



AGENDA
PARKS, RECREATION & NATURAL RESOURCES COMMITTEE
MEETING

May 21, 2025 - 6:00 PM

Lake Marion Conference Room, Lakeville City Hall

1. Call to Order
2. Approval of the Minutes
 - a. April 16, 2025 Meeting Minutes
3. Citizen Comments
4. Discussion Items
 - a. Reserve at Cedar Creek Preliminary Plat
 - b. 2025 Park Tour
 - c. Lake Marion Greenway Trail Status Report and Open House
 - d. Updated Leash Law
5. Staff Report
6. Adjourn

**CITY OF LAKEVILLE
PARKS, RECREATION & NATURAL RESOURCES COMMITTEE
MEETING MINUTES
April 16, 2025**

Committee Chair Weberg called the meeting to order at 6:02 p.m. in the City Council Chambers.

Members Present: Holly Weberg, Steven Henneberry, Daniel Volkosh, Shahid Nadeem, Pat Sauer, Mark Engler, Vicki Schwartz, Renee Brekken

Members Absent: Saima Ali

Staff Present: Parks and Recreation Director Joe Masiarchin, Recreation Manager Susan Johnson

1. Election of Officers

Committee Members appointed Weberg as Committee Chair, Henneberry as Committee-Vice Chair and Volkosh as Committee Secretary; each will serve a one-year term.

2. Introduction of New Committee Members

New committee members Brekken, Engler, Sauer and Schwartz provided the committee with information on their backgrounds and interests on being on the committee.

3. Approval of March 19, 2025 minutes

A motion was made by Volkosh, seconded by Henneberry to approve March 19, 2025 minutes with a correction to the approval of minutes motion as identified by Committee Member Volkosh.

Ayes: unanimous

4. Citizen comments

No citizens were present.

5. Recreation & Heritage Center Strategic Plan | Presentation

Recreation Manager Susan Johnson provided an overview of the Strategic Planning Workshop that staff from Recreation, Heritage Center, advisory committee members and members of the Active Adults completed. The workshop was facilitated by Aurora Consulting who also met with staff on a third day to develop an implementation plan. The two-day workshop started with a discussion of the departments' current reality including staffing, programs offered, facilities, membership and other items. The second day identified future goals and where the department would like to be over the next five years. The 12-month implementation plan that was developed includes a variety of action items that have been assigned to staff members for completion.

Progress reports will come back to this committee periodically as well as updates to City Council. Staff will review the implementation plan and re-evaluate after a year to map out the next four years. This could be a staff exercise or bringing in a consultant again to facilitate the process. Staff has already completed a Mission-Money Matrix for programming, scheduled monthly department progress meetings and updated the scholarship and volunteer webpages.

Staff clarified that larger scope facility needs would fall under the Parks, Trails and Open Space Plan. A request for proposal for an updated park master plan has been published and a new plan will be developed over the next year. This portion of the strategic planning process was specifically for programming.

Committee Discussion:

- Do the associations and other users utilize City facilities and is there a benefit to that? Yes, some associations utilize City fields, there is a cost per player fee that the City assesses or other rental fees if the groups are not associated with a youth sport association. These fees primarily go to maintenance costs recovery.
- What is the rationale for facility and program fees not leading the market, especially at some of the higher quality facilities? Staff aims to strike a balance between what users are willing to pay while also maintaining accessibility. In some instances where the fees are not accrued in the Parks and Recreation budget, there is less of an incentive to raise fees but staff is open to periodically reviewing them and making adjustments where necessary.
- Fees and waitlists at the Heritage Center were also discussed, staff has been looking at the current fee structure to determine where changes can be made. Staff is not seeing extensive waitlists for Recreation or Heritage Center programming.
- How is staff allowed to pursue donations for larger projects? Historically, projects are put through the planning and design phase then approved by Council prior to staff soliciting donations. Staff has worked closely with various civic organizations, businesses and non-profits on securing donations for larger projects. In most cases, this is through direct solicitation, but the City has also been approached with project proposals, i.e. the beach removal and pollinator garden installation at Valley Lake Park.
- The scholarship program changes were discussed, already 13 applicants have applied for program support in 2025. The process has become more accessible with an online application process, staff clarified the requirements and flexibility of the program. Additional funding sources were identified, future support opportunities could be made available at community events, performances at the Arts Center and other events held there.
- Committee members asked how they could participate in the process? Staff indicated that gathering feedback from the community, sharing ideas, providing commentary during progress updates and participating in these types of discussions are the best ways to support the process.

Motion was made by Henneberry, seconded by Volkosh to recommend approval of the Recreation and Heritage Center 2025-2030 Strategic Plan as presented by City Staff.

Ayes: Unanimous

6. Kensington Park Playground Replacement

Staff shared the resident feedback and preferred concept as chosen by the Kensington Park neighbors. An online survey was available to residents via QR code through April 11, Option 1 was chosen as the preferred concept. The play structure will be removed and the timber container will be replaced with concrete for easier maintenance and improved accessibility. The preferred option offers a smaller tot lot and 5+ play area. In addition to a new play structure, trails and benches are also part of the improvement project.

Committee Discussion:

- Can the plans be modified based on the comments that are received? Yes, staff will review the comments and if there are recurrent themes, make adjustments before final designs are created.
- What happens to the old structures? With these two structures, a third-party company will remove them and refurbish if they are able to. In cases where this is not feasible, the equipment is disposed of.
- How are replacements determined? Play structures are on a schedule that is based on safety and repair feasibility.

- Are other amenities considered? New amenities are included in the master plan, identifying community needs based on feedback. Staff review service areas and the amenities currently located in those areas to determine if new amenities are needed.

Motion was made by Schwartz, seconded by Sauer to approve the Kensington Neighborhood Park preferred concept based on community feedback and as presented by City staff.

Ayes: unanimous

7. Marion Fields Park Playground Replacement

Staff shared the resident feedback and preferred concept as chosen by the Marion Fields Park neighbors. An online survey was available to residents via QR code through April 11, Option 1 was chosen as the preferred concept. In an effort to offer new and different amenities, staff selected a different vendor than the Kensington Park vendor.

Committee Discussion:

- Will the sandbox be replaced? The sandbox is being removed, it has presented a maintenance challenge over the years and accessibility obstacles.
- Is the play structure ADA compliant? No but does have accessible ramps and the fibar meets ADA standards, poured in place is not typically used in neighborhood parks but there can be areas where the material is used similar to the Land of Amazement.
- More shade trees were recommended. Staff indicated that the trees around the play area need to be established and will be more effective when they are.

Motion was made by Engler, seconded by Nadeem to approve the Marion Fields Neighborhood Park preferred concept based on community feedback and as presented by City staff.

Ayes: unanimous

8. Staff Report

• Future Meeting Location:

With the expansion of the board, staff recommended moving to the Lake Marion Conference Room for future meetings. The room is set up for presentations and has space for citizens. The next meeting will be scheduled there to give it a try.

A request for proposals for the Parks System Master plan was sent out on April 15. Contractors have until May 20 to submit their proposals for staff review. Staff will make a selection by July 10, and the new 10-year plan will be slated for completion by October 2026. Staff will be presenting to this committee for feedback throughout the process.

A bid opening for Spyglass Park Phase II will be hosted in mid-May.

9. Lakeville Area Active Adults Committee Appointments

Since the Lakeville Area Active Adults Committee is a subcommittee of this committee, members facilitate the interviews for appointments. Interviews for open committee spots were hosted prior to the regular meeting. Renee shared an overview of how the committee serves and what they advise on. They contribute new ideas, gather feedback from groups and advise on happenings at the Heritage Center. The members are heavily active in volunteering.

There were three applicants this year to fill three open positions, two returning and one new committee member applied.

Motion was made by Henneberry, seconded by Weberg to appoint all three applicants to two-year regular terms on the Lakeville Area Active Adults Advisory Committee.

Ayes: unanimous

Motion was made by Henneberry, seconded by Sauer to adjourn the April 16, 2025 meeting.

Ayes: unanimous

10. Adjourn

Meeting 7:45 p.m.

DRAFT



Memorandum

To: Planning Commission
From: Kris Jensen, Planning Manager
Date: May 13, 2025
Subject: Packet Material for the May 22, 2025 Planning Commission Meeting
Agenda Item: Reserve at Cedar Creek preliminary plat and easement vacation.
Action Deadline: June 3, 2025

BACKGROUND

Reserve at Cedar Creek, LLC has applied for a preliminary plat and easement vacation to allow the development of 48 single family home lots on 20 acres to be known as Reserve at Cedar Creek. The Reserve at Cedar Creek preliminary plat is located north of 202nd Street (CSAH 50), west of Glenbrook Path, and south of 200th Street.

The Reserve at Cedar Creek preliminary plat plans have been distributed to Engineering Division and Parks and Recreation Department staff, and the Parks, Recreation and Natural Resources Committee.

EXHIBITS

- A. Aerial Map
- B. Zoning Map
- C. Easement Vacation
- D. Existing Conditions
- E. Preliminary Plat
- F. Overall Preliminary Grading & Erosion Control Plan
- G. Preliminary Sanitary Sewer and Watermain Plan
- H. Preliminary Storm Sewer Plan
- I. Overall Tree Inventory Plan
- J. Tree Inventory Data (2 pages)
- K. Overall Preliminary Landscape Plan
- L. Plat Commission Letter dated March 13, 2025

PLANNING ANALYSIS

EASEMENT VACATION

The south parent parcel includes a public drainage and utility easement over the East Branch of South Creek, which crosses the southeast corner of the parcel to be developed. The Federal Emergency Management Agency (FEMA) recently approved a Letter of Map Revision (LOMR) for the creek in this area, which more accurately defines the floodplain within this parcel. Because of this revision and that the creek area will be placed in an outlot and required to be deeded to the City with the final plat, the easement over the creek area is no longer needed. The easement also includes roadway, drainage, and utility easement over 202nd Street, which will be replaced with platted right of way.

PRELIMINARY PLAT

Existing Conditions. The development site consists of two parcels. Each parcel has a single family home and outbuilding, all of which will be removed with development of the properties.

Consistency with the Comprehensive Plan. The Reserve at Cedar Creek property is located in Planning District 5 of the 2040 Comprehensive Plan, which guides the subject property for low/medium density residential development.

Adjacent Land Uses. The adjacent land uses and zoning are as follows:

- North – 200th Street, Large lot single family home property (RST-2)
- East – Cedar Creek Villas detached townhome lots (RST-2)
- South – 202nd Street (CSAH 50), Large lot single family home property (RST-2)
- West – Large lot single family homes (RST-2)

Consistency with the Capital Improvement Plan (CIP). City streets, sanitary sewer and water improvements for the area of Reserve at Cedar Creek will be financed and constructed by the Developer. The development costs associated with the Reserve at Cedar Creek development are not programmed in the 2025– 2029 CIP.

Premature Subdivision Criteria. A preliminary plat may be deemed premature if any of the criteria listed in Chapter 10-2-4-1 of the Subdivision Ordinance exist. Eligible criteria pertain to a lack of adequate: drainage, water, streets, sanitary sewer, and public service capacity (police and fire protection). The other pertinent criteria pertain to inconsistencies with the City Comprehensive Land Use and Capital Improvement Plans (discussed above). Staff review of the Reserve at Cedar Creek preliminary plat against these criteria finds that it is not a premature subdivision.

MUSA. The Reserve at Cedar Creek preliminary plat area is located within the current MUSA.

Density/Average Lot Size. The Reserve at Cedar Creek preliminary plat consists of 48 single-family home lots on 20 acres. This results in a gross density of 2.40 units per acre.

Excluding arterial street right-of-way, stormwater management ponds, and the creek, the net density is 3.27 units per acre.

Lot Requirements. The following minimum requirements for single family home lots in the RST-2 District pertain to the Reserve at Cedar Creek preliminary plat:

	Lot Area	Lot Width
Interior Lot	8,400 SF	70 feet
Corner Lot	10,200 SF	85 feet

The proposed lots shown on the Reserve at Cedar Creek preliminary plat have sufficient area to accommodate the single family homes.

Lot Setbacks. The following minimum setbacks for single family homes in the RST-2 District pertain to the Reserve at Cedar Creek preliminary plat:

Front Yard	Rear Yard	Side Yard	
		Interior	ROW
25 ft garage face 20 ft building	30 feet	7 feet	20 feet

The proposed lots shown on the Reserve at Cedar Creek preliminary plat have sufficient area to accommodate a single family home.

Garage Area. The single family homes are proposed to include slab on grade, look out, and walk out units. The minimum width of each garage must be 22 feet (interior measurement). Units that are slab on grade must have a minimum garage size of 540 square feet and units which are a look out or walk out design must have minimum garage size of 480 square feet, to comply with the requirements of Section 11-18-7.D.

Outlots. There are two outlots totaling 2.18 acres in the Reserve at Cedar Creek preliminary plat. The use of the proposed outlots will be as follows:

Outlot A is a 2.05 acre outlot consisting of a stormwater management basin that will be deeded to the City with the final plat.

Outlot B is a 2.13 acre outlot consisting of a drainageway and stormwater management basin that will be deeded to the City with the final plat.

Landscaping. While Lots 1-9, Block 1 directly abut 200th Street, buffer yard landscaping is not required as 200th Street is designated as a minor collector roadway in the City's Comprehensive Transportation Plan. Buffer yard landscaping is required when lots abut major collector or arterial roads. Regardless, the Developer has opted to include trees at

the rear of the lots adjacent to 200th Street as well as Lots 12-17, Block 2, which abut a stormwater pond adjacent to 202nd Street (CSAH 50)

Signs. A location for a monument sign is not shown on the preliminary plat. If planned, a monument sign must be located within and outlot or on private property.

Streets. The following is a summary of streets proposed with the Reserve at Cedar Creek preliminary plat. Additional detailed information is outlined in the Engineering Division memorandum dated May 13, 2025.

202nd Street (CSAH 50) – 202nd Street is south of and adjacent to the property and is classified as a minor arterial County Highway in the Comprehensive Transportation Plan. 202nd Street was reconstructed in 2019 as a two-lane divided roadway. The Developer is dedicating 75 feet of north half right of way as required by the current Dakota County Plat Needs Map. 202nd Street has bituminous trails on both sides of the street.

200th Street – 200th Street is north of and adjacent to the property and is designated as a minor collector in the City's Transportation Plan. It is currently a rural gravel roadway. The Developer is dedicating 40 feet of south half right of way with the preliminary plat. There are no programmed improvements in the current adopted CIP (2025-2029). Driveway access from Lots 1-9, Block 1 to 200th Street is prohibited.

Globe Drive – Globe Drive is an existing 32-foot-wide residential street along the east property line, just outside the plat boundary. It was constructed within a 60-foot-wide right-of-way with a five-foot-wide concrete sidewalk along the east side of the street and will provide access to 200th Street.

Glarus Lane – Glarus Lane will be a 32-foot-wide residential street constructed within a 60-foot-wide right-of-way with a five-foot-wide concrete sidewalk on one side of the street that will be extended from the Cedar Creek Villas development to the east. The Developer will be required to place a future street extension sign and barricades at the west end of the street.

Gothic Avenue – Gothic Avenue will be a 32-foot-wide residential street constructed within a 60-foot-wide right-of-way with a five-foot-wide concrete sidewalk on one side of the street that will be extended from the Cedar Creek Villas development to the east.

All streets meet the minimum width and design requirements of the Subdivision Ordinance.

Sidewalks/Trails. The Developer will construct five-foot-wide concrete sidewalks along one side of all streets in the development. No trails are proposed to be constructed with the development. Additional information regarding sidewalk and trail construction is included in the Engineering Memo.

Plat Commission. The Dakota County Plat Commission reviewed the preliminary plat at their March 12, 2025 meeting and approved the preliminary plat.

Phasing. Reserve at Cedar Creek will be developed in one phase.

Grading, Drainage, Erosion Control, and Utilities. Proposed grading, drainage, erosion control, and utilities for the Reserve at Cedar Creek preliminary plat is shown on the grading, drainage and erosion control and utility plans. All existing and new local utilities shall be placed underground.

Grading, drainage, erosion control, and utilities details are outlined in the May 13, 2025 engineering report prepared by Alanna Sobottka, Civil Engineer and Mac Cafferty, Environmental Resources Manager. The Engineering Division recommends approval of the preliminary plat and easement vacations.

Tree Preservation. A tree preservation plan was submitted by the Developer that identifies 857 significant trees on site. The tree preservation plan proposes to save 30 (3.5%) of the significant trees on site. A significant number of trees on site were planted by current or previous property owners. All 'save' trees must be replaced at a ratio of 2:1.

Wetlands. A wetland delineation was completed and approved for the site in 2024. There is a 0.125 acre wetland that will be impacted and the Developer has purchased 0.25 acres of wetland banking credit to replace the wetland impacts. Mac Cafferty has reviewed the wetland report and additional information about the wetlands are included in the May 13, 2025 engineering report.

Park Dedication. The 2015 Parks, Trails, and Open Space Plan does not identify a park location in this area. The park dedication requirement will be satisfied through park dedication fees to be paid with the final plat. The Parks, Recreation and Natural Resources Committee will review the preliminary plat at their May 21, 2025 meeting. Their comments will be forwarded to the Planning Commission at the public hearing.

Overhead Utilities. Overhead electric line and poles are located along the south side of 200th Street. The Developer will be required to place these utilities underground along the plat boundary as a part of the improvements on the site.

RECOMMENDATION

Community Development Department staff recommends approval of the Reserve at Cedar Creek preliminary plat and easement vacation, subject to the following stipulations:

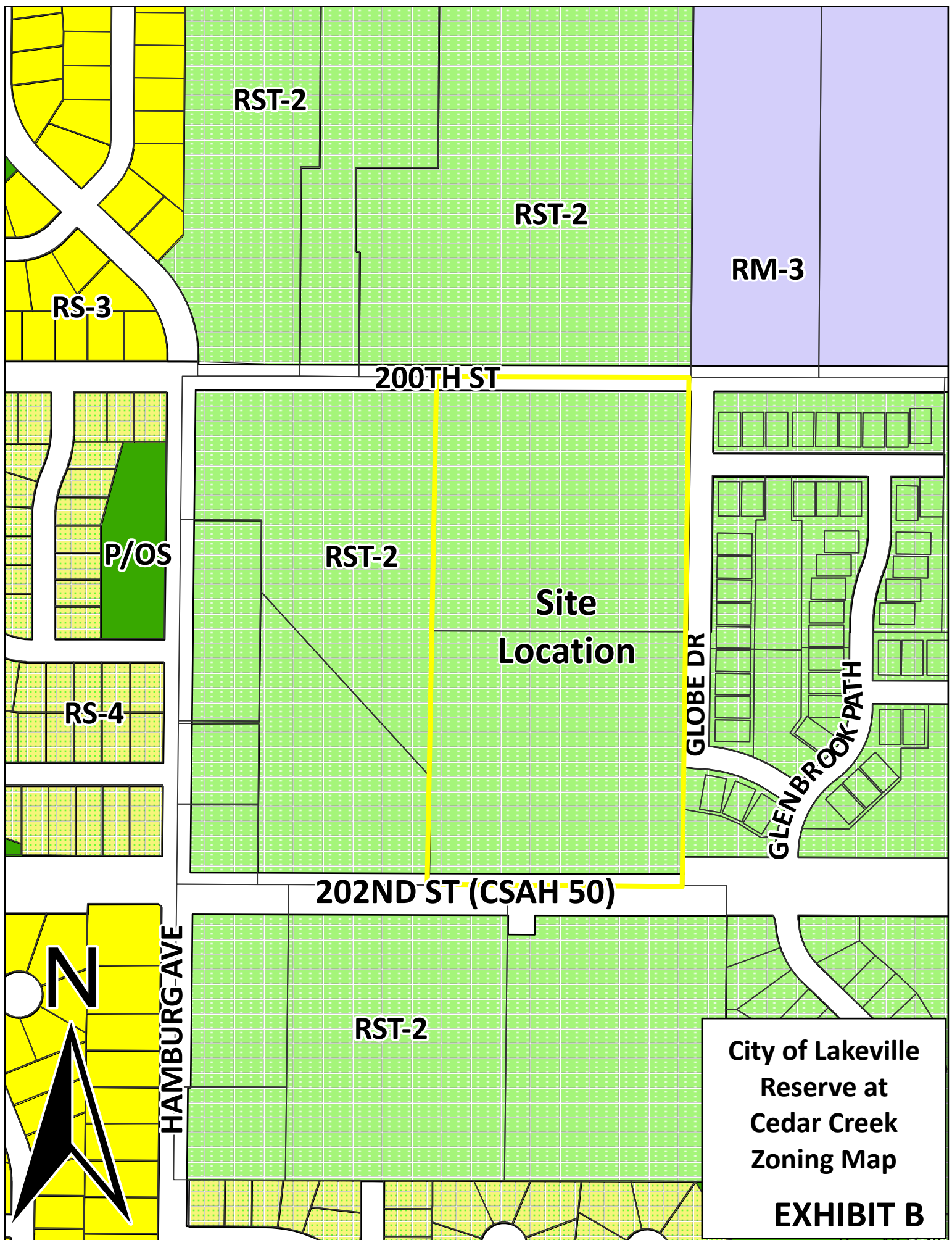
1. Implementation of the recommendations listed in the May 13, 2025 engineering report.
2. Park dedication shall be satisfied with a cash contribution paid with the final plat.
3. The Developer shall construct five-foot-wide concrete sidewalks as shown on the preliminary plat plans.
4. Outlots A and B shall be deeded to the City with the final plat.

5. Glarus Lane must have a future street extension sign and barricades placed at the west end of the street.
6. Driveway access from Lots 1-9, Block 1 to 200th Street is prohibited.
7. All new local utilities and the existing overhead service utilities located along the south side of 200th Street shall be placed underground.



City of Lakeville
Reserve at
Cedar Creek
Site Location Map

EXHIBIT A



City of Lakeville
Reserve at
Cedar Creek
Zoning Map

EXHIBIT B

DESCRIPTION

A PUBLIC DRAINAGE AND UTILITY EASEMENT OVER, UNDER , AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

THE WEST 661.31 FEET OF THE EAST 1983.05 FEET OF THAT PART OF THE N $\frac{1}{4}$ OF THE NE $\frac{1}{4}$ LYING SOUTHERLY OF THE NORTH 660.00 FEET THEREOF IN SECTION 28, RANGE 20, DAKOTA COUNTY, MINNESOTA.

EASEMENT IS FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE ABOVE DESCRIBED PROPERTY; THENCE NORTH 00 DEGREES 10 MINUTES 34 SECONDS WEST, ASSUMED BEARING, ALONG THE WEST LINE OF SAID PROPERTY, A DISTANCE OF 446.00 FEET; THENCE SOUTH 42 DEGREES 57 MINUTES 40 SECONDS EAST, A DISTANCE OF 263.71 FEET; THENCE SOUTH 10 DEGREES 59 MINUTES 37 SECONDS EAST, A DISTANCE OF 255.05 FEET TO THE SOUTH LINE OF SAID PROPERTY; THENCE SOUTH 89 DEGREES 20 MINUTES 01 SECONDS WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 227.00 FEET TO THE POINT OF BEGINNING.

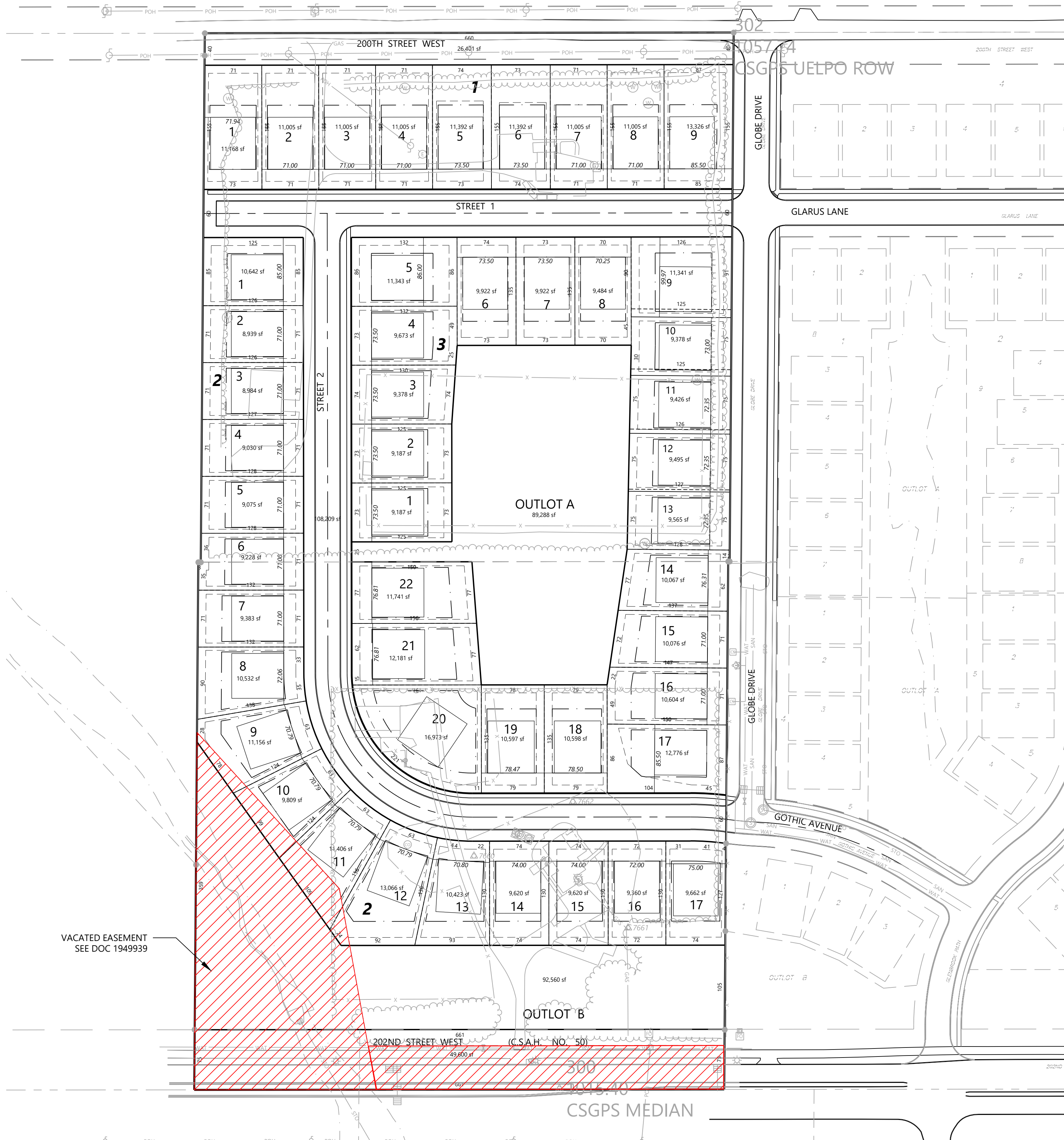
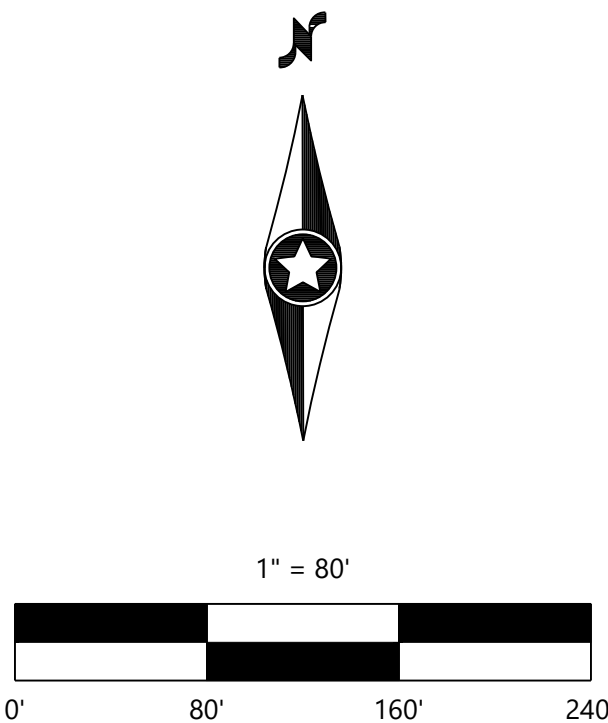


EXHIBIT C



RESERVE AT CEDAR CREEK

DESIGNED:	TDD
CHECKED:	TDD
DRAWN:	TDD
HORIZONTAL SCALE:	80'
VERTICAL SCALE:	16' OR 8'

INITIAL ISSUE:	01/07/25
REVISIONS:	
△	-
△	-
△	-
△	-
△	-

PREPARED FOR:

RESERVE AT CEDAR CREEK, LLC.

221 S RIVER RIDGE CIR STE 100
BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA

MATHEW J. WELINSKI
DATE: 01/07/25 LICENSE NO. 53596

RESERVE AT CEDAR CREEK

LAKEVILLE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

EASEMENT VACATION
EXHIBIT

PROJECT NUMBER: 0052375.00

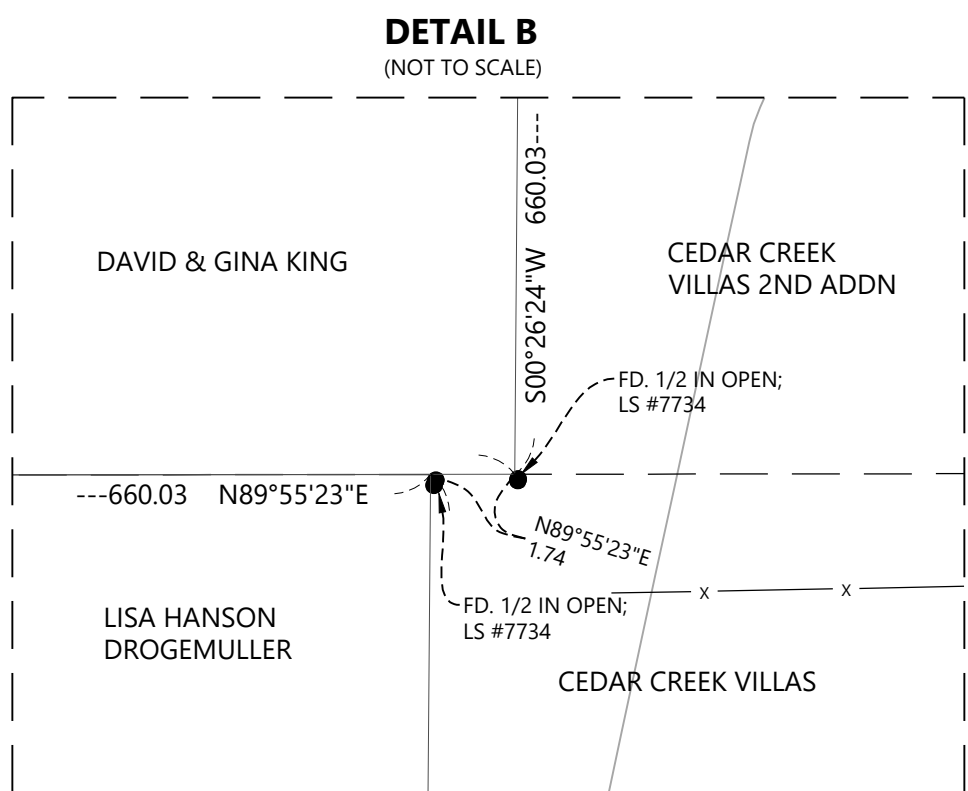
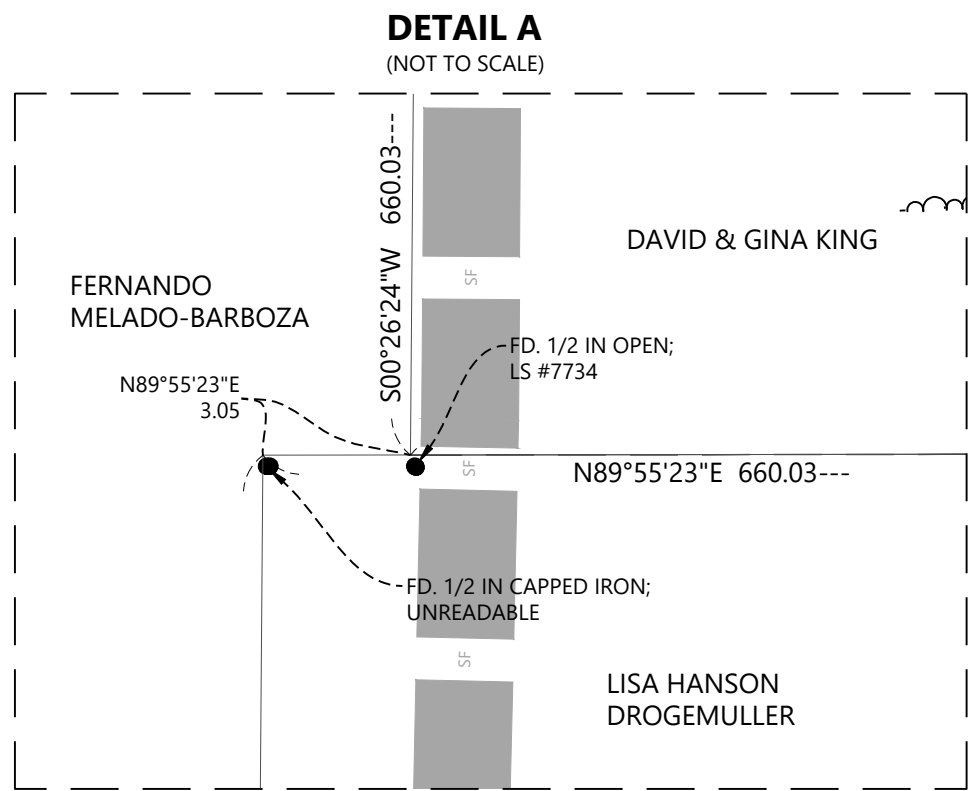
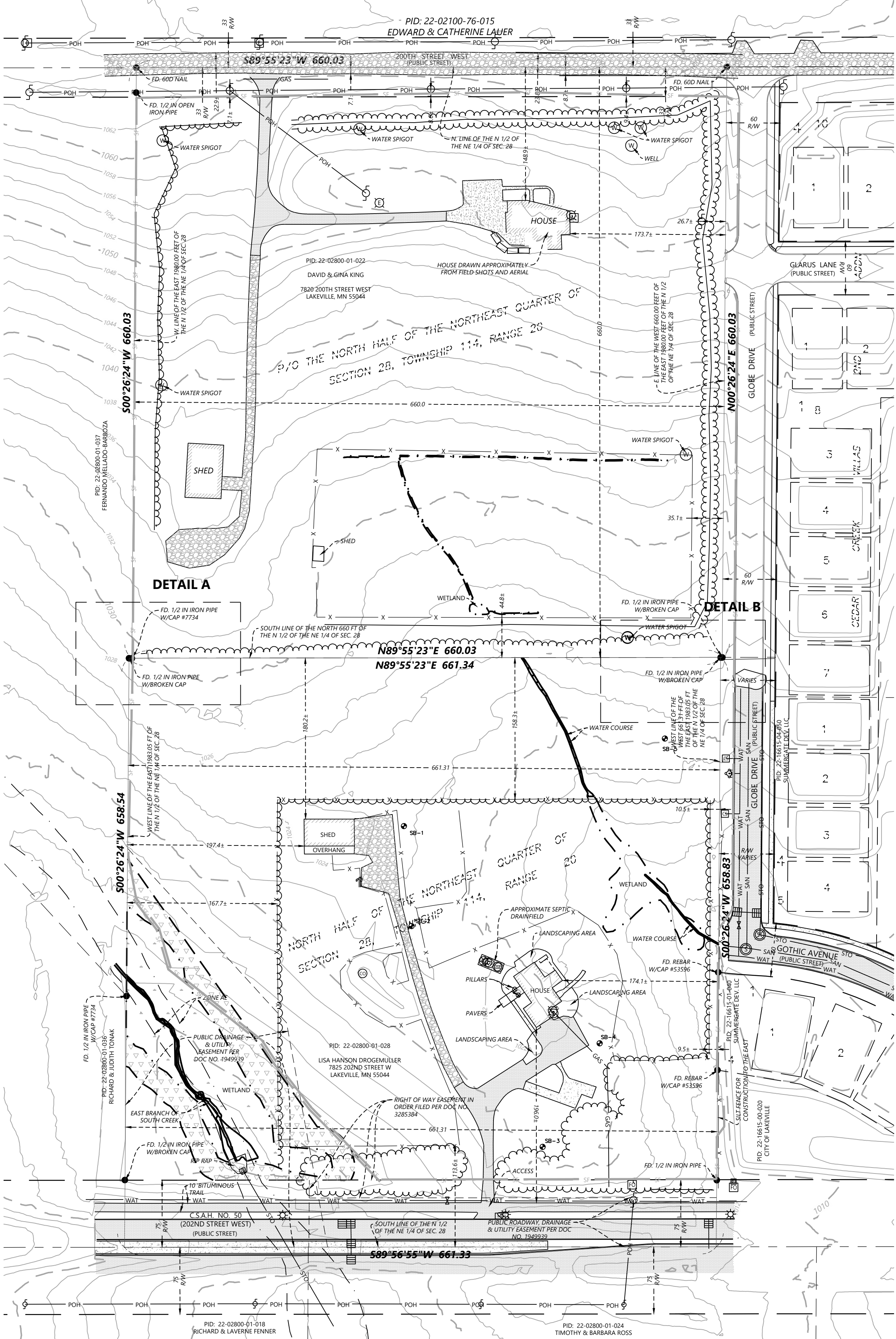
SHEET NUMBER:

1

OF

1

DATE: 2/7/25



KING PROPERTY DESCRIPTION

The West 660.00 feet of the East 1980.00 feet of the North 660.00 feet of the North-Half (N1/2) of the Northeast Quarter (NE1/4), Section Twenty-eight (28), Township One Hundred Fourteen (114), Range Twenty (20), Dakota County, Minnesota.

Abstract Property

DROGEMULLER PROPERTY DESCRIPTION

The West 661.31 feet of the East 1983.05 feet of that part of the North 1/2 of the Northeast 1/4 lying Southerly of the North 660.00 feet thereof, Section 28, Township 114, Range 20, Dakota County, Minnesota.

Abstract Property

GENERAL NOTES

- Bearings of property lines shown hereon are based on the Dakota County coordinate system, (NAD 83 - 1986 Control Adjustment).
- Lengths of lines and distances between features are measured in US-Survey Feet.
- Wetlands shown were delineated by Westwood Professional Services.

LEGEND

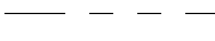
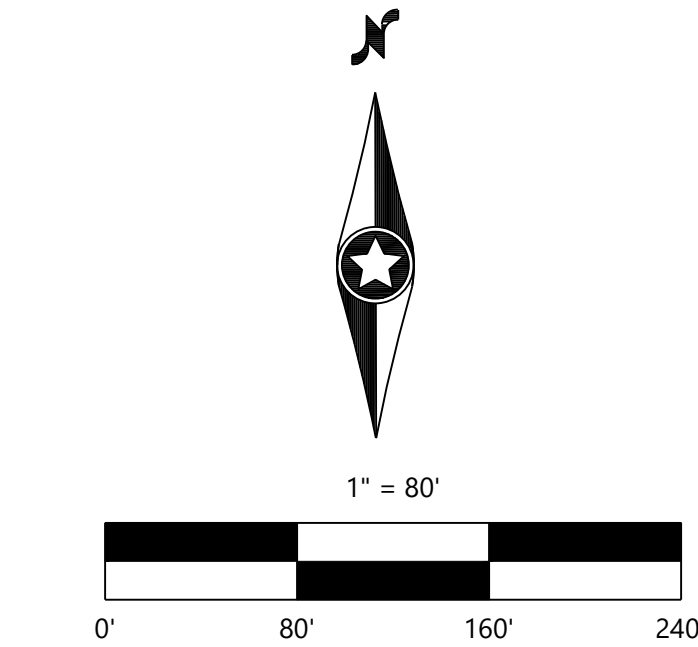
	SANITARY MANHOLE		BOUNDARY LINE
	SEWER CLEANOUT		RIGHT-OF-WAY LINE
	STORM MANHOLE		LOT LINE
	CATCH BASIN		EASEMENT LINE
	FLARED END SECTION		SECTION LINE
	HYDRANT		TREE LINE
	GATE VALVE		GAS LINE
	CURB STOP BOX		POWER OVERHEAD
	WELL		POWER UNDERGROUND
	FARM HYDRANT		SANITARY SEWER
	ELECTRIC BOX		STORM SEWER
	ELECTRIC METER		WATERMAIN
	STREET LIGHT		FIBER OPTIC
	GUY WIRE		FENCE LINE
	POWER POLE		CURB & GUTTER
	FIBER OPTIC PEDESTAL		CONCRETE SURFACE
	NATURAL GAS METER		BITUMINOUS SURFACE
	STEEL/WOOD POST		GRAVEL SURFACE
	SIGN		WETLAND
	MAIL BOX		FOUND MONUMENT

EXHIBIT D



DESIGNED: TDD
CHECKED: TDD
DRAWN: TDD
HORIZONTAL SCALE: 80'
VERTICAL SCALE: 16' OR 8'

INITIAL ISSUE: 01/07/25

REVISIONS:

- | | | |
|---|----------|---------------|
| △ | 03/07/25 | CITY COMMENTS |
| △ | 04/04/25 | CITY COMMENTS |
| △ | 05/06/25 | CITY COMMENTS |
| △ | 05/14/25 | CITY COMMENTS |

PREPARED FOR:

RESERVE AT CEDAR CREEK, LLC.

221 S RIVER RIDGE CIR STE 100
BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA

MATHEW J. WELINSKI

DATE: 05/14/25 LICENSE NO. 53596

RESERVE AT CEDAR CREEK

LAKEVILLE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

EXISTING CONDITIONS

PROJECT NUMBER: 0052375.00

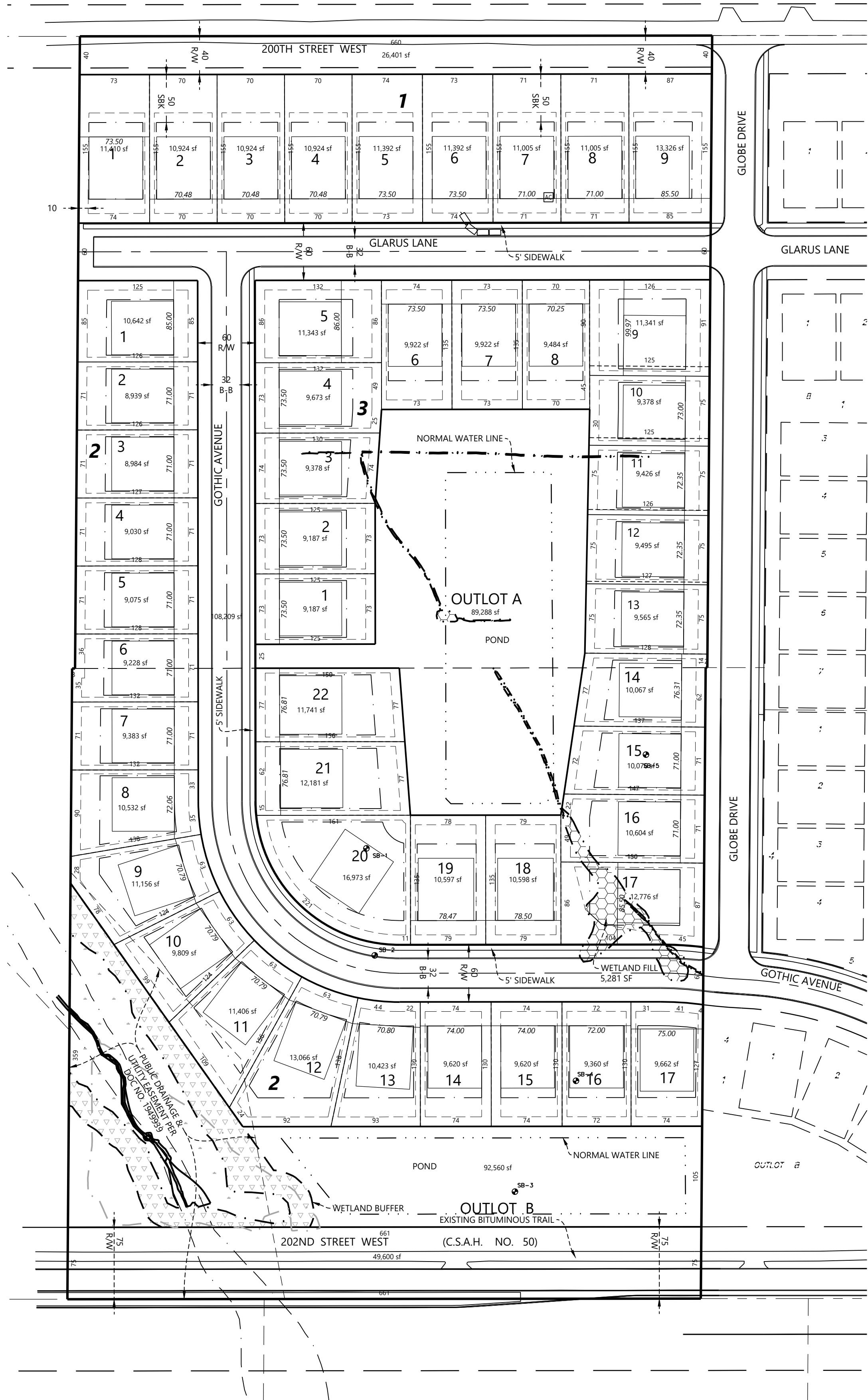
SHEET NUMBER:

2

OF

25

DATE: 05/14/25



KING PROPERTY DESCRIPTION

The West 660.00 feet of the East 1980.00 feet of the North 660.00 feet of the North-Half (N1/2) of the Northeast Quarter (NE1/4), Section Twenty-eight (28), Township One Hundred Fourteen (114), Range Twenty (20), Dakota County, Minnesota.

Abstract Property

DROGEMULLER PROPERTY DESCRIPTION

The West 661.31 feet of the East 1983.05 feet of that part of the North 1/2 of the Northeast 1/4 lying Southerly of the North 660.00 feet thereof, Section 28, Township 114, Range 20, Dakota County, Minnesota.

Abstract Property

SITE DEVELOPMENT DATA

- EXISTING ZONING: RST-2
- GROSS SITE AREA: 20.0 AC (871,214 SF)
MAJOR R.O.W.: 202ND ST 1.14 AC (49,600 SF)
200TH ST 0.61 AC (26,401 SF)
WETLANDS (TO REMAIN): 0.49 AC (21,344 SF)
- NET SITE AREA: 17.76 AC (773,625 SF)
- DEVELOPMENT SUMMARY
70 FT SINGLE FAMILY HOMES: 48 LOTS
- PROJECT DENSITY:
GROSS: ±2.40 UN/AC
NET: ±2.61 UN/AC

LOT STANDARDS

STANDARD	70' SINGLE FAMILY
MINIMUM LOT AREA	8,939 SF
AVERAGE LOT AREA	10,524 SF
MINIMUM LOT WIDTH	70' @ FRONT SBK
MINIMUM LOT DEPTH	124'
SETBACKS	
FRONT	25'
SIDE INTERIOR LOT	7'
SIDE CORNER LOT	20'
REAR	30" TYPICAL 50' TO 200TH ST. & 202ND ST.

OUTLOT TABLE

OUTLOT	USE	OWNERSHIP	GROSS AREA
A	PONDING	CITY	2.05 AC
B	PONDING / WETLAND	CITY	2.13 AC

SITE LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		RETAINING WALL

DEVELOPMENT NOTES

- ALL LOT DIMENSIONS ARE ROUNDED TO THE NEAREST FOOT.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- STREET NAMES ARE SUBJECT TO APPROVAL BY THE CITY.
- DRAINAGE AND UTILITY EASEMENTS SHALL BE PROVIDED AS REQUIRED. DRAINAGE AND UTILITY EASEMENTS WILL BE PROVIDED OVER ALL PUBLIC UTILITIES AND UP TO 1 FOOT ABOVE THE HIGH WATER LEVEL OF ALL PONDS.
- STREET WIDTHS ARE SHOWN FROM BACK OF CURB TO BACK OF CURB.

TYPICAL SINGLE FAMILY (SF) LOT DETAIL

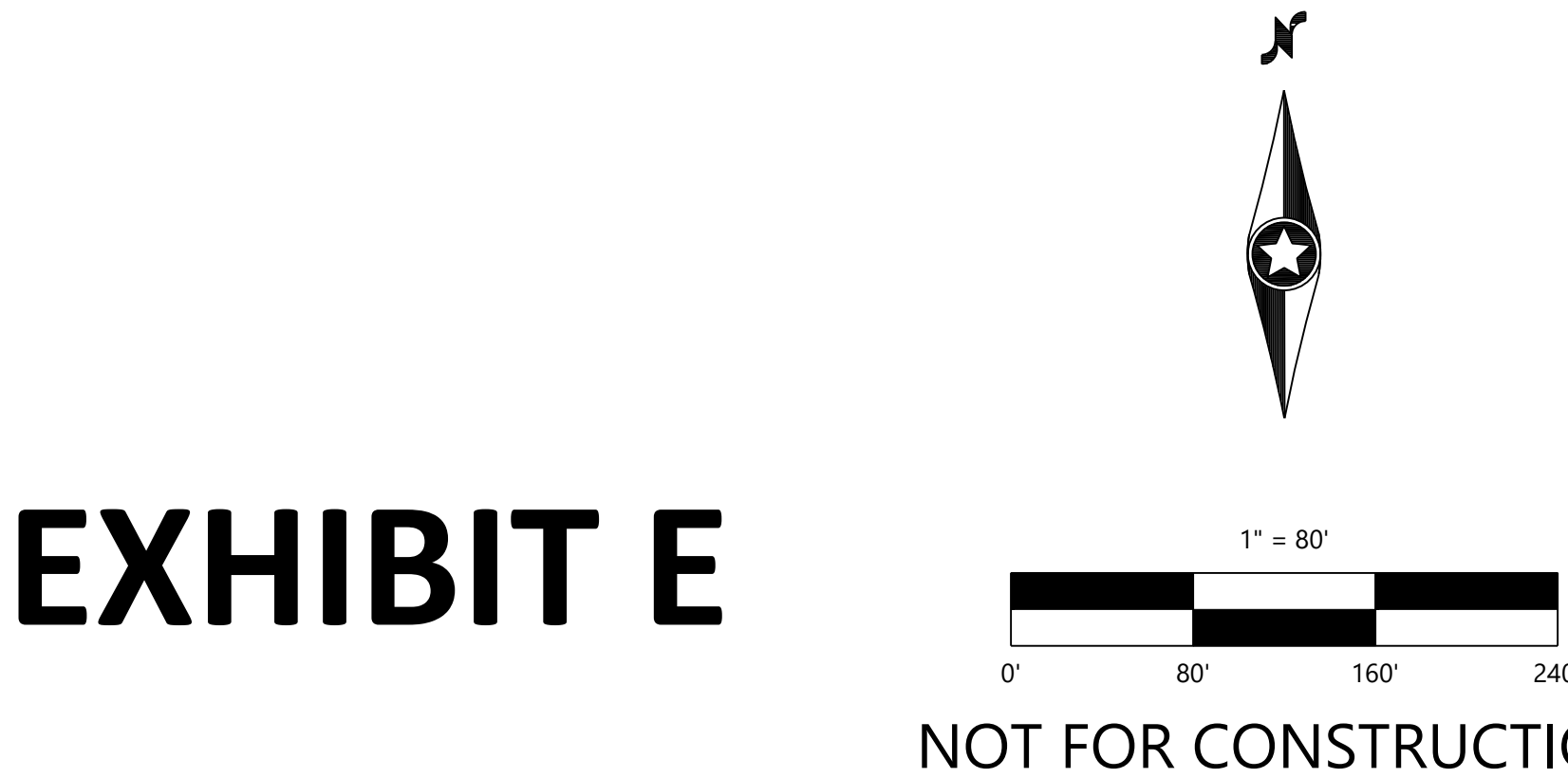
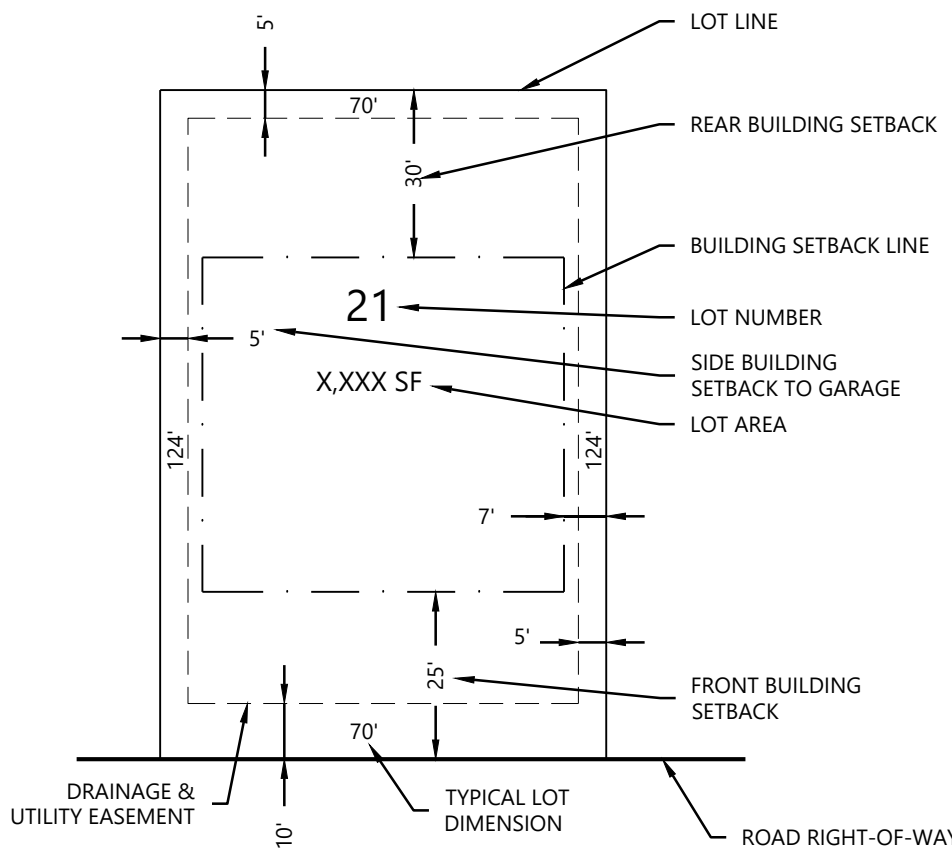


EXHIBIT E

NOT FOR CONSTRUCTION

RESERVE AT CEDAR CREEK

DESIGNED: TDD
CHECKED: TDD
DRAWN: TDD
HORIZONTAL SCALE: 80'
VERTICAL SCALE: 16' OR 8'

INITIAL ISSUE: 01/07/25

REVISIONS:

- 03/07/25 CITY COMMENTS
- 04/04/25 CITY COMMENTS
- 05/06/25 CITY COMMENTS
- 05/14/25 CITY COMMENTS

PREPARED FOR:

RESERVE AT CEDAR CREEK, LLC.

221 S RIVER RIDGE CIR STE 100
BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

CORY L. MEYER
DATE: 05/14/25 LICENSE NO. 26971

RESERVE AT CEDAR CREEK

LAKEVILLE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

PRELIMINARY PLAT

PROJECT NUMBER: 0052375.00

SHEET NUMBER:

4

OF

25

DATE: 05/14/25

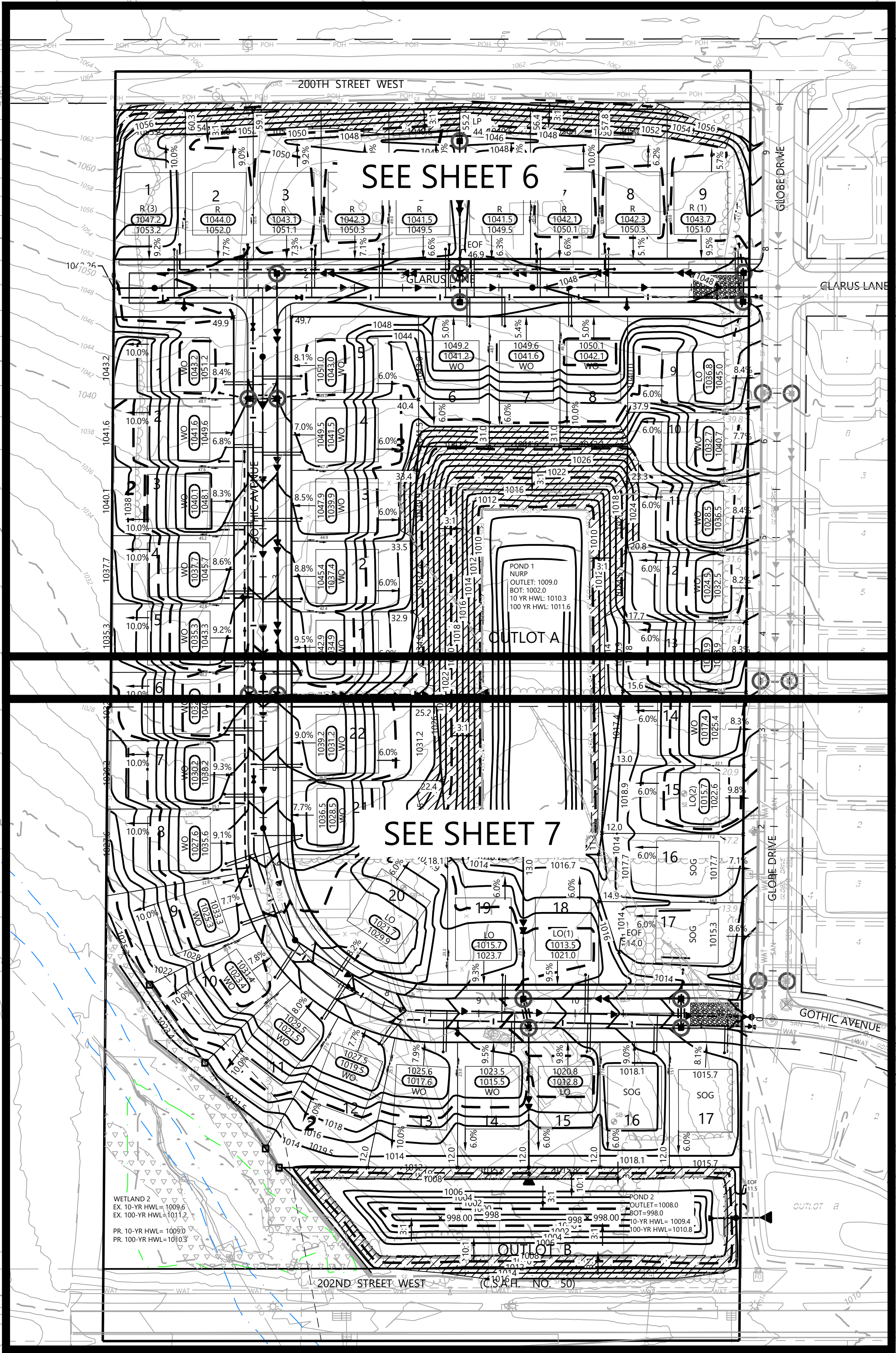
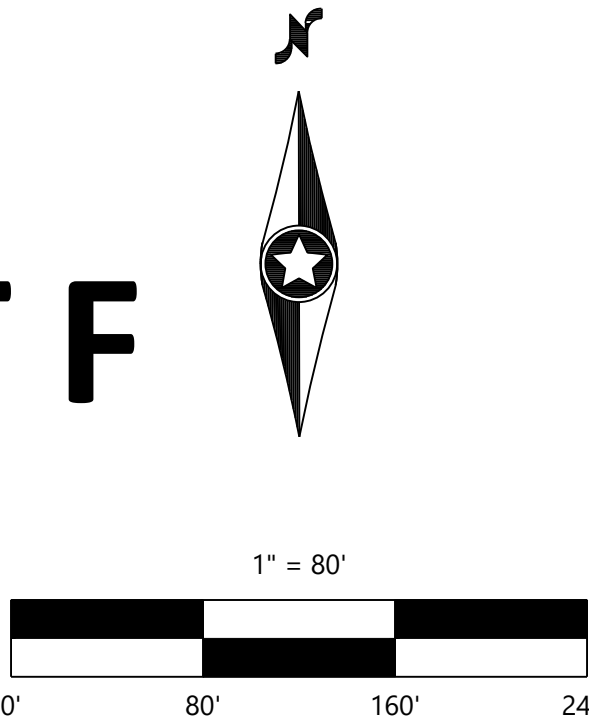


EXHIBIT F



NOT FOR CONSTRUCTION

GRADING & DRAINAGE NOTES

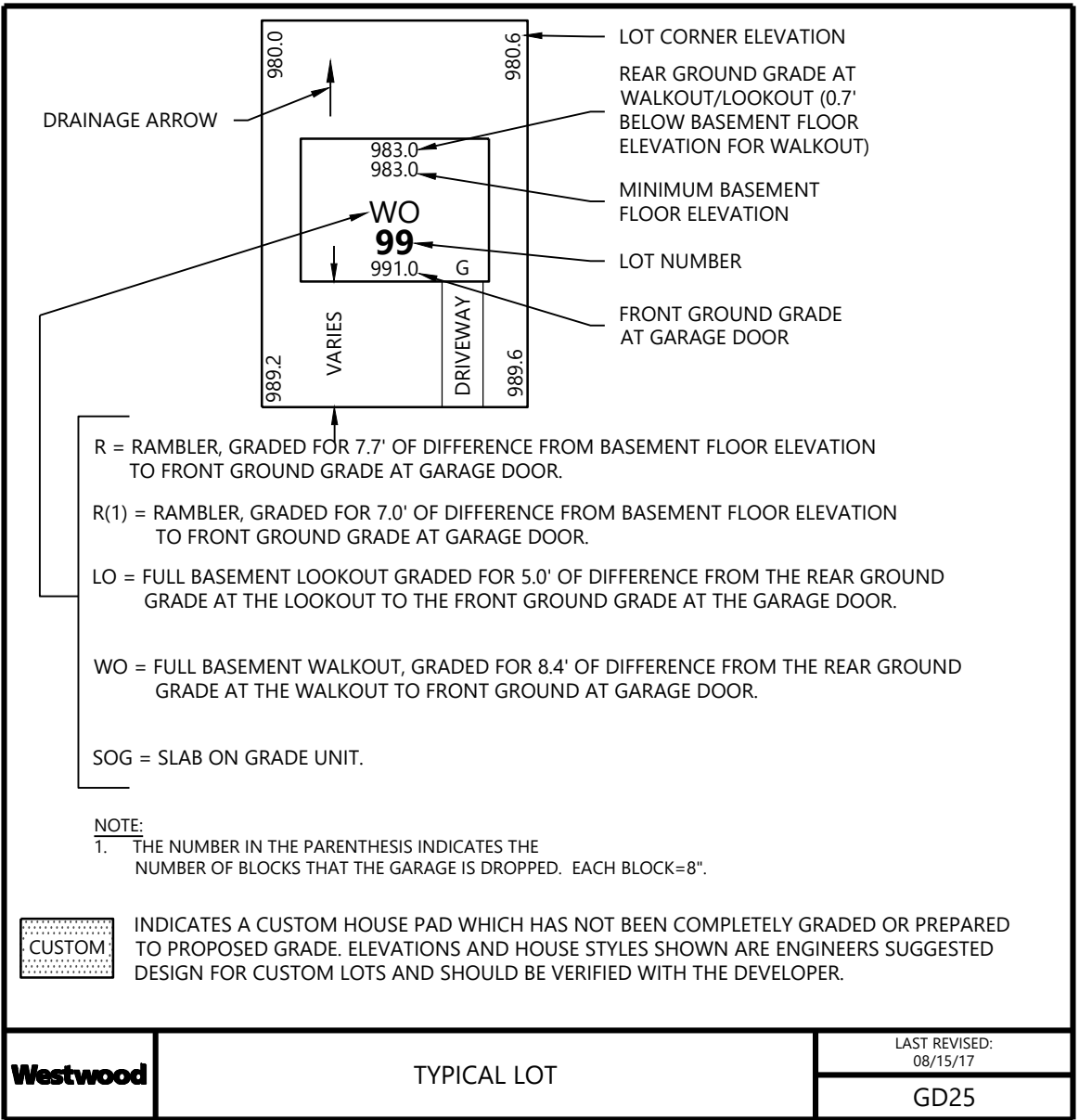
- ALL CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISHED SURFACE/GUTTER GRADES UNLESS OTHERWISE NOTED.
- REFER TO THE SITE PLAN/RECORD PLAT FOR MOST CURRENT HORIZONTAL SITE DIMENSIONS AND LAYOUT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHICAL FEATURES WITH THE OWNERS AND FIELD-VERIFY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL RULES.
- POSITIVE DRAINAGE FROM THE SITE MUST BE PROVIDED AT ALL TIMES.

EROSION CONTROL NOTES

- ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAY BALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A ROCK ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
- REDUNDANT PERIMETER SEDIMENT CONTROLS ARE NECESSARY WHEN SOIL DISTURBANCE IS WITHIN 50 FEET OF SURFACE WATERS. REDUNDANT SEDIMENT CONTROLS COULD INCLUDE:
 - TWO ROWS OF SILT FENCE (SEPARATED BY 8 FEET); OR
 - SILT FENCE AND A TOPSOIL BERM (STABILIZE BERM WITH MULCH); OR
 - SILT FENCE AND FIBER LOGS; OR
 - TOPSOIL BERM AND FIBER LOGS (STABILIZE BERM WITH MULCH).
- REDUNDANT SEDIMENT CONTROLS MUST BE INSTALLED PRIOR TO DISTURBING WITHIN 50 FEET OF THE SURFACE WATER.

GRADING & EROSION CONTROL LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		SOIL BORING LOCATION
		INDEX CONTOUR
		SPOT ELEVATION
		HIGH/LOW POINT
		CL-CL ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERFLOW
		PROPOSED STREET PROFILE GRADE
		STORM SEWER
		TREE LINE
		TREE PROTECTION FENCE
		RETAINING WALL (MODULAR BLOCK)
		GRADING LIMITS
		SILT FENCE
		SILT FENCE-POST GRADING
		HEAVY DUTY SILT FENCE
		REDUNDANT SEDIMENT CONTROL
		INLET PROTECTION
		EROSION CONTROL CHECKS/BIOROLLS
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL BLANKET
		POND NORMAL WATER LEVEL
		WETLAND LINE
		FEMA 100-YEAR FLOODPLAIN
		CITY 100-YEAR FLOODPLAIN
		WETLAND FILL
		WETLAND BUFFER
		WETLAND BUFFER LIMITS
		WETLAND BUFFER MONUMENT



DESIGNED:	TDD
CHECKED:	TDD
DRAWN:	TDD
HORIZONTAL SCALE:	80'
VERTICAL SCALE:	16' OR 8'

INITIAL ISSUE:	01/07/25
REVISIONS:	
	03/07/25 CITY COMMENTS
	04/04/25 CITY COMMENTS
	05/06/25 CITY COMMENTS
	05/14/25 CITY COMMENTS

PREPARED FOR:
RESERVE AT CEDAR CREEK, LLC.

221 S RIVER RIDGE CIR STE 100
BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

TOM DESUTTER
DATE: 05/14/25 LICENSE NO. 59640

RESERVE AT CEDAR CREEK
LAKEVILLE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

**OVERALL PRELIMINARY
GRADING AND EROSION
CONTROL PLAN**

PROJECT NUMBER: 0052375.00

SHEET NUMBER:

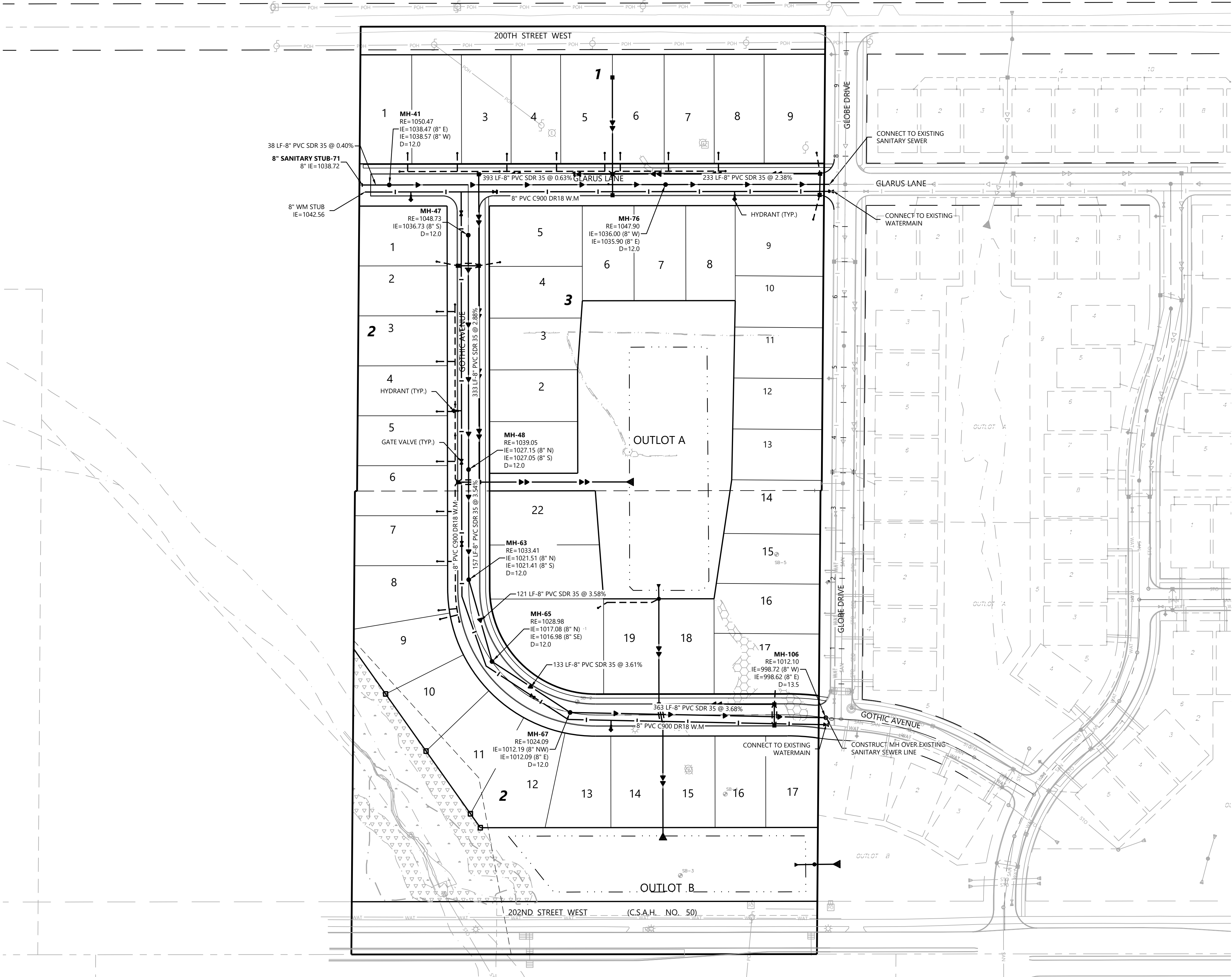
5

OF

25

DATE: 05/14/25

RESERVE AT CEDAR CREEK



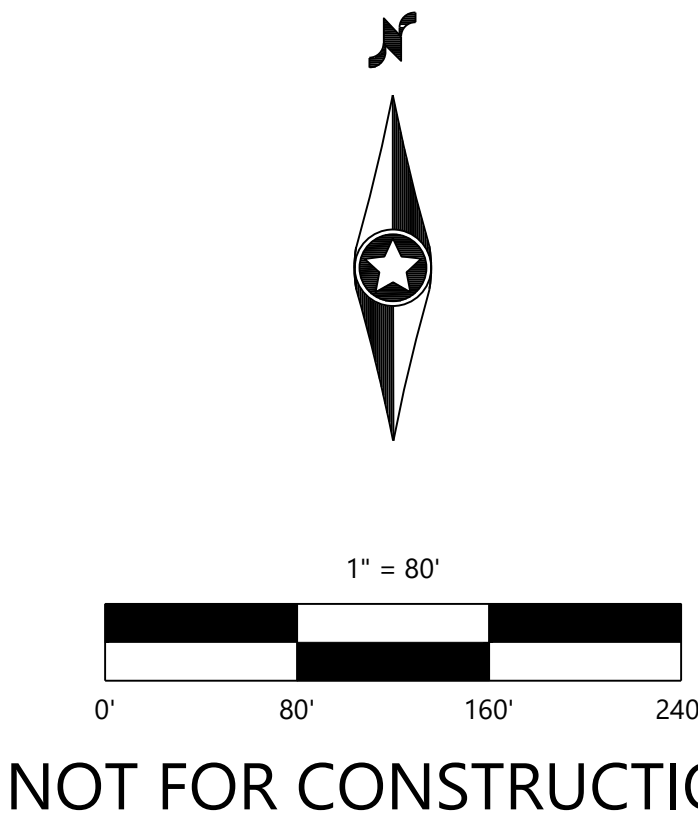
OVERALL UTILITY LEGEND

EXISTING	PROPOSED	FUTURE	
SAN			SANITARY SEWER
STO			STORM SEWER
DT			DRAIN TILE
WAT			WATER MAIN
WAT			HYDRANT

GENERAL UTILITY NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OF ANY DIFFERENCES.
2. UNLESS OTHERWISE NOTED, ALL MATERIALS, CONST. TECHNIQUES AND TESTING SHALL CONFORM TO THE 2023 ED. OF THE "STANDARD UTILITIES SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION BY THE CITY ENGINEERING ASSOCIATION OF MINN." AND TO THE "STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION" MINN. DEPT. OF TRANS., 2020 EDITION AND SUPPLEMENTAL SPECIFICATIONS SEPTEMBER 2022. THE CONTRACTOR SHALL BE REQUIRED TO FOLLOW ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.
3. THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMITS FOR ALL WORK OUTSIDE OF THE PROPERTY LIMITS.
4. VERIFY EXISTING INVERT LOCATION & ELEVATION PRIOR TO BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL CONTACT "GOPHER STATE ONE CALL" FOR FOR UTILITY LOCATIONS PRIOR TO UTILITY INSTALLATION.

EXHIBIT G



RESERVE AT CEDAR CREEK

DESIGNED:	TDD
CHECKED:	TDD
DRAWN:	TDD
HORIZONTAL SCALE:	80'
VERTICAL SCALE:	16' OR 8'

INITIAL ISSUE:	01/07/25
REVISIONS:	
	03/07/25 CITY COMMENTS
	04/04/25 CITY COMMENTS
	05/06/25 CITY COMMENTS
	05/14/25 CITY COMMENTS

PREPARED FOR:
RESERVE AT CEDAR CREEK, LLC.

221 S RIVER RIDGE CIR STE 100
BURNSVILLE, MN 55337

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OR UNDER MY DIRECT SUPERVISION AND THAT I AM A
DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MINNESOTA

TOM DESUTTER
DATE: 05/14/25 LICENSE NO. 59640

RESERVE AT CEDAR CREEK
LAKEVILLE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

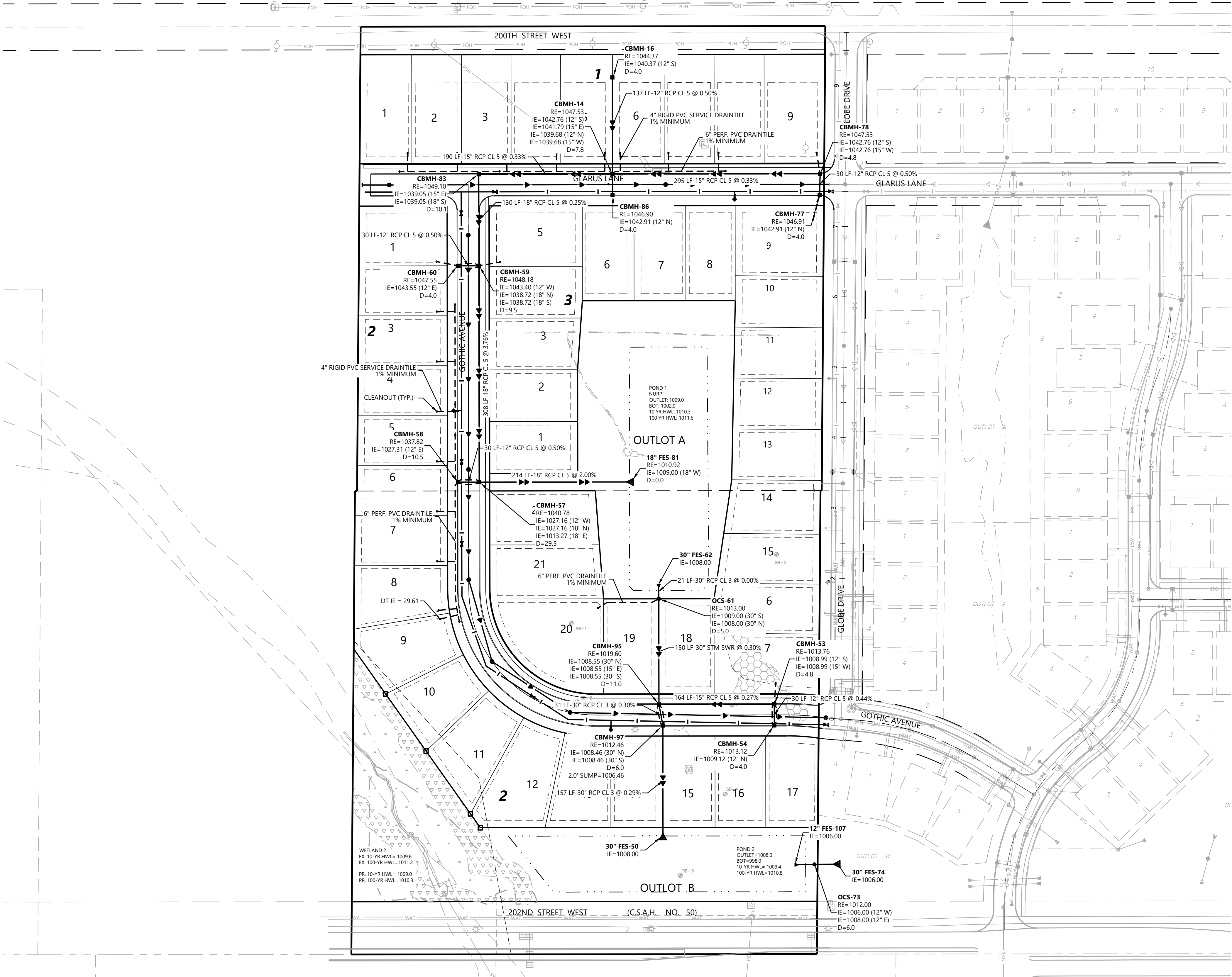
**PRELIMINARY SANITARY
SEWER AND WATERMAIN
PLAN**

PROJECT NUMBER: 0052375.00

SHEET NUMBER:

8 OF **25**

DATE: 05/14/25



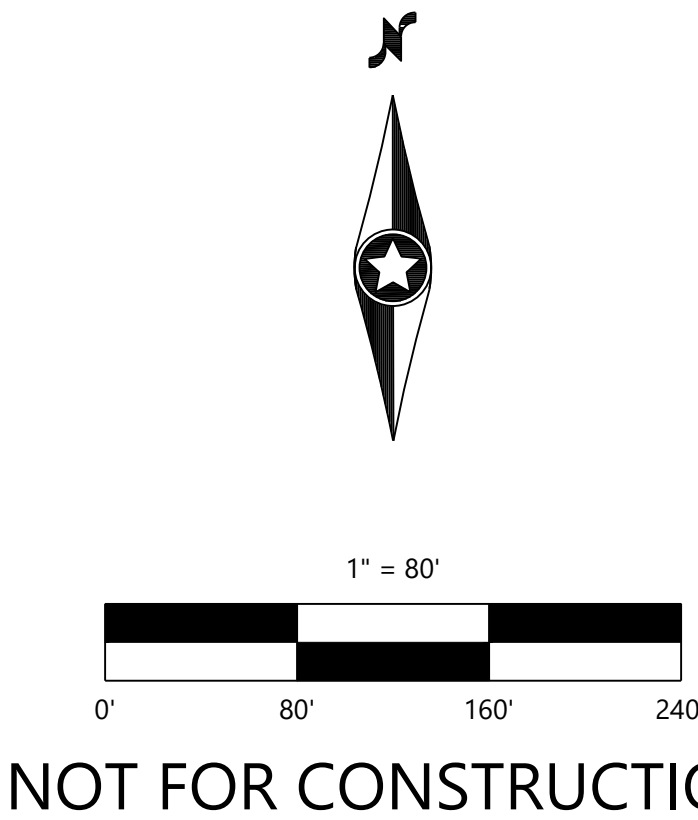
OVERALL UTILITY LEGEND

EXISTING	PROPOSED	FUTURE	
SAN			SANITARY SEWER
STO			STORM SEWER
DT			DRAIN TILE
WAT			WATER MAIN
WAT			HYDRANT

GENERAL UTILITY NOTES

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- UNLESS OTHERWISE NOTED, ALL MATERIALS, CONST. TECHNIQUES AND TESTING SHALL CONFORM TO THE 2023 ED. OF THE "STANDARD UTILITIES SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION BY THE CITY ENGINEERING ASSOCIATION OF MINN." AND TO THE "STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION" MINN. DEPT. OF TRANS., 2020 EDITION AND SUPPLEMENTAL SPECIFICATIONS SEPTEMBER 2022. THE CONTRACTOR SHALL BE REQUIRED TO FOLLOW ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.
- THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMITS FOR ALL WORK OUTSIDE OF THE PROPERTY LIMITS.
- VERIFY EXISTING INVERT LOCATION & ELEVATION PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT "GOPHER STATE ONE CALL" FOR FOR UTILITY LOCATIONS PRIOR TO UTILITY INSTALLATION.

EXHIBIT H



NOT FOR CONSTRUCTION

RESERVE AT CEDAR CREEK

DESIGNED:	TDD
CHECKED:	TDD
DRAWN:	TDD
HORIZONTAL SCALE:	80'
VERTICAL SCALE:	16' OR 8'

INITIAL ISSUE:	01/07/25
REVISIONS:	
	03/07/25 CITY COMMENTS
	04/04/25 CITY COMMENTS
	05/06/25 CITY COMMENTS
	05/14/25 CITY COMMENTS

PREPARED FOR:
RESERVE AT CEDAR CREEK, LLC.
221 S RIVER RIDGE CIR STE 100
BURNSVILLE, MN 55337

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TOM DESUTTER
DATE: 05/14/25 LICENSE NO. 59640

RESERVE AT CEDAR CREEK
LAKEVILLE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

PRELIMINARY STORM
SEWER PLAN

PROJECT NUMBER: 0052375.00

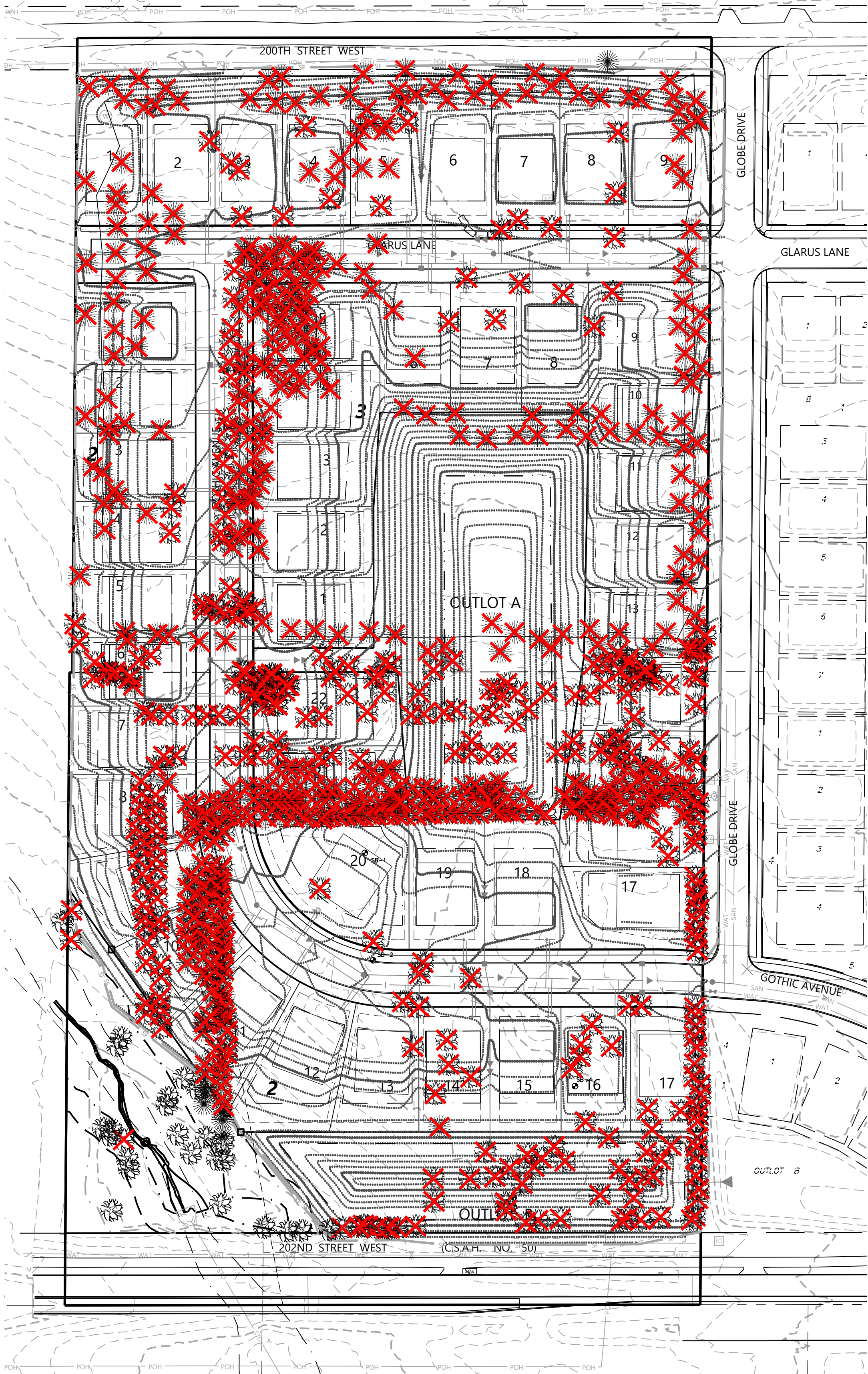
SHEET NUMBER:

9

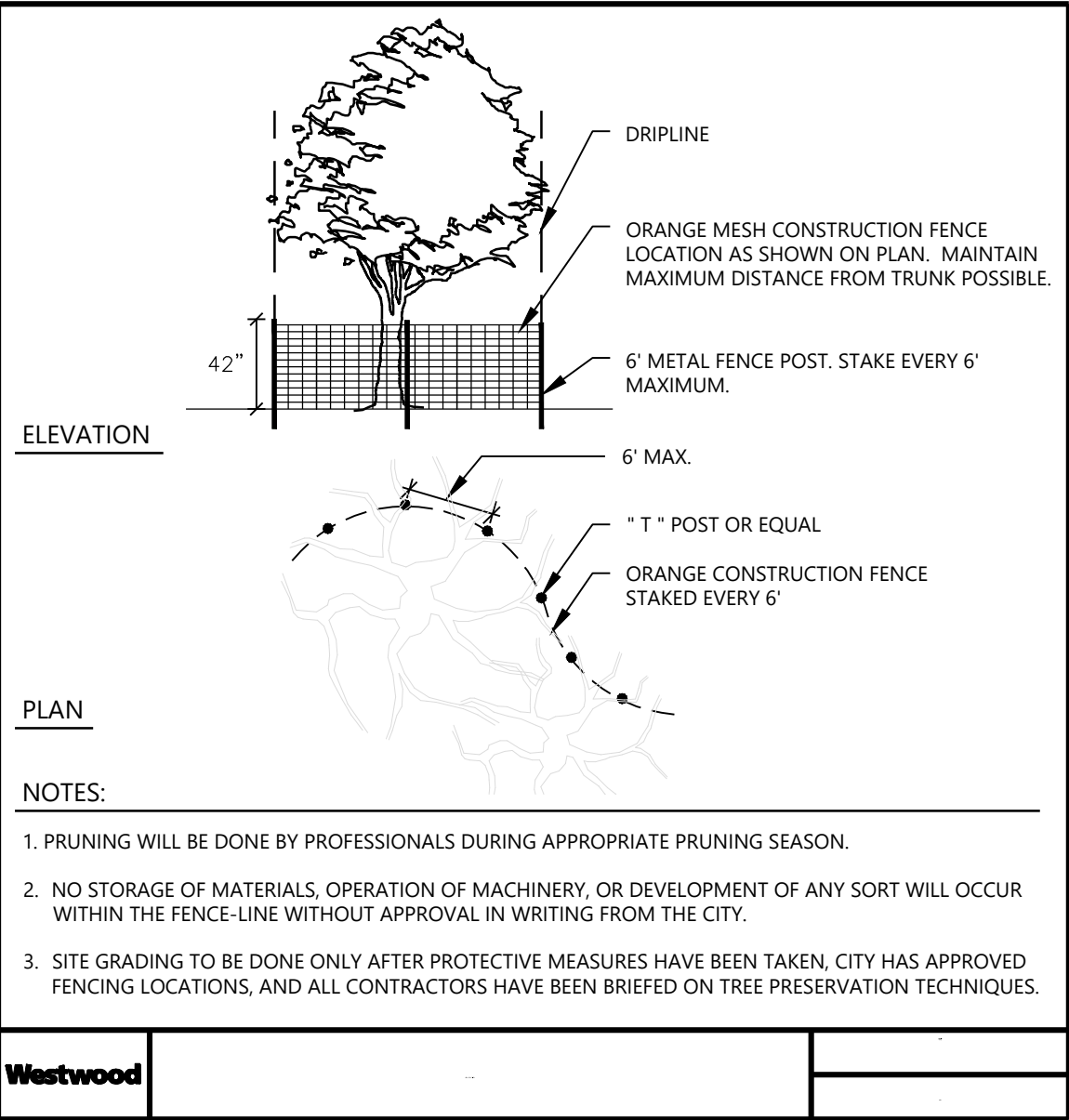
OF

25

DATE: 05/14/25



TREE PROTECTION DETAIL



TREE INVENTORY CALC. (BOTH PROPERTIES)

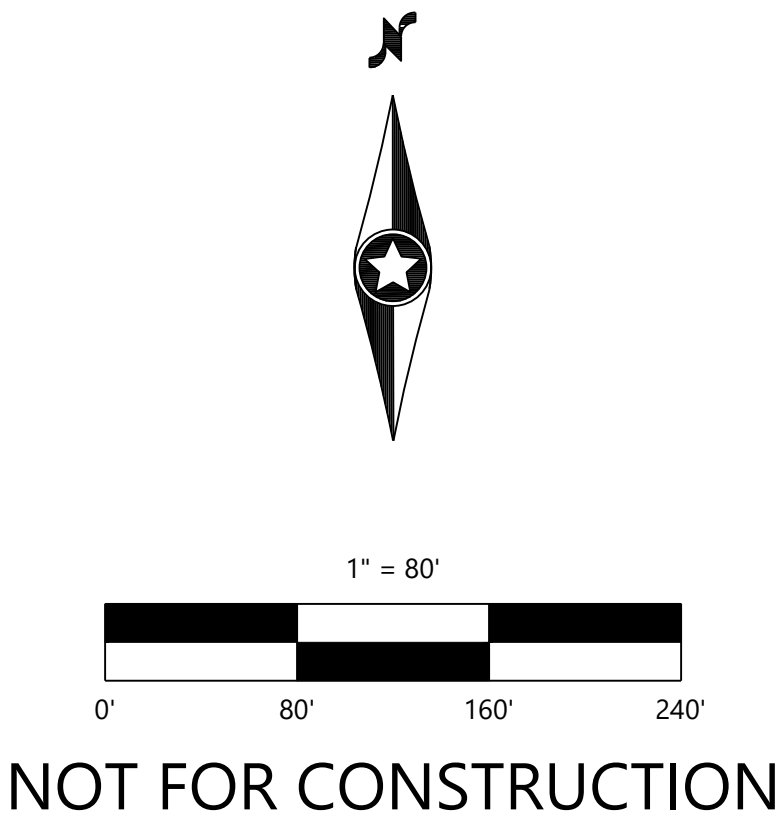
TREE INVENTORY CALCULATIONS (KING PROPERTY)	
TOTAL TREES ON-SITE	338 TREES
TOTAL TREES REMOVED	337 TREES
TOTAL TREES SAVED	1 TREE

TREE INVENTORY CALCULATIONS (DROGEMULLER PROPERTY)	
TOTAL TREES ON-SITE	519 TREES
TOTAL TREES REMOVED	490 TREES
TOTAL TREES SAVED	29 TREES

LEGEND

- DENOTES EXISTING CONIFEROUS TREE TO REMAIN
- DENOTES EXISTING DECIDUOUS TREE TO REMAIN
- DENOTES EXISTING CONIFEROUS TREE TO BE REMOVED
- DENOTES EXISTING DECIDUOUS TREE TO BE REMOVED
- SILT FENCE / REMOVAL AND DISTURBANCE LIMITS

EXHIBIT I



DESIGNED:	TDD
CHECKED:	TDD
DRAWN:	TDD
HORIZONTAL SCALE:	80'
VERTICAL SCALE:	16' OR 8'

INITIAL ISSUE:	01/07/25
REVISIONS:	
	03/07/25 CITY COMMENTS
	04/04/25 CITY COMMENTS
	05/06/25 CITY COMMENTS
	05/14/25 CITY COMMENTS

PREPARED FOR:

RESERVE AT CEDAR CREEK, LLC.

221 S RIVER RIDGE CIR STE 100
BURNSVILLE, MN 55337

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CORY L. MEYER

DATE: 05/14/25 LICENSE NO. 26971

RESERVE AT CEDAR CREEK

LAKEVILLE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

OVERALL TREE
INVENTORY PLAN

PROJECT NUMBER: 0052375.00

SHEET NUMBER:

15 OF 25

DATE: 05/14/25

N:\0052375.00\DWG\CIVIL\PRELIM\0052375 - TP01.DWG © 2025 Westwood Professional Services, Inc.

TREE TAG	SPECIES	SIZE (DBH)	MULTI	NOTES	TREE TYPE	STATUS
5001	Silver Maple	20	x		Deciduous	Removed
5002	Silver Maple	13			Deciduous	Removed
5003	Silver Maple	12	x		Deciduous	Removed
5004	Silver Maple	10	x		Deciduous	Removed
5005	Silver Maple	7	x		Deciduous	Removed
5006	Silver Maple	15	x		Deciduous	Removed
5007	Silver Maple	14			Deciduous	Removed
5008	Silver Maple	10			Deciduous	Removed
5009	Silver Maple	8			Deciduous	Removed
5010	Silver Maple	12	x		Deciduous	Removed
5011	Silver Maple	28	x		Deciduous	Removed
5012	White Spruce	12			Coniferous	Removed
5013	White Spruce	15			Coniferous	Removed
5014	White Spruce	13			Coniferous	Removed
5015	White Spruce	16			Coniferous	Removed
5016	White Spruce	10			Coniferous	Removed
5017	White Spruce	15			Coniferous	Removed
5018	White Spruce	13		bd 20% crown death	Coniferous	Removed
5019	White Spruce	15		bd 20% crown death	Coniferous	Removed
5020	White Spruce	15		bd 30% crown death	Coniferous	Removed
5021	White Spruce	17			Coniferous	Removed
5022	White Spruce	13			Coniferous	Removed
5023	White Spruce	18			Coniferous	Removed
5024	White Spruce	17			Coniferous	Removed
5025	Red (Norway) Pine	15			Coniferous	Removed
5026	Red (Norway) Pine	16	x		Coniferous	Removed
5027	Big Tooth Aspen	8			Deciduous	Removed
5028	Big Tooth Aspen	12			Deciduous	Offsite
5029	Big Tooth Aspen	8			Deciduous	Removed
5030	Big Tooth Aspen	7			Deciduous	Removed
5031	Big Tooth Aspen	7			Deciduous	Offsite
5032	Big Tooth Aspen	8			Deciduous	Removed
5033	Big Tooth Aspen	10			Deciduous	Removed
5034	Big Tooth Aspen	18	x		Deciduous	Removed
5035	Big Tooth Aspen	7			Deciduous	Removed
5036	Big Tooth Aspen	16			Deciduous	Removed
5037	Big Tooth Aspen	16			Deciduous	Removed
5038	Big Tooth Aspen	14			Deciduous	Removed
5039	Big Tooth Aspen	14			Deciduous	Removed
5040	Big Tooth Aspen	17			Deciduous	Removed
5041	Big Tooth Aspen	16		pd fire damage on trunk	Deciduous	Removed
5042	Big Tooth Aspen	18			Deciduous	Removed
5043	Big Tooth Aspen	14			Deciduous	Removed
5044	Big Tooth Aspen	13			Deciduous	Removed
5045	Big Tooth Aspen	14			Deciduous	Removed
5046	Big Tooth Aspen	15		bd 4ft sore w/rot on trunk	Deciduous	Removed
5047	Big Tooth Aspen	13			Deciduous	Removed
5048	Big Tooth Aspen	15			Deciduous	Removed
5049	Big Tooth Aspen	16			Deciduous	Removed
5050	Big Tooth Aspen	16			Deciduous	Removed
5051	Red (Norway) Pine	10			Coniferous	Removed
5052	Red (Norway) Pine	12			Coniferous	Removed
5053	Red (Norway) Pine	11			Coniferous	Removed
5054	Red (Norway) Pine	12			Coniferous	Removed
5055	Red (Norway) Pine	14			Coniferous	Removed
5056	Red (Norway) Pine	13			Coniferous	Removed
5057	Red (Norway) Pine	11			Coniferous	Removed
5058	Red (Norway) Pine	11			Coniferous	Removed
5059	Red (Norway) Pine	11			Coniferous	Removed
5060	Red (Norway) Pine	10			Coniferous	Removed
5061	Red (Norway) Pine	10			Coniferous	Removed
5062	Red (Norway) Pine	8			Coniferous	Removed
5063	Colorado Spruce	9			Coniferous	Removed
5064	Red (Norway) Pine	10			Coniferous	Removed
5065	Colorado Spruce	9			Coniferous	Removed
5066	Colorado Spruce	10			Coniferous	Removed
5067	Colorado Spruce	10			Coniferous	Removed
5068	Big Tooth Aspen	6			Deciduous	Removed
5069	Big Tooth Aspen	8			Deciduous	Removed
5070	Big Tooth Aspen	7			Deciduous	Removed
5071	Big Tooth Aspen	6			Deciduous	Offsite
5072	Big Tooth Aspen	7			Deciduous	Removed
5073	Big Tooth Aspen	7			Deciduous	Removed
5074	Big Tooth Aspen	6			Deciduous	Removed
5075	Big Tooth Aspen	6			Deciduous	Offsite
5076	Big Tooth Aspen	7			Deciduous	Removed
5077	Big Tooth Aspen	9			Deciduous	Removed
5078	White Spruce	15			Coniferous	Removed
5079	White Spruce	16			Coniferous	Removed
5080	Red (Norway) Pine	12	x		Coniferous	Removed
5081	Red (Norway) Pine	20			Coniferous	Removed
5082	Red (Norway) Pine	17			Coniferous	Removed
5083	Red (Norway) Pine	20			Coniferous	Removed
5084	Quaking Aspen	6			Deciduous	Offsite
5085	Quaking Aspen	6			Deciduous	Offsite
5086	Quaking Aspen	6			Deciduous	Offsite
5087	Quaking Aspen	6			Deciduous	Offsite
5088	Big Tooth Aspen	8			Deciduous	Removed
5089	Green and White Ash	6			Deciduous	Removed
5090	Big Tooth Aspen	6			Deciduous	Removed
5091	Big Tooth Aspen	6			Deciduous	Removed
5092	Big Tooth Aspen	7			Deciduous	Removed
5093	Big Tooth Aspen	6			Deciduous	Offsite
5094	Red (Norway) Pine	16	x		Coniferous	Removed
5095	Big Tooth Aspen	8			Deciduous	Removed
5096	Big Tooth Aspen	6			Deciduous	Removed
5097	Red (Norway) Pine	9	x		Coniferous	Removed
5098	Red (Norway) Pine	17			Coniferous	Removed
5099	Red (Norway) Pine	15			Coniferous	Removed
5100	Red (Norway) Pine	18			Coniferous	Removed
5101	Big Tooth Aspen	6			Deciduous	Removed
5102	Green and White Ash	20		pd woodpecker damage/bark removed from upper limbs	Deciduous	Removed
5103	Arborvitae	6	x		Deciduous	Removed
5104	Arborvitae	6	x		Deciduous	Removed
5105	Colorado Spruce	23			Coniferous	Removed
5106	Basswood	16			Deciduous	Removed
5107	Basswood	18			Deciduous	Removed
5108	Basswood	17			Deciduous	Removed
5109	Basswood	15			Deciduous	Removed
5110	Colorado Spruce	12			Coniferous	Removed
5111	White Spruce	9			Coniferous	Removed
5112	Red (Norway) Pine	6			Coniferous	Removed
5113	Red (Norway) Pine	6			Coniferous	Removed
5114	Red (Norway) Pine	6			Coniferous	Removed
5115	Red (Norway) Pine	8			Coniferous	Removed

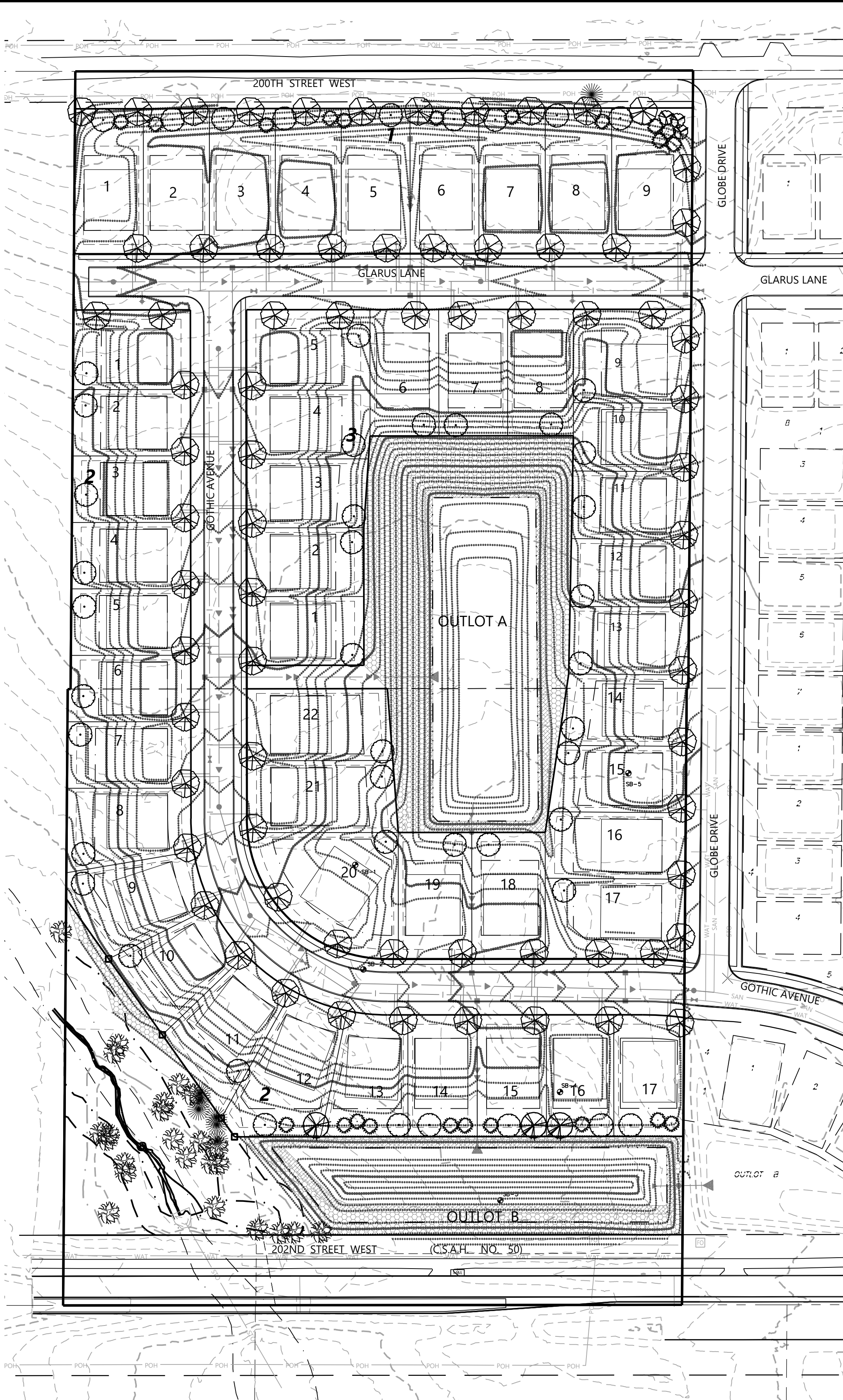
TREE TAG	SPECIES	SIZE (DBH)	MULTI	NOTES	TREE TYPE	STATUS
5116	Red (Norway) Pine	13			Coniferous	Removed
5117	Red (Norway) Pine	17			Coniferous	Removed
5118	Balsam Fir	8			Coniferous	Removed
5119	Balsam Fir	11			Coniferous	Removed
5120	Balsam Fir	17			Coniferous	Removed
5121	Red (Norway) Pine	14			Coniferous	Removed
5122	White Spruce	14			Coniferous	Removed
5123	White Spruce	13			Coniferous	Removed
5124	Balsam Fir	17			Coniferous	Removed
5125	White Spruce	13			Coniferous	Removed
5126	White Spruce	10		bd 30% crown death	Coniferous	Removed
5127	White Spruce	17		bd 70% crown death	Coniferous	Removed
5128	White Spruce	12		bd 49% crown death	Coniferous	Removed
5129	White Spruce	17			Coniferous	Removed
5130	Red (Norway) Pine	17		bd 50% crown death	Coniferous	Removed
5131	Red (Norway) Pine	13		bd 50% crown death	Coniferous	Removed
5132	White Spruce	18			Coniferous	Removed
5133	White Spruce	13			Coniferous	Removed
5134	White Spruce	17			Coniferous	Removed
5135	White Spruce	13			Coniferous	Removed
5136	White Spruce	17			Coniferous	Removed
5137	Red (Norway) Pine	16	x		Coniferous	Removed
5138	White Spruce	16			Coniferous	Removed
5139	White Spruce	10			Coniferous	Removed
5140	White Spruce	14			Coniferous	Removed
5141	White Spruce	15			Coniferous	Removed
5142	Red (Norway) Pine	18			Coniferous	Removed
5143	White Spruce	15			Coniferous	Removed
5144	Red (Norway) Pine	21			Coniferous	Removed
5145	Red (Norway) Pine	20			Coniferous	Removed
5146	White Spruce	12			Coniferous	Removed
5147	White Spruce	15			Coniferous	Removed
5148	Colorado Spruce	13			Coniferous	Removed
5149	White Spruce	18			Coniferous	Removed
5150	White Spruce	17			Coniferous	Removed
5151	White Spruce	15			Coniferous	Removed
5152	White Spruce	14			Coniferous	Removed
5153	White Spruce	14			Coniferous	Removed
5154	White Spruce	13			Coniferous	Removed
5155	Red (Norway) Pine	17			Coniferous	Removed
5156	Red (Norway) Pine	20			Coniferous	Removed
5157	Basswood	16			Deciduous	Removed
5158	White Spruce	11			Coniferous	Removed
5159	White Spruce	16			Coniferous	Removed
5160	White Spruce	14			Coniferous	Removed
5161	White Spruce	15			Coniferous	Removed
5162	Colorado Spruce	17			Coniferous	Removed
5163	Colorado Spruce	15			Coniferous	Removed
5164	Sugar Maple	13			Deciduous	Removed
5165	White Spruce	14			Coniferous	Removed
5166	White Spruce	13			Coniferous	Removed
5167	White Spruce	16			Coniferous	Removed
5168	Colorado Spruce	15			Coniferous	Removed
5169	White Spruce	16			Coniferous	Removed
5170	Red (Norway) Pine	18			Coniferous	Removed
5171	Colorado Spruce	13			Coniferous	Removed
5172	Colorado Spruce	13			Coniferous	Removed
5173	Colorado Spruce	13			Coniferous	Removed
5174	Basswood	15			Deciduous	Removed
5175	Basswood	18			Deciduous	Removed
5176	Basswood	15			Deciduous	Removed
5177	Colorado Spruce	7			Coniferous	Removed
5178	Colorado Spruce	14			Coniferous	Removed
5179	Colorado Spruce	11			Coniferous	Removed
5180	Colorado Spruce	11			Coniferous	Removed
5181	Colorado Spruce	11			Coniferous	Removed
5182	Colorado Spruce	12			Coniferous	Removed
5183	Colorado Spruce	6			Coniferous	Removed
5184	Colorado Spruce	12			Coniferous	Removed
5185	Colorado Spruce	10			Coniferous	Removed
5186	Colorado Spruce	6			Coniferous	Removed
5187	Colorado Spruce	7			Coniferous	Removed
5188	Colorado Spruce	6			Coniferous	Removed
5189	Colorado Spruce	12			Coniferous	Removed
5190	Colorado Spruce	11			Coniferous	Removed
5191	Colorado Spruce	8			Coniferous	Removed
5192	Colorado Spruce	8			Coniferous	Removed
5193	Colorado Spruce	9			Coniferous	Removed
5194	Colorado Spruce	10			Coniferous	Removed
5195	Colorado Spruce	9			Coniferous	Removed
5196	Colorado Spruce	9			Coniferous	Removed
5197	Colorado Spruce	6			Coniferous	Removed
5198	Colorado Spruce	6			Coniferous	Removed
5199	Colorado Spruce	6			Coniferous	Removed
5200	Colorado Spruce	9			Coniferous	Removed
5201	Colorado Spruce	11			Coniferous	Removed
5202	Colorado Spruce	9			Coniferous	Removed
5203	Colorado Spruce	10			Coniferous	Removed
5204	Colorado Spruce	11			Coniferous	Removed
5205	Colorado Spruce	9			Coniferous	Removed
5206	Colorado Spruce	9			Coniferous	Removed
5207	Colorado Spruce	10			Coniferous	Removed
5208	Colorado Spruce	10			Coniferous	Removed
5209	Colorado Spruce	10			Coniferous	Removed
5210	Colorado Spruce	8			Coniferous	Removed
5211	Colorado Spruce	9			Coniferous	Removed
5212	Colorado Spruce	9			Coniferous	Removed
5213	Colorado Spruce	10			Coniferous	Removed
5214	Colorado Spruce	7			Coniferous	Removed
5215	Colorado Spruce	11			Coniferous	Removed
5216	Colorado Spruce	8			Coniferous	Removed
5217	Colorado Spruce	10			Coniferous	Removed
5218	White Spruce	12			Coniferous	Removed
5219	Colorado Spruce	8			Coniferous	Removed
5220	Colorado Spruce	10			Coniferous	Removed
5221	White Spruce	13			Coniferous	Removed
5222	Colorado Spruce	8			Coniferous	Removed
5223	Colorado Spruce	9			Coniferous	Removed
5224	Colorado Spruce	12			Coniferous	Removed
5225	Colorado Spruce	10			Coniferous	Removed
5226	White Spruce	11			Coniferous	Removed
5227	Colorado Spruce	8			Coniferous	Removed
5228	Colorado Spruce	10			Coniferous	Removed
5229	Colorado Spruce	11			Coniferous	Removed
5230	Colorado Spruce	9			Coniferous	Removed

TREE TAG	SPECIES	SIZE (DBH)	MULTI	NOTES	TREE TYPE	STATUS
5231	Colorado Spruce	7			Coniferous	Removed
5232	Colorado Spruce	13			Coniferous	Removed
5233	White Spruce	18			Coniferous	Removed
5234	Colorado Spruce	8			Coniferous	Removed
5235	Colorado Spruce	13			Coniferous	Removed
5236	White Spruce	12			Coniferous	Removed
5237	White Spruce	13			Coniferous	Removed
5238	Colorado Spruce	8			Coniferous	Removed
5239	White Spruce	10			Coniferous	Removed
5240	Colorado Spruce	8			Coniferous	Removed
5241	White Spruce	8			Coniferous	Removed
5242	Colorado Spruce	9			Coniferous	Removed
5243	White Spruce	10			Coniferous	Removed
5244	Colorado Spruce	9			Coniferous	Removed
5245	White Spruce	17			Coniferous	Removed
5246	Colorado Spruce	6			Coniferous	Removed
5247	White Spruce	9			Coniferous	Removed
5248	White Spruce	12			Coniferous	Removed
5249	White Spruce	14			Coniferous	Removed
5250	Colorado Spruce	12			Coniferous	Removed
5251	White Spruce	11			Coniferous	Removed
5252	Colorado Spruce	11			Coniferous	Removed
5253	Colorado Spruce	10			Coniferous	Removed
5254	White Spruce	10	x		Coniferous	Removed
5255	White Spruce	14	x		Coniferous	Removed
5256	White Spruce	18			Coniferous	Removed
5257	White Spruce	16			Coniferous	Removed
5258	White Spruce	13			Coniferous	Removed
5259	White Spruce	13			Coniferous	Removed
5260	White Spruce	12			Coniferous	Removed
5261	White Spruce	14			Coniferous	Removed
5262	Green and White Ash	20			Deciduous	Removed
5263	Norway Maple	18			Deciduous	Removed
5264	Norway Maple	18			Deciduous	Removed
5265	Unknown Deciduous Tree	7		unknown cultivar	Deciduous	Removed
5266	Green and White Ash	15			Deciduous	Removed
5267	Green and White Ash	16			Deciduous	Removed
5268	Green and White Ash	16			Deciduous	Removed
5269	Green and White Ash	16			Deciduous	Removed
5270	Green and White Ash	16			Deciduous	Removed
5271	Green and White Ash	15			Deciduous	Removed
5272	Green and White Ash	20			Deciduous	Removed
5273	Green and White Ash	18			Deciduous	Removed
5274	Green and White Ash	19			Deciduous	Removed
5275	Colorado Spruce	14			Coniferous	Removed
5276	Colorado Spruce	14			Coniferous	Removed
5277	Colorado Spruce	13			Coniferous	Removed
5278	Colorado Spruce	15			Coniferous	Removed
5279	Colorado Spruce	14			Coniferous	Removed
5280	Red (Norway) Pine	16			Coniferous	Removed
5281	White Spruce	14			Coniferous	Removed
5282	Red (Norway) Pine	14	x		Coniferous	Removed
5283	Red (Norway) Pine	23			Coniferous	Removed
5284	Red (Norway) Pine	14			Coniferous	Removed
5285	Red (Norway) Pine	15	x		Coniferous	Removed
5286	Red (Norway) Pine	12	x		Coniferous	Removed
5287	Red (Norway) Pine	16			Coniferous	Removed
5288	Big Tooth Aspen	10			Deciduous	Removed
5289	Big Tooth Aspen	11			Deciduous	Removed
5290	Big Tooth Aspen	7			Deciduous	Removed
5291	Big Tooth Aspen	8			Deciduous	Removed
5292	Big Tooth Aspen	11			Deciduous	Removed
5293	Red (Norway) Pine	12	x		Coniferous	Removed
5294	Big Tooth Aspen	6			Deciduous	Removed
5295	White Spruce	11			Coniferous	Removed
5296	White Spruce	12			Coniferous	Removed
5297	White Spruce	12			Coniferous	Removed
5298	White Spruce	14			Coniferous	Removed
5299	White Spruce	16			Coniferous	Removed
5300	White Spruce	16			Coniferous	Removed
5301	White Spruce	18			Coniferous	Removed
5302	White Spruce	13			Coniferous	Removed
5303	White Spruce	16			Coniferous	Removed
5304	White Spruce	14			Coniferous	Removed
5305	White Spruce	14			Coniferous	Removed
5306	White Spruce	16			Coniferous	Removed
5307	White Spruce	16			Coniferous	Removed
5308	White Spruce	17			Coniferous	Removed
5309	White Spruce	14			Coniferous	Removed
5310	White Spruce	12			Coniferous	Removed
5311	White Spruce	16			Coniferous	Removed
5312	White Spruce	12	x		Coniferous	Removed
5313	White Spruce	18			Coniferous	Removed
5314	White Spruce	16			Coniferous	Removed
5315	White Spruce	19			Coniferous	Removed
5316	White Spruce	20			Coniferous	Removed
5317	White Spruce	23			Coniferous	Removed
5318	White Spruce	18			Coniferous	Removed
5319	Red (Norway) Pine	17			Coniferous	Removed
5320	Red (Norway) Pine	19			Coniferous	Removed
5321	Red (Norway) Pine	14			Coniferous	Removed
5322	Red (Norway) Pine	22			Coniferous	Removed
5323	Red (Norway) Pine	19			Coniferous	Removed
5324	Red (Norway) Pine	18			Coniferous	Removed
5325	Red (Norway) Pine	11	x		Coniferous	Removed
5326	White Spruce	13			Coniferous	Removed
5327	White Spruce	14			Coniferous	Removed
5328	White Spruce	12	x		Coniferous	Removed
5329	White Spruce	15			Coniferous	Removed
5330	White Spruce	12			Coniferous	Removed
5331	White Spruce	18			Coniferous	Removed
5332	White Spruce	13			Coniferous	Removed
5333	White Spruce	22			Coniferous	Removed
5334	White Spruce	20			Coniferous	Scared
5335	White Spruce	20			Coniferous	Removed
5336	White Spruce	14			Coniferous	Removed
5337	White Spruce	20			Coniferous	Removed
5338	White Spruce	25			Coniferous	Removed
5339	White Spruce	14			Coniferous	Removed
5340	White Spruce	16			Coniferous	Removed
5341	White Spruce	22			Coniferous	Removed
5342	White Spruce	18			Coniferous	Removed
5343	Red (Norway) Pine	21			Coniferous	Removed
5344	White Spruce	18			Coniferous	Removed
5345	White Spruce	17			Coniferous	Removed
5346	White Spruce	17			Coniferous	Removed
5347	White Spruce	13			Coniferous	Removed

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TREE TAG	SPECIES	SIZE (DBH)	MULT	NOTES	TYPE	STATUS
6720	Silver Maple	21	x		Deciduous	Removed
6721	Fruit Tree	7		bd 10%rotted lower branches	Deciduous	Removed
6722	Fruit Tree	7		bd 10%rotted lower branches	Deciduous	Removed
6723	Fruit Tree	8		bd 30%rotted lower branches	Deciduous	Removed
6724	Fruit Tree	8	x	bd 10%rotted lower branches	Deciduous	Removed
6725	Fruit Tree	13		bd 30%rotted lower branches, damage to crown	Deciduous	Removed
6726	Fruit Tree	8	x	bd 20%rotted lower branches	Deciduous	Removed
6727	Fruit Tree	6	x	bd 20%rotted lower branches, damage to crown	Deciduous	Removed
6728	Fruit Tree	6		bd 10%rotted lower branches	Deciduous	Removed
6729	Fruit Tree	16			Deciduous	Removed
6730	Fruit Tree	6		bd 30%damage to crown	Deciduous	Removed
6731	Boxelder	10		bd 10%rotted lower branches	Deciduous	Removed
6732	Bur Oak	7		bd 40%rotted lower branches to crown	Deciduous	Removed
6733	Black Walnut	7			Deciduous	Removed
6734	Bur Oak	11		bd 30%rotted lower branches	Deciduous	Removed
6735	Bur Oak	7		bd 10%rotted lower branches	Deciduous	Removed
6736	Silver Maple	11	x		Deciduous	Removed
6737	Silver Maple	10	x		Deciduous	Removed
6738	Silver Maple	7			Deciduous	Removed
6739	Silver Maple	20	x	bd 20%damage to crown	Deciduous	Removed
6740	Bur Oak	6		bd 30%rotted lower branches to crown	Deciduous	Removed
6741	Cottonwood	28		bd 10%rotted lower branches	Deciduous	Removed
6742	Fruit Tree	9	x		Deciduous	Removed
6743	Fruit Tree	11	x	bd 20%rotted lower branches to crown	Deciduous	Removed
6744	Fruit Tree	8		bd 20%rotted lower branches	Deciduous	Removed
6745	Fruit Tree	6			Deciduous	Removed
6746	Fruit Tree	7		bd 10%rotted lower branches	Deciduous	Removed
6747	Fruit Tree	7	x	bd 10%rotted lower branches	Deciduous	Removed
6748	Fruit Tree	7	x	bd 10%rotted lower branches	Deciduous	Removed
6749	Fruit Tree	6			Deciduous	Removed
6750	Fruit Tree	11	x	bd 20%rotted lower branches	Deciduous	Removed
6751	Fruit Tree	11			Deciduous	Saved
6752	Fruit Tree	10	x		Deciduous	Saved
6753	Fruit Tree	6	x	bd 10%rotted lower branches	Deciduous	Saved
6754	Fruit Tree	10		bd 20%rotted lower branches	Deciduous	Saved
6755	Unknown Deciduous Tree	10	x	bd 20%additional trunk down/ Mountain Ash	Deciduous	Removed
6756	Catalpa	18			Deciduous	Removed
6757	Boxelder	23			Deciduous	Removed
6758	Boxelder	19		pd 10%lower branches removed	Deciduous	Removed
6759	Norway Maple	20			Deciduous	Removed
6760	White Oak	26			Deciduous	Removed
6761	Silver Maple	26			Deciduous	Removed
6762	Silver Maple	19			Deciduous	Removed
6763	Fruit Tree	19			Deciduous	Removed
6764	Basswood	14		European Linden (lilia x European L)	Deciduous	Removed
6765	Fruit Tree	9			Deciduous	Removed
6766	Norway Maple	18		pd 10%lower branch removed	Deciduous	Removed
6767	Red (Norway) Pline	18			Coniferous	Removed
6768	Fruit Tree	7	x		Deciduous	Removed
6769	Fruit Tree	9			Deciduous	Removed
6770	Bitternut Hickory	8			Deciduous	Removed
6771	Black Locust	11	x		Deciduous	Removed
6772	Silver Maple	14	x		Deciduous	Removed
6773	Norway Maple	11			Deciduous	Removed
6774	Honey Locust	9			Deciduous	Removed
6775	Green & White Ash	10			Deciduous	Removed
6776	Honey Locust	9			Deciduous	Removed
6777	Green & White Ash	10		bd 80%damage by emerald ashbore	Deciduous	Removed
6778	Green & White Ash	7		bd 60%damage by emerald ashbore	Deciduous	Removed
6779	Boxelder	19			Deciduous	Removed
6780	Green & White Ash	10	x	bd 80%damage by emerald ashbore	Deciduous	Removed
6781	Norway Maple	12			Deciduous	Removed
6782	Boxelder	10			Deciduous	Removed
6783	White Oak	17			Deciduous	Removed
6784	Sugar Maple	11			Deciduous	Removed
6785	Silver Maple	25			Deciduous	Removed
6786	Boxelder	17			Deciduous	Removed
6787	Boxelder	13		bd 20%rotted lower branches	Deciduous	Removed
6788	Boxelder	14			Deciduous	Removed
6789	Boxelder	17			Deciduous	Removed
6790	Boxelder	17			Deciduous	Removed
6791	Boxelder	12			Deciduous	Removed
6792	Silver Maple	10	x		Deciduous	Removed
6793	Silver Maple	23	x		Deciduous	Removed
6794	Cottonwood	19		bd 10%rotted lower branches	Deciduous	Removed
6795	Silver Maple	11	x		Deciduous	Removed
6796	Cottonwood	25		bd 20%rotted lower branches	Deciduous	Removed
6797	Silver Maple	6	x		Deciduous	Removed
6798	Cottonwood	26			Deciduous	Removed
6799	Cottonwood	28		bd 10%rotted lower branches	Deciduous	Removed
6800	Cottonwood	18		bd 10%rotted lower branches	Deciduous	Removed
6801	Cottonwood	18		bd 10%rotted lower branches	Deciduous	Removed
6802	Cottonwood	21		bd 10%rotted branches	Deciduous	Removed
6803	Silver Maple	20	x		Deciduous	Removed
6804	Silver Maple	15	x		Deciduous	Removed
6805	Silver Maple	10	x		Deciduous	Removed
6806	Silver Maple	17	x		Deciduous	Removed
6807	Silver Maple	14	x		Deciduous	Removed
6808	Silver Maple	9	x		Deciduous	Removed
6809	Silver Maple	14	x		Deciduous	Removed
6810	Silver Maple	8			Deciduous	Removed
6811	Silver Maple	16	x	bd 10%additional trunk down	Deciduous	Removed
6812	Silver Maple	20	x		Deciduous	Removed
6813	Silver Maple	11	x		Deciduous	Removed
6814	Silver Maple	8			Deciduous	Removed
6815	Silver Maple	10	x		Deciduous	Removed
6816	Silver Maple	13	x	bd 20%rotted additional trunk	Deciduous	Removed
6817	Boxelder	6			Deciduous	Removed
6818	Boxelder	10		bd 40%rotted lower branches to crown	Deciduous	Removed
6819	Green & White Ash	16		bd 10%rotted lower branches	Deciduous	Removed
6820	Black Walnut	18			Deciduous	Removed
6821	Sugar Maple	11			Deciduous	Removed
6822	Silver Maple	10	x		Deciduous	Removed
6823	Silver Spruce	9			Coniferous	Removed
6824	White Spruce	6			Coniferous	Removed
6825	Silver Maple	8	x		Deciduous	Removed
6826	Silver Maple	8		bd 10%rotted lower branches	Deciduous	Removed
6827	Red Maple	10			Deciduous	Removed
6828	Silver Maple	8	x		Deciduous	Removed
6829	Red Oak	12			Deciduous	Removed
6830	Black Walnut	12			Deciduous	Removed
6831	Red (Norway) Pline	9			Coniferous	Removed
6832	Red (Norway) Pline	10			Coniferous	Removed
6833	White Spruce	9			Coniferous	Removed
6834	White Spruce	9			Coniferous	Removed
6835	White Spruce	12			Coniferous	Removed
6836	White Spruce	10			Coniferous	Removed
6837	White Spruce	12			Coniferous	Removed
6838	White Spruce	10			Coniferous	Removed
6839	White Spruce	10			Coniferous	Removed
6840	White Spruce	10			Coniferous	Removed
6841	White Spruce	10			Coniferous	Removed
6842	White Spruce	9			Coniferous	Removed
6843	Boxelder	6	x		Coniferous	Removed
6844	Black Walnut	18	x	bd 20%peeled bark on trunk to crown	Deciduous	Saved
6845	Boxelder	8		bd 10%rotated lower branches	Deciduous	Saved
6846	White Spruce	7		bd 20%rotted lower branches	Coniferous	Saved
6847	Boxelder	8		bd 30%rotted lower branches to crown	Deciduous	Saved
6848	Boxelder	7		bd 40%rotted lower branches to crown	Deciduous	Saved
6849	Black Walnut	16		bd 40%rotted lower branches to crown, damage to crown	Deciduous	Removed

SPECIES	SIZE (DBH)	MULT	NOTES	TYPE	STATUS
White Spruce	9			Coniferous	Removed
White Spruce	11			Coniferous	Removed
Scotch Pine	6			Coniferous	Removed
Red (Norway) Pline	11			Coniferous	Removed
Red (Norway) Pline	11			Coniferous	Removed
Black Walnut	9			Deciduous	Removed
Bitternut Hickory	7			Deciduous	Removed
Black Walnut	7			Deciduous	Removed
Black Walnut	9			Deciduous	Removed
Red (Norway) Pline	11			Coniferous	Removed
Red (Norway) Pline	10			Coniferous	Removed
White Spruce	8			Coniferous	Removed
White Spruce	10			Coniferous	Removed
Scotch Pine	8			Coniferous	Removed
White Spruce	11			Coniferous	Removed
White Spruce	11			Coniferous	Removed
Scotch Pine	7			Coniferous	Removed
White Spruce	8			Coniferous	Removed
White Spruce	7			Coniferous	Removed
Red (Norway) Pline	11			Coniferous	Removed
Black Walnut	9			Deciduous	Removed
Black Walnut	6			Deciduous	Removed
Black Walnut	9			Deciduous	Removed
White Spruce	7			Coniferous	Removed
White Spruce	8			Coniferous	Removed
Scotch Pine	8			Coniferous	Removed
White Spruce	7			Coniferous	Removed
White Spruce	7			Coniferous	Removed
White Spruce	7			Coniferous	Removed
Scotch Pine	6			Coniferous	Removed
White Spruce	8			Coniferous	Removed
White Spruce	8	x		Coniferous	Removed
White Spruce	9			Coniferous	Removed
White Spruce	10			Coniferous	Removed
White Spruce	8			Coniferous	Removed
Scotch Pine	11			Coniferous	Removed
Scotch Pine	12			Coniferous	Removed
Black Walnut	10			Deciduous	Removed
Black Walnut	7			Deciduous	Removed
Black Walnut	11			Deciduous	Removed
Black Willow	7			Deciduous	Removed
Red Maple	6	x		Deciduous	Removed
Red Maple	6	x		Deciduous	Removed
Black Walnut	7			Deciduous	Removed
Aspen	7		pd 20%trunk damage	Deciduous	Removed
Aspen	6			Deciduous	Removed
Black Willow	17	x		Deciduous	Removed
Aspen	7			Deciduous	Removed
Aspen	8			Deciduous	Removed
Aspen	7			Deciduous	Removed
Aspen	7			Deciduous	Removed
Aspen	8		pd 40%trunk damage	Deciduous	Removed
Red Maple	6			Deciduous	Removed
Red Maple	7			Deciduous	Removed
Black Willow	8			Deciduous	Removed
Black Willow	12	x		Deciduous	Removed
Black Willow	10			Deciduous	Removed
Black Willow	6			Deciduous	Removed
Black Willow	8			Deciduous	Removed
Black Willow	8		pd 60%trunk and crown damage	Deciduous	Removed
Black Walnut	8			Deciduous	Removed
White Spruce	9			Coniferous	Removed
White Spruce	9			Coniferous	Removed
White Spruce	9			Coniferous	Removed
Black Willow	10		bd 60%rotted trunk and crown braches	Deciduous	Removed
White Spruce	8			Coniferous	Removed
White Spruce	6			Coniferous	Removed
White Spruce	11			Coniferous	Removed
White Spruce	12			Coniferous	Removed
Scotch Pine	9			Coniferous	Removed
Red (Norway) Pline	9			Coniferous	Removed
Red (Norway) Pline	10			Coniferous	Removed
White Spruce	8			Coniferous	Removed
White Spruce	10			Coniferous	Removed
Scotch Pine	9			Coniferous	Removed
White Spruce	7			Coniferous	Removed
White Spruce	10			Coniferous	Removed
White Spruce	11			Coniferous	Removed
White Spruce	9			Coniferous	Removed
Scotch Pine	6			Coniferous	Removed
Red (Norway) Pline	11			Coniferous	Removed
Bitternut Hickory	6			Deciduous	Removed
Bitternut Hickory	9			Deciduous	Removed
Black Walnut	8			Deciduous	Removed
Black Walnut	17			Deciduous	Removed
Red (Norway) Pline	12			Coniferous	Removed
White Spruce	9			Coniferous	Removed
White Spruce	6			Coniferous	Removed
White Spruce	8			Coniferous	Removed
White Spruce	9			Coniferous	Removed
White Spruce	12			Coniferous	Removed
White Spruce	10			Coniferous	Removed
White Spruce	11			Coniferous	Removed
Red (Norway) Pline	10			Coniferous	Removed
White Spruce	7			Coniferous	Removed
White Spruce	8			Coniferous	Removed
White Spruce	10			Coniferous	Removed
White Spruce	7	x		Coniferous	Removed
Red (Norway) Pline	10			Coniferous	Removed
Silver Maple	8			Deciduous	Saved
Boxelder	7		bd 80%damage to crown	Deciduous	Saved
Boxelder	13	x	bd 90%damage to crown	Deciduous	Saved
Green & White Ash	13		bd 90%damage to crown	Deciduous	Removed
Boxelder	8			Deciduous	Saved
American Elm	14		bd 10%rotted lower branches	Deciduous	Saved
Boxelder	8		bd 60%damage to crown	Deciduous	Saved
Boxelder	20		bd 60%damage to crown	Deciduous	Saved
Outcrowned	34		bd 20%rotted lower branches (not mapped aswetland but frimwalkingthrough wetland)	Deciduous	Removed
Weeping Willow	7		bd 30% damage from Emerald Ash Bore	Deciduous	Removed
Green & White Ash	7			Deciduous	Saved
Black Walnut	7			Deciduous	Saved
Boxelder	8			Deciduous	Saved
Boxelder	12			Deciduous	Saved
Black Walnut	6			Deciduous	Saved
Black Walnut	6			Deciduous	Saved
Silver Maple	9			Deciduous	Saved
Boxelder	7		bd 60%rotted lower branches to crown	Deciduous	Saved
Black Walnut	7		bd 20%rotted lower branches	Deciduous	Saved
White Spruce	7		pd 10%lower branches removed	Coniferous	Saved
White Spruce	8		pd 10%lower branches removed	Coniferous	Saved
White Spruce	10		bd 40%rotted lower branches	Coniferous	Saved
White Spruce	9		bd pd 50%lower branches removed, rotted lower branches	Coniferous	Removed
White Spruce	10		bd 60%peeled bark on trunk to crown, rotted lower branches to crown	Deciduous	Saved
Black Walnut	18	x	bd 40%rotted lower branches (not mapped aswetland but frimwalkingthrough wetland)	Deciduous	Saved
Boxelder	8		bd 10%rotted lower branches	Deciduous	Saved
White Spruce	7		bd 20%rotted lower branches	Coniferous	Saved
Boxelder	8		bd 30%rotted lower branches to crown	Deciduous	Saved
Boxelder	8		bd 40%rotted lower branches to crown	Deciduous	Saved
Black Walnut	16		bd 40%rotted lower branches to crown, damage to crown	Deciduous	Removed



PRELIMINARY LANDSCAPE SCHEDULE - DEVELOPER TREES

CODE	QTY	COMMON / BOTANICAL NAME	SIZE	ROOT	SPACING O.C.	MATURE SIZE
DECIDUOUS TREES - 75						
ACE	8	ACCOLADE ELM / ULMUS X 'MORTON'	2.5" CAL.	B&B	AS SHOWN	H 70' W 40'-50'
AGG	1	AUTUMN GOLD GINKGO / GINKGO BILOBA 'AUTUMN GOLD'	2.5" CAL.	B&B	AS SHOWN	H 50' W 30'
FFM	3	FALL FIESTA MAPLE / ACER SACCHARUM 'BAILSTA'	2.5" CAL.	B&B	AS SHOWN	H 50'-75' W 50'
FYL	10	FRONTYARD LINDEN / TILIA AMERICANA 'BAILYARD'	2.5" CAL.	B&B	AS SHOWN	H 60'-70' W 30'-40'
HAK	8	HACKBERRY / CELTIS OCCIDENTALIS	2.5" CAL.	B&B	AS SHOWN	H 40'-60' W 40'
REO	10	RED OAK / QUERCUS RUBRA	2.5" CAL.	B&B	AS SHOWN	H 50'-70' W 40'-50'
RVB	1	RIVER BIRCH / BETULA NIGRA	10' HT.-CLUMP	B&B	AS SHOWN	H 40'-60' W 30'-40'
SGM	8	SIENNA GLEN MAPLE / ACER X FREEMANII 'SIENNA'	2.5" CAL.	B&B	AS SHOWN	H 40'-50' W 35'-40'
SKH	7	SKYLINE HONEY LOCUST / GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	2.5" CAL.	B&B	AS SHOWN	H 50' W 30'-35'
SCE	6	ST CROIX ELM / ULMUS AMERICANA 'ST. CROIX'	2.5" CAL.	B&B	AS SHOWN	H 60'-80' W 40'-60'
SWO	1	SWAMP WHITE OAK / QUERCUS BICOLOR	2.5" CAL.	B&B	AS SHOWN	H 50'-60' W 60'-80'
WHO	8	WHITE OAK / QUERCUS ALBA	2.5" CAL.	B&B	AS SHOWN	H 60'-80' W 60'-80'
EVERGREEN TREES - 22						
BHS	4	BLACK HILLS SPRUCE / PICEA GLAUCA DENSATA	8' HT.	B&B	AS SHOWN	H 35'-45' W 20'-25'
COS	7	COLORADO SPRUCE / PICEA PUNGENS	8' HT.	B&B	AS SHOWN	H 40'-60' W 15'-30'
COF	2	CONCOLOR FIR / ABIES CONCOLOR	8' HT.	B&B	AS SHOWN	H 40'-50' W 15'-30'
NOP	3	NORWAY PINE / PINUS RESINOSA	8' HT.	B&B	AS SHOWN	H 60'-80' W 25'-30'
NOS	3	NORWAY SPRUCE / PICEA ABIES	8' HT.	B&B	AS SHOWN	H 60'-80' W 25'-30'
WHP	3	WHITE PINE / PINUS STROBUS	8' HT.	B&B	AS SHOWN	H 50'-80' W 30'-40'
ORNAMENTAL TREES - 3						
SDC	3	SNOWDRIFT CRABAPPLE / MALUS X 'SNOWDRIFT'	2.0" CAL.	B&B	AS SHOWN	H 20' W 20'

PRELIMINARY LANDSCAPE SCHEDULE - HOME BUILDER TREES

CODE	QTY	COMMON / BOTANICAL NAME	SIZE	ROOT	SPACING O.C.	MATURE SIZE
DECIDUOUS TREES - 48						
ACE*	4	ACCOLADE ELM / ULMUS X 'MORTON'	2.5" CAL.	B&B	AS SHOWN	H 70' W 40'-50'
AGG*	8	AUTUMN GOLD GINKGO / GINKGO BILOBA 'AUTUMN GOLD'	2.5" CAL.	B&B	AS SHOWN	H 50' W 30'
FFM*	3	FALL FIESTA MAPLE / ACER SACCHARUM 'BAILSTA'	2.5" CAL.	B&B	AS SHOWN	H 50'-75' W 50'
FYL*	1	FRONTYARD LINDEN / TILIA AMERICANA 'BAILYARD'	2.5" CAL.	B&B	AS SHOWN	H 60'-70' W 30'-40'
HAK*	3	HACKBERRY / CELTIS OCCIDENTALIS	2.5" CAL.	B&B	AS SHOWN	H 40'-60' W 40'
REO*	2	RED OAK / QUERCUS RUBRA	2.5" CAL.	B&B	AS SHOWN	H 50'-70' W 40'-50'
RVB*	7	RIVER BIRCH / BETULA NIGRA	10' HT.-CLUMP	B&B	AS SHOWN	H 40'-60' W 30'-40'
SGM*	4	SIENNA GLEN MAPLE / ACER X FREEMANII 'SIENNA'	2.5" CAL.	B&B	AS SHOWN	H 40'-50' W 35'-40'
SKH*	5	SKYLINE HONEY LOCUST / GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	2.5" CAL.	B&B	AS SHOWN	H 50' W 30'-35'
SCE*	1	ST CROIX ELM / ULMUS AMERICANA 'ST. CROIX'	2.5" CAL.	B&B	AS SHOWN	H 60'-80' W 40'-60'
SWO*	8	SWAMP WHITE OAK / QUERCUS BICOLOR	2.5" CAL.	B&B	AS SHOWN	H 50'-60' W 60'-80'
WHO*	2	WHITE OAK / QUERCUS ALBA	2.5" CAL.	B&B	AS SHOWN	H 60'-80' W 60'-80'

ABBREVIATIONS: B & B = BALLED AND BURLAPPED CAL = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER SP. = SPREAD QTY. = QUANTITY CONT. = CONTAINER
NOTES: 1) QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.
2) LABELS WITH * SYMBOL REPRESENT YARD TREE (BY HOME BUILDER), NO DIFFERENCE IN SPEC. FROM OTHER DECIDUOUS TREES

LANDSCAPE REQUIREMENTS & PROVISIONS

LANDSCAPING DESIGN REQUIREMENTS - CITY OF LAKEVILLE, MINNESOTA			
SITE DESCRIPTION			
ZONING DISTRICT: RST-2			
TOTAL GROSS ACRES: 20.0 AC			
SINGLE FAMILY RESIDENTIAL REQUIREMENTS:	REQUIRED	PROVIDED	NOTES
TWO OVERSTORY TREES PER SINGLE FAMILY LOT	96 TREES (48 LOTS)	148 TOTAL TREES	1) ONE YARD TREE IN REAR LOT (BY HOME BUILDER), ONE YARD TREE IN FRONT AS A STREET TREE (BY DEVELOPER). 2) YARD TREES TO BE INTERGRATED INTO BUFFER ALONG 200th STREET W. & 202nd STREET W.
		72 OVERSTORY STREET TREES	
		3 OVERSTORY DECIDUOUS TREES	
		22 EVERGREEN TREES	
		3 ORNAMENTAL TREES	
		48 YARD TREES (BY HOME BUILDER)	

PLANT LEGEND

	OVERSTORY DECIDUOUS STREET TREE		ORNAMENTAL TREE
	OVERSTORY DECIDUOUS TREE		EXISTING DECIDUOUS TREE TO REMAIN
	EVERGREEN TREE		EXISTING CONIFEROUS TREE TO REMAIN
	DECIDUOUS YARD TREE (BY HOME BUILDER)		

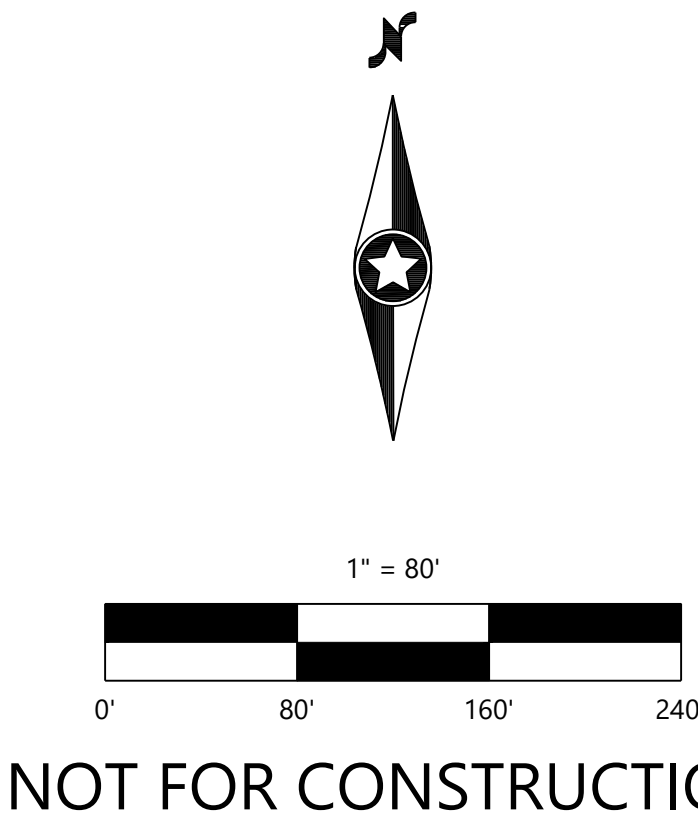
NOTES:

- STREET TREE LOCATIONS AND SPACING ARE SUBJECT TO CHANGE BASED ON CONSTRUCTED DRIVEWAY AND UTILITY LOCATIONS.
- TREES SHALL BE PLANTED IN FRONT OF SINGLE FAMILY LOTS 20' FROM BACK OF CURB IN A LOCATION THAT DOES NOT INTERFERE WITH CURBSTOPS OR INDIVIDUAL SEWER & WATER CONNECTIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- DECIDUOUS TREES SHOULD BE LOCATED A MINIMUM OF 5' OFF ANY UTILITY PIPE AND CONIFEROUS TREES SHOULD BE LOCATED A MINIMUM OF 15' OFF ANY UTILITY PIPE.
- NO TREE SHOULD BE LOCATED WITHIN 10' OF A HYDRANT OR 15' FROM A STREETLIGHT.
- NO TREES SHOULD BE LOCATED WITHIN A STORM POND HWL.
- NO TREES SHOULD BE LOCATED WITHIN STORM POND ACCESS ROUTE.
- NO DECIDUOUS TREE WITH 5' OF A SIDEWALK OR TRAIL AND NO CONIFEROUS TREES WITHIN 20' OF A PROPOSED SIDEWALK OR TRAIL.
- BUFFER YARD EVERGREEN TREES WITHIN LOT 15, BLOCK 3 MUST BE AT LEAST 10 FEET IN HEIGHT.

NATIVE SEEDING LEGEND

	MNDOT SOUTHERN TALLGRASS ROADSIDE (STR) TOTAL AREA (1.3 AC)	* ALL DISTURBED AREAS TO BE SODDED UNLESS NOTED OTHERWISE * ALL DISTURBED AREAS IN R.O.W. TO BE SEEDED WITH MESIC GENERAL ROADSIDE SEED MIX (25-141)
	MNDOT WET DITCH (WD) TOTAL AREA (0.4 AC)	

EXHIBIT K



DESIGNED:	TDD
CHECKED:	TDD
DRAWN:	TDD
HORIZONTAL SCALE:	80'
VERTICAL SCALE:	16' OR 8'

INITIAL ISSUE:	01/07/25
REVISIONS:	
	03/07/25 CITY COMMENTS
	04/04/25 CITY COMMENTS
	05/06/25 CITY COMMENTS
	05/14/25 CITY COMMENTS

PREPARED FOR:

RESERVE AT CEDAR CREEK, LLC.

221 S RIVER RIDGE CIR STE 100
BURNSVILLE, MN 55337

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

CORY L. MEYER
DATE: 05/14/25 LICENSE NO. 26971

RESERVE AT CEDAR CREEK

LAKEVILLE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

OVERALL PRELIMINARY
LANDSCAPE PLAN

PROJECT NUMBER: 0052375.00

SHEET NUMBER:

20 OF 25

DATE: 05/14/25



Dakota County Surveyor's Office

Western Service Center • 14955 Galaxie Avenue • Apple Valley, MN 55124
952.891-7087 • Fax 952.891-7127 • www.co.dakota.mn.us

March 13, 2025

City of Lakeville
20195 Holyoke Ave.
Lakeville, MN 55044

Re: **RESERVE AT CEDAR CREEK**

The Dakota County Plat Commission met on March 12, 2025, to consider the preliminary plat of the above referenced plat. The plat is adjacent to CSAH 50 (202nd St. W.) and is therefore subject to the Dakota County Contiguous Plat Ordinance.

The proposed site includes a residential development for 58 lots. The right-of-way needs for a 2-lane divided roadway are 60 feet of half right of way, which has been met. Restricted access should be shown along all of CSAH 50. A quit claim deed to Dakota County for restricted access is required with the recording of the plat mylars.

The Plat Commission has approved the preliminary and final plat, provided that the described conditions are met, and will recommend approval to the County Board of Commissioners on April 8, 2025.

Traffic volumes on CSAH 50 are 7,800 ADT and are anticipated to be 7,300 ADT by the year 2040. These traffic volumes indicate that current Minnesota noise standards for residential units could be exceeded for the proposed plat. Residential developments along County highways commonly result in noise complaints. In order for noise levels from the highway to meet acceptable levels for adjacent residential units, substantial building setbacks, buffer areas, and other noise mitigation elements should be incorporated into this development.

No work shall commence in the County right of way until a permit is obtained from the County Transportation Department and no permit will be issued until the plat has been filed with the County Recorder's Office. The Plat Commission does not review or approve the actual engineering design of proposed accesses or other improvements to be made in the right of way. Nothing herein is intended to restrict or limit Dakota County's rights with regards to Dakota County rights of way or property. The Plat Commission highly recommends early contact with the Transportation Department to discuss the permitting process which reviews the design and may require construction of highway improvements, including, but not limited to, turn lanes, drainage features, limitations on intersecting street widths, medians, etc. Please contact TJ Bentley regarding permitting questions at (952) 891-7115 or Todd Tollefson regarding Plat Commission or Plat Ordinance questions at (952) 891-7070.

Sincerely,

A handwritten signature in black ink that reads "Todd B. Tollefson".

Todd B. Tollefson
Secretary, Plat Commission

c: John Anderson, developer

EXHIBIT L



Memorandum

To: Kris Jenson, Planning Manager
From: Alanna Sobottka, Civil Engineer
McKenzie L. Cafferty, Environmental Resources Manager
Joe Masiarchin, Parks and Recreation Director
Copy: Julie Stahl, Finance Director
Tina Goodroad, Community Development Director
Dave Mathews, Building Official
Date: May 13, 2025
Subject: Reserve at Cedar Creek

- Preliminary Plat
- Preliminary Utility Plan
- Preliminary Grading and Erosion Control Plan
- Preliminary Tree Preservation and Landscaping Plan

BACKGROUND

Reserve at Cedar Creek, LLC submitted a preliminary plat named Reserve at Cedar Creek. The proposed subdivision is located south of and adjacent to 200th Street, west of Cedar Avenue (CSAH 23) and north of and adjacent to 202nd Street (CSAH 50). The parent parcels consist of two metes and bounds parcels (PID Nos. 22-02800-01-022 and 22-02800-01-028) and are zoned RST-2, Single and Two Family Residential District.

The preliminary plat consists of 48 residential lots within three blocks, and two outlots on 20.00 acres. The outlots created with the preliminary plat have the following uses:

Outlot A: Stormwater Management; deeded to City (2.05 acres)
Outlot B: Stormwater Management, Wetland, and Buffer; deeded to City (2.13 acres)

The development will be completed by:

Developer:	Reserve at Cedar Creek, LLC
Engineer/Surveyor:	Westwood Professional Services

SITE CONDITIONS

The Reserve at Cedar Creek site consists of two existing homesteads. All existing structures, accessory buildings, driveways and aprons, fences and septic systems shall be removed, and all wells shall be abandoned with the final plat. The Developer shall provide a security with the final plat to ensure the work is completed and certified in accordance with all applicable codes and regulations, including demolition permit from the Building Inspections Division.

STREET AND SUBDIVISION LAYOUT

200th Street

Reserve at Cedar Creek is located south of and adjacent to 200th Street, a City roadway classified as a minor collector. The Developer is dedicating the south ½ right-of-way of 40 feet, as shown on the preliminary plat. Dedication of the north ½ right-of-way will be collected when the adjoining property to the north is subdivided.

200th Street is a two-lane undivided rural gravel roadway. 200th Street will be constructed in the future consistent with City urban collector roadway design standards. There are no programmed improvements in Lakeville's current adopted 5-year Capital Improvement Plan (2025-2029).

202nd Street (CSAH 50)

Reserve at Cedar Creek is located north of and adjacent to 202nd Street, a minor arterial County highway, as identified in the City's Transportation Plan. The current Dakota County Plat Review Needs Map indicates a 75-foot-wide half right-of-way requirement, which is shown to be dedicated on the preliminary plat.

Local Roads

Development of Reserve at Cedar Creek includes the extension of Glarus Lane and Gothic Avenue, City roadways classified as local roads. The roadways are designed as 32-foot-wide urban roads with a sidewalk along one side, within a 60-foot-wide right-of-way. The Developer is dedicating the necessary right-of-way as shown on the preliminary plat.

CONSTRUCTION ACCESS

Construction traffic access and egress for grading, utility and street construction is restricted to the 200th Street and Globe Drive intersection, via Cedar Avenue (CSAH 23). Construction access and egress is not permitted on Hamburg Avenue.

PARKS, TRAILS, AND SIDEWALKS

Development of Reserve at Cedar Creek includes the construction of public sidewalks. Five-foot-wide concrete sidewalks, with pedestrian curb ramps, will be installed along one side of all local streets.

The Park Dedication requirement has not been collected on the parent parcels and will be satisfied through a cash contribution with the final plat, calculated based on the rate in effect at that time.

UTILITIES

SANITARY SEWER

Reserve at Cedar Creek is located within subdistrict SC-10070 of the South Creek sanitary sewer district. Wastewater will be conveyed through City sanitary sewer to the MCES interceptor sewer monitored by meter M646. Wastewater treatment is provided by the Empire Wastewater Treatment Facility.

Development of Reserve at Cedar Creek includes construction of public sanitary sewer. 8-inch sanitary sewer will extend within the subdivision from existing stubs located within Glarus Lane (west of the Globe Drive intersection) and Gothic Avenue (west of the Globe Drive intersection). The Developer shall extend public sanitary sewer to the west plat boundary (west of the Glarus Lane and Gothic Avenue intersection) to provide for future development. The Developer is responsible for obtaining all necessary temporary easements, as applicable, so that future sanitary sewer connections do not impact any existing public streets.

The Sanitary Sewer Availability Charge has not been collected on the parent parcels and will be satisfied through a cash contribution with the final plat, calculated based on the rate in effect at that time.

WATERMAIN

Development of Reserve at Cedar Creek includes construction of public watermain. 8-inch watermain will extend within the subdivision from existing stubs located within Glarus Lane (west of the Globe Drive intersection) and Gothic Avenue (west of the Globe Drive intersection). The Developer shall extend public watermain to the west plat boundary (west of the Glarus Lane and Gothic Avenue intersection) to provide for future development. The Developer is responsible for obtaining any necessary temporary easements, as applicable, so that future watermain connections do not impact any existing public streets.

UNDERGROUNDING

Existing aboveground equipment (utility lines and poles) is located along the south side of 200th Street, adjacent to the parent parcels. The equipment must be relocated and maintained

underground with development of Reserve at Cedar Creek, consistent with the City's Public Ways and Property Ordinance. The Developer shall provide a security with the final plat to ensure the work is completed and certified in accordance with all applicable codes and regulations.

DRAINAGE AND GRADING

Reserve at Cedar Creek is located within subdistrict SC-095 of the South Creek stormwater district.

The Reserve at Cedar Creek preliminary plat includes construction of two stormwater management basins to provide water quality treatment and rate control of the stormwater runoff generated from Reserve at Cedar Creek. These basins are placed within Outlots A and B that will be deeded to the City with the final plat.

The final grading plan shall identify all fill lots in which building footings will be placed on fill material. The grading specifications shall also indicate that all embankments meet FHA/HUD 79G specifications. The Developer shall certify to the City that all lots with footings placed on fill material are appropriately constructed. Building permits will not be issued until a soils report and an as-built certified grading plan are submitted and approved by City staff.

Reserve at Cedar Creek contains more than one acre of site disturbance. A National Pollution Discharge Elimination System General Stormwater Permit for construction activity is required from the Minnesota Pollution Control Agency for areas exceeding one acre being disturbed by grading. A copy of the Notice of Stormwater Permit Coverage must be submitted to the City upon receipt from the MPCA.

STORM SEWER

Reserve at Cedar Creek includes construction of public storm sewer systems. Storm sewer will be constructed within the subdivision to collect and convey stormwater runoff generated from within the public right-of-way and lots to a public stormwater management basin located within Outlots A and B, Reserve at Cedar Creek.

Draintile construction is required in areas of non-granular soils within Reserve at Cedar Creek for the street subgrade and lots. Any additional draintile construction, including perimeter draintile required for building footings, deemed necessary during construction by the City shall be the Developer's responsibility to install and finance.

The Storm Sewer Charge has not been collected on the parent parcels and will be collected with the final plat, calculated based on the rate in effect at that time.

Final locations and sizes of all storm sewer facilities will be reviewed by City staff with the final construction plans.

FEMA FLOODPLAIN ANALYSIS

Reserve at Cedar Creek is shown on the Flood Insurance Rate Map (Map No. 27037C0211E; Eff. Date 12/2/2011; Revised to reflect LOMR Eff. Date 5/5/2025) primarily as Zone X by the Federal Emergency Management Agency (FEMA). Based on this designation, the lots within Reserve at Cedar Creek are not located within a Special Flood Hazard Area (SFHA), as determined by FEMA.

South Creek crosses through the southwest corner of Reserve at Cedar Creek and is designated as Zone AE, and therefore within a Special Flood Hazard Area (SFHA). The area mapped as Zone AE will be placed in an outlot and deeded to the City at the time of final plat approval.

WETLANDS

The wetland delineation for the site was completed and approved on 8/16/2024. The wetland delineation for the area outlined in the reports has been determined to be acceptable for use in implementing the Wetland Conservation Act.

The plans propose to impact one lower quality wetland that is located within farm pasture. The total proposed wetland impact is 0.125 acres. A wetland replacement plan was approved 3/11/2025. The developer has purchased 0.25 acres of wetland banking credit to replace the wetland impacts.

The remaining creek, wetland and buffers on the site will be placed in City-owned outlots. Natural Area signs will be installed along the wetland buffers (4 locations). Final locations must be reviewed by City staff prior to installation. The Developer is responsible for the establishment and of the wetland buffers with native vegetation.

TREE PRESERVATION

The tree preservation/inventory plan submitted with the Reserve at Cedar Creek preliminary plat identifies approximately 857 existing significant trees located within the preliminary plat boundaries. Most of the trees will be removed for the grading of site.

All “save” trees that are damaged or removed will require replacement at a ratio of 2:1 as per the Lakeville Subdivision Ordinance.

EROSION CONTROL

The Developer is responsible for obtaining a MPCA Construction Permit and updating the SWPPP, including changes during construction, for the duration of the project. The permit requires that all erosion and sediment BMPs be clearly outlined in the project SWPPP.

The Developer is responsible for the establishment of native vegetation around all stormwater management basins and along the creeks and wetlands within the buffer areas. Redundant silt fence is required along all wetlands and waterways that do not have an established 50-foot buffer. Additional erosion control measures may be required during construction, as deemed necessary by City staff, and must be installed and maintained by the Developer.

The MS4 Administration Fee has not been collected on the parent parcels and shall be paid with the final plat, calculated based on the rate in effect at that time.

RECOMMENDATION

Engineering recommends approval of the preliminary plat, grading and erosion control plan, tree preservation, landscape, and utility plan for Reserve at Cedar Creek, subject to the requirements and stipulations within this report.



Memorandum

To: Parks, Recreation and Natural Resources Committee Members
From: Joe Masiarchin, Parks and Recreation Director
Date: May 16, 2025
Subject: 2025 Park Tour

Staff is planning to organize a park tour that will be scheduled in the coming months. Typically, the tour is planned to overlap with a regular committee meeting, the last tour was hosted in 2023. The itinerary from that tour is attached as well as the Park Facilities Matrix, please begin to consider what locations you would like to visit for the upcoming tour. Six to seven parks would be the ideal number, there is no criteria for selecting park locations. Please plan to discuss your preferred park locations at the upcoming meeting.

PARKS, RECREATION & NATURAL RESOURCES COMMITTEE
PARK BUS TOUR
09-06-2023

1. Antlers Park
2. Ritter Cabin
3. Foxborough Park Stormwater Improvement &
North Creek Channel Stabilization Projects
4. Pinnacle Reserve Park & Middle Creek Restoration Projects
5. Knob Hill Park
6. North Creek Park (Depending on time)
7. Hasse Arena

LAKEVILLE PARK FACILITIES

Park Facilities			Park Classification	Address	Total Acres	Active Acres	Trails / Miles	Archery	Baseball Field	Basketball Court	Biking/Walking Trails	Boat/Canoe Launch	Conservation Area	Cross-country Skiing	Equestrian Trails	Fishing	Ice Rink-Hockey*	Ice Rink-Pleasure*	Mini Golf	Park Building	Parking	Perennial Beds	Picnic Facilities	Picnic Shelter	Playground Equipment	Restrooms	Sledding	Snowmobile Trails	Soccer/Lacrosse Field	Softball Field	Special Use Area	Swimming	Tennis/Pickleball	Volleyball Courts
(as of March 2025) Parks (G:) - Administration - Park Facilities Matrix																																		
PARK FACILITIES																																		
Antlers Park	CP	20141 Ipava Avenue	13.76	10.00	0.44						●					●					●	●	●	●	●	●M		●			●		●5	
Aronson Park	CPF	8250 - 202nd St. W.	52.30	52.30	0.29						●									●	●	●	●	●	●M				●	●9	★			
Bassett Park	TL	18959 Orchard Trail	2.64	0.50	0.07					●	●		●											●										
Bracketts Crossing Park	TL	17775 Layton Path	1.15	0.25	-					●			●											●										
Bunker Hill Park	NP	16755 Gerdine Path	14.96	12.00	0.41					●	●										●	●	●	●	●	●P			●	●				●6
Casperson Boat Launch	BL	10900 - 195th St. W.										●															●							
Casperson Park	CP	19720 Juno Trail	44.45	25.00	0.79						●		●			●				●	●	●	●	●3	●	●M			●					
Cedar Crossing Park	NP	20785 Glade Avenue	8.00	5.50	-					●	●										●		●	●	●	●P			●					●2
Cedar Highlands Park	NP	17191 Gerdine Path	7.66	1.00	0.42						●		●								●													
Chadwick Park	NP	21225 Italy Avenue	12.00	9.00	0.25					●	●		●								●	●	●	●	●	●P			PF	●				
Cherryview Park	NP	7952 - 175th Street	10.63	9.00	0.36					●	●						●	●			●	●	PF		●	●P				●				
Dakota Heights Park	NP	9550 - 175th St. W.	11.37	8.00	0.29						●		●				●PH	●			●	●	●		●	●P				●				
Dodd Marsh Park	C	19119 Inndale Drive	30.13	1.00	0.33						●		●																					
Dodd Pointe Park	TL	5646 - 160th St. W.	2.54	0.50	0.33					●	●												●		●									
Dodd Trail Park	NP	17035 Flagstaff Avenue	13.39	11.00	0.50					●	●										●		●	●	●	●P			●	●				●6
East Community Park	CP	16700 Pilot Knob Road	53.00	14.00	1.27					●	●		●			●				PF	●	PF	●	●	●	●P			PF	●				●2
Fairfield Park	NP	16776 Gannon Avenue	10.86	4.00	0.48						●												●	●	●					●				
Fieldstone Park	NP	16525 Fairgreen Avenue	10.60	10.60	0.46					●	●										●		●	●	●	●P				●				
Foxborough Park	NP	7743 Upper 167th St. W.	27.21	21.00	0.38			●2	●	●	●		●							●	●	●	●	●	●	●P			●					
Grand Prairie Park	CPF	7700 185th St. W.	68.71																															
Greenridge Park	NP	17685 Flagstaff Avenue	9.25	10.00	0.15					●	●						●	●			●	●	PF		●	●P				●	●			
Greenway Park	NP	9601 - 192nd St. W.	2.15	-	-						●		●																					
Highview Heights Park	NP	16314 Havelock Way	10.23	9.00	0.20					●	●						●	●			●	●	●	●	●	●P			●	●				
Hypointe Crossing Park	TL	16390 Hutchinson Drive	2.06	1.25	0.10					●	●												●	●										
I-35 Fishing Dock	SU	19150 Kenrick Avenue	0.57	-	0.09						●					●					●													
Independence Park	NP	16210 Finch Way	5.38	5.38	0.19						●											●	●		●					●				
James Jensen Park	SU	20390 Howland Avenue	3.65	3.00	-																	●		●		●								
Jaycee Park	NP	20510 Hull Avenue	4.17	3.00	-					●											●			●	●P			●	●					
Juno Trailway Trailhead	SU	10501 - 205th St. W.	2.74	1.00	0.83						●		●			●					●		PF		●P									
Kenmore Park	TL	17020 Kenmore Drive	0.42	0.20	-																			●										
Kenreel Park	TL	16521 Kenreel Avenue	0.72	0.25	-																		●	●										
Kensington Park	NP	20600 Kensington Blvd.	9.03	8.00	0.21					●	●										●	●	●		●	●P	●			●				
King Park	CPF	18350 Dodd Blvd.	49.04	45.00	0.77			●9			●								●	●	●	●	●	●	●	●M					★			
Knob Hill Park	NP	6000 178th St.	7.39							●													●	●	●									●2
Lakeridge Park	NP	19070 Jewel Path	12.03	5.50	-							●											●	●	●									
Legacy Park	NP	19775 Highview Avenue	13.80	4.00	-						●		●									●	●	●	●	●P								
Lone Oak Park	TL	11075 Lower 167th Street	0.57	0.50	-																			●										
Lynwood Heights Park	NP	16790 Jackpine Way	3.40	2.00	0.10						●		●										●	●										
Marion Fields Park	NP	20711 Dodd Blvd.	27.15	8.50	0.61						●												●	●										
Market Plaza	SU	20800 Holyoke Avenue	0.52	0.50	-						●										●													
Meadows Park	NP	20707 Jacquard Avenue	7.81	7.25	0.06					●	●		●				●P	●			●	●	●	●	●P				●	●				

LAKEVILLE PARK FACILITIES

[illegible]

LAKEVILLE PARK FACILITIES

[illegible]



Join us for an Open House!

Date:

Tuesday, June 10, 2025

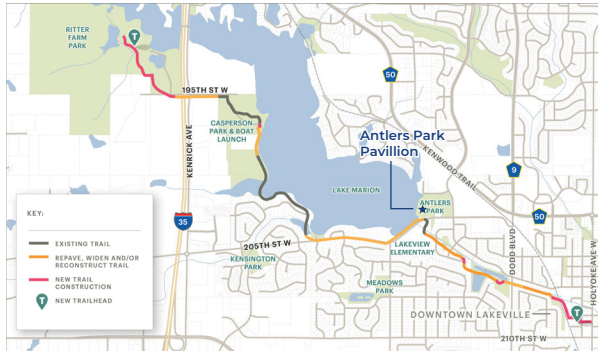
4:00 - 6:00 PM

Location:

Antlers Park Pavillion

20141 Ipava Ave

Lakeville, MN 55044



For a more information
please visit
lakemariongreenway.com



The public is invited to learn more and provide feedback about the proposed improvements to the Lake Marion Greenway through Lakeville.

The Lakeville portion of the Lake Marion Greenway would run from south/east Lakeville at the Farmington boarder to the north/west boarder, connecting to the Murphy-Hanrehan Park Reserve. Phase 1 of this project will start in downtown Lakeville and end in Ritter Farm Park. Project experts will be on hand to answer questions.

IN PARTNERSHIP WITH:





Memorandum

To: Parks, Recreation and Natural Resources Committee Members
From: Joe Masiarchin, Parks and Recreation Director
Date: May 16, 2025
Subject: Updated Leash Law

One of the topics for discussion at the 2025 City Council Retreat was the current leash ordinance and obstacles that the community experiences with it. Staff has received comments and concerns from citizens regarding the leash ordinance and staff is in agreeance that the current ordinance needs modification.

At the March City Council Work Session, Council held a lengthy discussion and provided feedback on possible changes to Lakeville's existing "Leash Law." Lakeville Police Department is actively working on the proposed updates. As we continue to discuss implementation of a new Leash Law, staff is seeking input from the PRNRC on the creation of new designated off leash areas within specific parks. The Police Department's comments on the current ordinance and need for updates is included for your review.



To: Lakeville City Council
Subject: Leash Law Discussion
Date: March 24, 2025

Mayor and Council,

One of the topics you discussed during your retreat earlier this year was our “leash law” pertaining to the control of dogs in our community. We, and likely you, receive citizen feedback or recommendations to review our current ordinance as it relates to controlling dogs in public areas. Our ordinance (5-1-9) currently states that dogs must be controlled by a leash not exceeding 25 ft. in length unless a dog has passed a suitable training program and is under voice control of the handler, except when a pedestrian approaches within 100 ft., at which time the dog must be immediately recalled and brought under close control until the pedestrian retreats by 100 ft. Some residents have requested that the ordinance be amended to require dogs to be leashed at all times while in public areas to minimize chances of conflict with other dogs or pedestrians.

Challenges with Current Ordinance:

- As with other misdemeanor offenses, generally any violation must be witnessed by an officer/community service officer to be enforced by citation. Many times, if a complaint comes in the situation has changed by the time the officer has arrived, or the dog/dog owner are no longer in the area.
- The ordinance specifically lists a dog off leash must have passed the “canine good citizen test certification program or its approved equivalent”. There are numerous training programs out there in which obedience is taught in a variety of ways, making it difficult to determine which training would qualify as adequate under this language.
- The ordinance states a dog must be brought under “close control” when a pedestrian is within 100 ft., but there is no definitive answer as to what “close control” is.



Potential Modifications to Consider:

- We could look to eliminate the “off-leash” component altogether, which would remove any discretion as to suitable training programs allowing dogs to be under voice control. This would require all dogs to be on a leash, not exceeding 25 ft. while in public places. We would make exceptions for city dog parks. This would simplify the current ordinance, however there would still be some enforcement challenges as any violations would still need to be witnessed by our staff to be enforceable by citation.
- Some have inquired about adding an electronic collar component, as that technology and training is more prevalent than when the ordinance was last updated. As it stands now, we generally treat an e-collar as being under voice control, as it relates to the ordinance. Some dog owners have spent significant money and resources on training to be able to enjoy time in public with their dogs off leash and an update to the ordinance requiring a leash may not be well received by this group. In addition, some dog owners specifically use large open public spaces to allow their dogs to run off leash while under voice or e-collar control (i.e. frisbee/ball chasing, etc.).
- Another consideration would be to delegate certain city parks or areas as “on-leash only” where public shouldn’t have concern for dogs running off leash but there would still be other city parks and areas where that may be allowed. This, however, can add layers to an ordinance and get confusing to the public when there are different rules for different parks in town.

In summary, one of the most frequent complaints we get with our current ordinance is from pedestrians that are approached by an off-leash dog while using city parks and trails. Even if the dog is friendly, the pedestrian does not always know this as the dog is approaching. There is a certain comfort level to seeing a dog under control of a leash rather than voice control. Our goal is to receive Council input on some direction from here as to any appetite to change current ordinance and what types of changes you’d like to consider researching further.

Attachments: City Ordinance 5-1-9 (A)

5-1-9: CONTROL OF DOGS:

A. Restraint Of Dogs:

1. No person shall permit a dog owned by him or her or under his or her care to be at large within the City. (Ord. 680, sec. 3, 11-20-2000, eff. 6-1-2001)

2. No person shall permit a dog owned by him or her or under his or her care to be in a City park or on a City street, trail, or sidewalk unless controlled by a leash not exceeding twenty five feet (25') in length, except dogs that have passed the canine good citizen test certification program or its approved equivalent are permitted to be under voice control of a dog handler, except when a pedestrian approaches within one hundred feet (100'), at which time the dog must be immediately recalled and brought under close control until the pedestrian retreats by one hundred feet (100'). The canine good citizen test certification, or an approved equal, must be kept current. (Ord. 680, sec. 3, 11-20-2000, eff. 6-1-2001; amd. Ord. 1012, 6-17-2019)

3. In dog exercise and training areas designated by the City, dogs must be under voice control when not under close control and must comply with the rules for use of the area. (Ord. 1012, 6-17-2019)

4. In Ritter Farm park, all dogs, including dogs that have passed the canine good citizen test certification program, must be under close control. (Ord. 680, sec. 3, 11-20-2000, eff. 6-1-2001)