The total proposed wetland impact is 0.125 acres. A wetland replacement plan was approved 3/11/2025. The developer has purchased 0.25 acres of wetland banking credit to replace the wetland impacts.

The remaining creek, wetland and buffers on the site will be placed in City-owned outlots. Natural Area signs will be installed along the wetland buffers (4 locations). Final locations must be reviewed by City staff prior to installation. The Developer is responsible for the establishment and of the wetland buffers with native vegetation.

TREE PRESERVATION

The tree preservation/inventory plan submitted with the Reserve at Cedar Creek preliminary plat identifies approximately 857 existing significant trees located within the preliminary plat boundaries. Most of the trees will be removed for the grading of site.

All “save” trees that are damaged or removed will require replacement at a ratio of 2:1 as per the Lakeville Subdivision Ordinance.

EROSION CONTROL

The Developer is responsible for obtaining a MPCA Construction Permit and updating the SWPPP, including changes during construction, for the duration of the project. The permit requires that all erosion and sediment BMPs be clearly outlined in the project SWPPP.

The Developer is responsible for the establishment of native vegetation around all stormwater management basins and along the creeks and wetlands within the buffer areas. Redundant silt fence is required along all wetlands and waterways that do not have an established 50-foot buffer. Additional erosion control measures may be required during construction, as deemed necessary by City staff, and must be installed and maintained by the Developer.

The MS4 Administration Fee has not been collected on the parent parcels and shall be paid with the final plat, calculated based on the rate in effect at that time.

RECOMMENDATION

Engineering recommends approval of the preliminary plat, grading and erosion control plan, tree preservation, landscape, and utility plan for Reserve at Cedar Creek, subject to the requirements and stipulations within this report.



Memorandum

FYI

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: May 15, 2025
Subject: Future and Continued Planning Commission Agenda Items
Summary of City Council Actions on Planning Commission Items

The following is a list of possible agenda items to be considered at upcoming Planning Commission meetings:

- Crossroads East Third Addition preliminary plat and CUP
- Heritage Commons 10th Addition preliminary plat and PUD amendment

There were no Planning items on the May 5, 2025 City Council agenda.