



AGENDA PLANNING COMMISSION MEETING

October 2, 2025 - 6:00 PM
City Hall Council Chambers

Members of the public can participate in person at Lakeville City Hall, 20195 Holyoke Avenue. Members of the public may join the meeting via [Teams Meeting](#), Meeting ID: 252 094 513 216 Passcode: 8kY9cF9A, or by calling Toll Number 1-323-433-2142; Conference ID: 808 135 271#. The Chair will allow for public comments and questions at the appropriate time.

The City Council is provided background information for agenda items in advance by staff and appointed commissions, committees, and boards. Decisions are based on this information, as well as City policy, practices, input from constituents, and a council member's personal judgment.

1. Call to order and flag pledge
2. Roll Call
3. Approval of Minutes
 - a. September 18, 2025 draft Planning Commission meeting minutes
 - b. September 18, 2025 draft Planning Commission work session minutes
4. Announcements
5. Public Hearing
 - a. Taco Bell

Consider the application of Marvin Development V, LLC for a conditional use permit for a convenience restaurant with a drive-through service window in the M-2, Mixed Use Cedar Corridor District. The proposed location is at the southeast corner of 179th Street (CSAH 9) and Cedar Avenue (CSAH 23). The proposed legal description will be Lot 4, Block 1, Marketplace at Cedar.

- b. Ritter Meadows Amenity Building

Consider the application of Twin Cities Land Development for a conditional use permit for a private recreation building in the RM-1, Medium Density Residential District. The property is located at the northwest corner of Keokuk Avenue and 203rd Street. The legal description is Lot 28, Block 1, Ritter Meadows Third Addition.

6. Staff Notices
 - a. The City Council meeting at which the above items may be considered will be held on October 20, 2025.
 - b. The next Planning Commission meeting is scheduled for October 16, 2025.

Planning Commission Meeting Agenda
October 2, 2025

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c. Planning Manager's memo

7. Adjourn

CITY OF LAKEVILLE
PLANNING COMMISSION MEETING MINUTES
September 18, 2025

Chair Zimmer called the meeting to order at 6:00 p.m. in the Council Chambers at City Hall. The Pledge of Allegiance to the flag was given.

Members Present: Chair Christine Zimmer, Pat Kaluza, Jason Swenson, Amanda Tinsley, Mark Traffas, Alternate Erin Duckworth, Ex-Officio Jeff Hansen

Members Absent: Scott Einck, John Swaney

Staff Present: Kris Jenson, Planning Manager; Tina Goodroad, Community Development Director; Heather Botten, Senior Planner; Zach Johnson, City Engineer; Jon Nelson, Assistant City Engineer; Dawn Erickson, Community Development Recorder.

3. Approval of the Meeting Minutes

The September 4, 2025 Planning Commission meeting minutes were approved as presented.

4. Announcements

Planning Manager Kris Jenson stated there were no announcements.

5a. City of Lakeville

City Engineer Zach Johnson presented the 2026-2030 Capital Improvement Plan (CIP). He reviewed the objectives of the CIP and indicated that the CIP's components include future transportation, parks and recreation, utilities, facilities, environmental resources, equipment and technology for the years 2026-2030. The project descriptions, locations, revenues and expenditures are included in the CIP.

Mr. Johnson reviewed the CIP map and explained the reconstruction projects and the specific year that project will be completed. He highlighted several road construction, parks and recreation, and utility projects that will be completed in the next five years.

Mr. Johnson stated that staff have reviewed the 2026-2030 CIP and find it to be consistent with the 2040 Comprehensive Plan and therefore recommend approval as presented.

Chair Zimmer asked for comments from the Planning Commission. Discussion points included:

- Chair Zimmer and Commissioner Kaluza expressed appreciation for staff planning.
- Commissioner Swenson inquired about cost sharing for the Judicial Road project. Mr. Johnson stated there is a joint powers agreement and the cost is shared.

- Commissioner Swenson noted he is a MN DOT employee, but his position does not have decision making authority regarding these projects, therefore there is no conflict of interest.
- Commissioner Traffas inquired about the process to determine when new wells and expansion of the water treatment facility are needed. Mr. Johnson stated a model is used to project growth and demand to make those determinations.

Motion was made by Kaluza, seconded by Swenson to recommend to City Council approval of the 2026-2030 Capital Improvement Plan as presented, finding that it is consistent with the City's 2040 Comprehensive Plan.

Ayes – Traffas, Kaluza, Zimmer, Duckworth, Swenson, Tinsley

Nays: 0

6a. North Creek Second Addition

Chair Zimmer requested a motion be made to table this item to the October 2, 2025 Planning Commission meeting.

Motion was made by Swenson, seconded by Tinsley to recommend to table the North Creek Second Addition preliminary plat of 47 single family residential lots to the October 2, 2025 Planning Commission meeting.

Ayes: Unanimous

Nays: 0

6b. Chart House

Chair Zimmer opened the public hearing to consider the application of George Maverick of the Chart House for a conditional use permit to exceed 25% impervious surface in the shoreland overlay district and a variance from the required setback from Kingsley Lake.

George Maverick, owner of the Chart House, introduced the project and stated they would like to expand the patio bar.

Senior Planner Heather Botten presented the staff report. The Chart House restaurant and banquet facility is proposing to demolish the existing detached bar building and construct a new 2,660 square foot structure. The new building requires a variance from the minimum setback requirements from Kingsley Lake. Additionally, the proposed site improvements require a conditional use permit (CUP) amendment to exceed 25% impervious surface on a natural environment lake. A CUP was approved in 1997 to exceed the 25% impervious surface area. Even though the proposed revisions on site will reduce the amount of impervious surface area to an amount that is less than what was approved with the original CUP, the 1997 approvals were tied to a site plan that is now being modified, thus the CUP amendment.

The plans have been reviewed by staff from Community Development, Environmental Resources, and Engineering as well as the DNR. A site improvement agreement and stormwater maintenance

agreement are required to address site improvements and stormwater treatment facilities. This requirement ensures that these improvements will be constructed to the satisfaction of the City.

Chair Zimmer opened the hearing to the public for comment.

There was no public comment.

Motion was made by Kaluza, seconded by Swenson to close the public hearing at 6:24 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Chair Zimmer asked for comments from the Planning Commission.

- Commissioners Swenson and Kaluza and Chair Zimmer expressed support for the project.

Motion was made by Swenson, seconded by Kaluza to recommend to City Council approval of the Chart House conditional use permit amendment to exceed impervious surface and variance from shoreland setbacks and approval of the findings of fact dated September 18, 2025, subject to the following stipulations:

1. The site shall be developed in substantial conformance with the plat and plan set on file with the Community Development Department except as may be modified by the conditions below.
2. The City Code Enforcement Officer, or other designee, shall be granted right of access to the property at all reasonable times to ensure compliance with the conditions of this permit.
3. A site improvement agreement and stormwater agreement are required to address site improvements and stormwater treatment facilities.
4. The developer shall meet the conditions outlined in the City Engineering review memo dated September 9, 2025 and any subsequent correspondence.
5. Final site, grading, stormwater management, and erosion control plans shall be approved by the City Engineer.
6. Revised building elevations that are in compliance with City Code shall be submitted and approved prior to City Council consideration of the request.
7. Resolution No. 97-18 shall become null and void and shall be replaced by the terms of this Conditional Use Permit.

Ayes: Kaluza, Zimmer, Duckworth, Swenson, Tinsley, Traffas

Nays: 0

6c. Launch Park Fourth Addition

Chair Zimmer opened the public hearing to consider the application of Lakeville Flexspace, LLC for a preliminary plat and development plan for a one lot, one outlot subdivision.

Jim French, Lakeville Flexspace, LLC, introduced the project. Mr. French stated he is a developer of small bay industrial space. A Common Interest Community (CIC) plat would be created, which allows individual ownership of the spaces as well as provides declarations, covenants and restrictions for the use of the units.

Ms. Botten presented the staff report. The proposed plat includes one lot and one outlot on a 20-acre parcel. Lot 1 is eight acres and the outlot is 12 acres. Lakeville Flexspace is proposing to construct a garage condo development on Lot 1. The proposed storage development is a permitted use in the I-2, General Industrial District. The complex would include three garage condo buildings, each roughly 33,750 square feet (375' x 90') in size and one building about 16,875 square feet (375' x 40'). Each building consists of multiple units, and each unit has access to water and sewer.

The property is located east of Cedar Avenue (CSAH 23) and south of future 222nd Street. The preliminary plat plans have been reviewed by the Engineering Division, Fire Marshal, and Parks and Recreation Department.

Chair Zimmer opened the hearing to the public for comment.

There was no public comment.

Motion was made by Kaluza, seconded by Swenson to close the public hearing at 6:35 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Chair Zimmer asked for comments from the Planning Commission.

- Chair Zimmer asked for details on how the CIC is used and what restrictions would be in place. Mr. French stated the CIC is to ensure that the community is in compliance with the permitted uses. He stated some of the restrictions and covenants in the CIC include no excessive noise-producing activities, no excessive smell-producing activities, and no overnight parking. The CIC is enforced and maintained through a commercial property management company that enforces the covenants in addition to maintaining the exteriors of the structures and contract for snow removal. He also stated as these are industrial spaces; the owners are not permitted to live or stay overnight in the spaces.
- Commissioner Duckworth asked how many units will be in the project, what the price point is and how they are typically utilized and by whom. Mr. French stated there will be 98 units and be about \$185,000 for 1,200 square feet. Mr. French said there are a wide range of uses, including retirees, people who have a lot of toys, workshops, and small business owners.

- Commissioner Traffas asked where can the owner park if they drive to the unit. Mr. French stated the owner can park directly in front of the unit that they own. The units are wide enough to accommodate three spaces in front of each unit.
- Commissioner Duckworth asked if owners have the ability to sublease. Mr. French stated it is permitted to rent the unit after obtaining permission through the property management company.
- Commissioner Kaluza asked about numbering or lettering on each door for emergency service response, as well as if there are crime or drug free requirements. Mr. French stated each unit has a number on the door and there are crime and drug free requirements listed in the CIC. Security cameras will also be included on site.

Motion was made by Tinsley, seconded by Traffas to recommend to City Council approval of the Launch Park Fourth Addition preliminary plat, subject to the following stipulations:

1. Implementation of the recommendations listed in the engineering report dated September 8, 2025 and any subsequent correspondence.
2. The final plat shall be in substantial conformance with the preliminary plans on file with the Community Development Department except as may be modified by the conditions herein.
3. A development contract and related agreements shall be approved by the City Council with the approval of the final plat.
4. The site and building shall be developed in accordance with the plans approved by the City Council.
5. Landscaping shall be installed consistent with a landscape plan approved by the City Forester. A financial security shall be submitted with the development contract to guarantee installation of the approved landscaping. All landscaped areas within and adjacent to the building and parking lot shall be irrigated. Trees and shrubs shall not be planted in road right-of-way.
6. The park dedication fee must be paid with the final plat.
7. Site lighting shall not exceed one foot candle at the property line adjacent to public right-of-way. All exterior light fixtures shall be down-cast design so as not to glare onto public right-of-way.
8. Section 11-19-13 of City Code requires 3 parking spaces, plus 1 space per 100 storage units. A revised site plan demonstrating the required parking spaces is required prior to final plat approval.
9. An onsite hydrant about midpoint of the property shall be required on the east side of the development as required by the Fire Marshal.

Ayes: Zimmer, Duckworth, Swenson, Tinsley, Traffas, Kaluza

Nays: 0

There being no further business, the meeting was adjourned at 6:44 p.m.

Respectfully submitted,

Dawn Erickson, Community Development Recorder

DRAFT

CITY OF LAKEVILLE
PLANNING COMMISSION WORK SESSION MINUTES
September 18, 2025

Chair Christine Zimmer called the work session to order at 6:47 pm.

Members Present: Chair Christine Zimmer, Pat Kaluza, Jason Swenson, Amanda Tinsley, Mark Traffas, Alternate Erin Duckworth

Members Absent: Scott Einck, Ex-Officio Jeff Hanson

Staff Present: Planning Manager Kris Jenson, Community Development Director Tina Goodroad, Senior Planner Heather Botten

Others Present: Jeff Koch, Norsq Companies, Josh McKinney, Measure Group

Director Goodroad provided an introduction and background on the sketch plan application for the 25 acre parcel owned by the Warweg estate, located east of Antlers Park.

Mr. Koch noted that he has worked in Lakeville previously, having developed Northlake Lofts, the apartment building in Timbercrest.

The original sketch plan was reviewed by the City Council at work session on February 25, 2025. That sketch included commercial development at corner of Ipava Avenue and Kenwood Trail, a four-story apartment building, and townhomes.

The current sketch plan includes expanded commercial space, including an experiential restaurant and activity use, and townhomes.

Mr. Koch added that he has spoken with the owner of the exception parcel, who is considering selling the property, but that there is nothing definitive in place.

The property is currently guided OP, Office Park and C, Commercial. The plan proposes changing the 2040 Comprehensive Plan to a PUD Mixed Use (staff note: PUD is not a land use designation.)

Serving the site with sanitary sewer is a challenge due to the shallow depth of lines in the area.

The primary commercial component would be an experience space (pickleball, playground, etc) and a restaurant with patio space, either ground level or roof level, outdoor space with a screen for event viewing of sports and other major events.

The townhomes would be a rental community with two- or three-bedroom units, with rents ranging from \$2,600 to \$3,200 per month. The site would include a significant buffer along the railroad and Kenwood Trail (CSAH 50) rights of way.

Young professionals, young families, and empty nesters are the target market. A similar project has been constructed in Maple Grove, and the residents are primarily young families, single

professionals, and empty nesters. The development also accommodates new residents to the area due to corporate relocations.

Commissioner Traffas asked if there were concerns about the appearance of the units in 10 to 15 years because the units are rented as opposed to being owner-occupied.

Mr. Koch noted that the units use LP Smartside on all four sides of the buildings, are sprinklered, and have a fire wall between units, which also provides sound minimization. Units are also designed to allow for the addition of a charging panel in the garage for electric vehicles.

The two-story unit has three bedrooms, while the three-story units are two-bedroom units. The height of the units complies with zoning ordinance requirements.

Chair Zimmer asked Commissioners for their thoughts about the site plan:

Commissioner Kaluza concurs that OP District uses are not the best uses for the site. He expressed concerns with traffic in area if that amount of residential is added. He anticipated discussing new land uses for this area as part of the 2050 Comprehensive Planning process.

Commissioner Swenson concurs on removing the OP District. He wonders about whether commercial uses will develop on the site given the slow pace of development at Heritage Commons.

Commissioner Tinsley echoed concerns about traffic but noted that she likes the project.

Commissioner Kaluza acknowledged the challenge of developing the site due to the surrounding areas including the railroad, existing neighborhoods, etc. He added that a traffic study based on the proposed development to help analyze the proposal would be beneficial.

Commissioner Traffas noted that parking and access are significant issues but also solvable. Given that the site is in close proximity to the downtown, Heritage Commons, Lakeville North High School, etc, he felt that a more dense development is appropriate for the site.

Commissioner Swenson is supportive of the housing stock proposed as the city needs the variety.

Chair Zimmer thanked Mr. Koch and Mr. McKinney for attending the work session and sharing information about the sketch plan.

Planning Manager Jenson provided a brief background on two additional proposed projects, also on parcels that are owned by the Warweg estate. One has applied for a preliminary plat and the other is expected later this fall. Both will involve comprehensive plan amendments and rezoning.

The work session adjourned at 7:52 pm.

Respectfully submitted,

Kris Jenson, Planning Manager



Memorandum

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: September 23, 2025
Subject: Packet Material for the October 2, 2025 Planning Commission Meeting
Agenda Item: Taco Bell Conditional Use Permit
Action Deadline: October 19, 2025

INTRODUCTION

Marvin Development V, LLC has submitted a conditional use permit application for the development of a 2,860 square foot Taco Bell convenience food restaurant with a drive through service window to be located on a 1.07 acre parcel to be platted at the southeast corner of Cedar Avenue (CSAH 23) and 179th Street (CSAH 9). The parcel will be Lot 4, Block 1, Marketplace at Cedar when said final plat is recorded. The City Council is expected to consider the Marketplace at Cedar final plat at an upcoming meeting.

The subject property is zoned M-2, Mixed Use Cedar Corridor District which requires the site develop to specific performance standards for convenience food restaurants. Section 11-66-7.E of the Zoning Ordinance allows convenience restaurants with a drive through service window by conditional use permit. The plans have been reviewed by Community Development Department and Engineering Division staff.

EXHIBITS

- A. Location Map
- B. Zoning Map
- C. Site Plan
- D. Grading Plan
- E. Landscape Plan

- F. Truck Movement
- G. Floor Plan
- H. Exterior Elevations – 2 pages
- I. Color Elevations – 4 pages

Surrounding Land Uses and Zoning

- North – 179th Street (ROW), Crossroads Shopping Center (PUD)
- South – Commercial parcel & stormwater management pond (M-2)
- East – Commercial parcel (M-2)
- West – Commercial parcel (M-2)

SITE ANALYSIS/CONDITIONAL USE PERMIT

Use. Section 11-66-7.E allows convenience restaurants with a drive through service window subject to approval of a conditional use permit and in accordance with specific performance standards applicable to the subject property.

Hours. Section 11-66-7.E.1 of the Zoning Ordinance limits hours of operation from 5:00 A.M. to 11:00 P.M. unless extended by the City Council as part of the conditional use permit request. The applicant has requested an extension to the allowed hours, as has been granted to the other three Taco Bell restaurants in Lakeville. The requested hours are 5:00 AM to 2:00 AM, which is consistent with the extended hours granted with the other Taco Bell locations. Three other Taco Bell restaurants in Lakeville were permitted hours between 5:00 AM and 2:00 AM (Argonne Village and Keokuk location) to 24 hours (Spirit of Brandtjen Farm). The restaurant cannot extend their hours beyond those approved with this conditional use permit without an amendment approved by the City Council. The hours proposed by the applicant are considered acceptable at this location as part of the commercial character of the area and the separation from nearby residential zoning.

Building Design and Height. The applicant has provided colored, scaled plans of each building elevation illustrating a variety of materials and color pallet as required by Section 11-66-7.E.2 of the Zoning Ordinance. The proposed building has a coordinated finish treatment for each elevation emphasizing the east, south, and west elevations of the building. The exterior finishes are two contrasting colors of thin brick veneer and windows (Grade A – 71%) and ornamental metal siding (Grade C – 29%) as required to comply with Section 11-17-9.D.1 of the Zoning Ordinance. The building elevation plans specify the grade of each material as defined by the Zoning Ordinance and percentage of these materials as used on the building.

The proposed restaurant is a single-story structure, with a primary roof level of 20 feet, with the tallest point being 23 feet 6 inches for an arch over the entrance doors. The maximum allowed building height in the M-2 District is 48 feet or four stories, whichever is less. The proposed canopy over the menu board area will have a clearance height of nine feet, six inches.

Landscaping. The landscape plan provides plantings on the north, east, and south sides of the site, including plantings along the east-side parking spaces to minimize headlights shining onto the entrance access drive. Sizes of proposed plantings comply with Section 11-21-9.C of the Zoning Ordinance. The City Forester reviewed the proposed landscape plan and provided comments. Evergreen shrubs must be added along a portion of the north property line to ensure that headlights from vehicles within the drive through line don't shine onto 179th Street and an additional overstory tree must be added along the south side of the site and the spacing adjusted to 40 feet apart. The landscape plan must be updated to reflect this change prior to City Council consideration of the CUP. Including the landscape modification, the landscape plan will be considered approved. Plantings on the site must adhere to the plan and provide a as-built landscape plan prior to inspection of the installed landscaping. An escrow for the landscape materials and installation amount will be collected with the building permit.

Exterior Lighting. The plans included a photometric lighting plan for proposed exterior lighting. The Zoning Ordinance limits exterior lighting to not more than 15 foot-candles at any location within the site and not more than one foot-candle at property lines using fixtures with horizontal shielding. The proposed lighting plan complies with Sections 11-16-17.B and 11-66-7.E.4. of the Zoning Ordinance.

Access. Entrance to the site will primarily be via a driveway on the east side, from a private drive which serves the development. The driveway location aligns with an access point to the east. The other access to the site is at the southwest corner, crossing the lot to the west for access the the main east/west private drive. Access to 179th Street is not permitted.

Circulation and Loading. Truck turning movements have been overlayed on the site plan to demonstrate that the site can accommodate larger delivery vehicles, who will enter from the east access and exit via the access at the southwest corner. Should the development of the parcel to the west of Taco Bell occur at a later time and therefore the connection to the east/west private drive not be available, the delivery trucks will be able to back up to the north, along the east side of the building, and exit via the east driveway in the interim.

Pedestrian Access. A trail will be constructed along the south side of 179th Street and a concrete sidewalk will be constructed on the east side of the private drive from 179th Street. That sidewalk continues south to connect with a sidewalk along the north side of the east/west private drive. From there, there is a sidewalk connecting to the Taco Bell entrance. The east side of the building also has a wide sidewalk between the building and parking spaces to accommodate pedestrians.

Drive-Through. There is a drive through service window on the west elevation of the building with a drive lane approaching from the north, where it has wrapped around the buidling. The access lane is separated from off-street parking areas and sidewalks and provides 180 feet of stacking space from the service window.

Parking. Convenience food uses have a parking requirement of one stall per 80 square feet of floor area. Based on the building size of 2,860 square feet (minus 10% floor area as allowed by the Zoning Ordinance), 32 parking spaces are required and provided on the site. Parking spaces are

proposed for the east and south sides of the site, which minimizes conflict with the drive-through lane. The off-street parking spaces and drive aisles meet Zoning Ordinance requirements for size and dimensions.

Signs. All proposed signs are subject to the allowances established for the M-2 District by Section 11-23-19.D of the Zoning Ordinance. Wall signs are shown on the east and west elevations; the Zoning Ordinance allows a corner lot to have wall signs not to exceed 100 square feet on two wall elevations facing public streets or private through drives. Sign permits are required to be issued prior to the installation of any signs on the building. A freestanding sign is not permitted for the site.

The drive through lane indicates one menu sign of approximately 25 square feet. The Zoning Ordinance allows up to two menu signs with a maximum area of 50 square feet and a maximum height of eight feet per lane. The proposed menu sign must receive sign permit approval prior to installation and shall comply with the requirements outlined in Section 11-66-7.E.8.c of the Zoning Ordinance.

Setbacks. The M-2 District requires a 30-foot setback when abutting a major collector or arterial street, with 10-foot setbacks to all other property lines. Parking stalls must be setback 15 feet from public rights-of-way and five feet from all other property lines. The proposed building and parking area comply with the required setbacks from 179th Street and the other parcels within the development. The building is setback 76 feet from the north property line (179th Street) and over 30 feet from all other property lines.

Mechanical Equipment. A transformer is indicated on the site plan at the rear (north side) of the building and is surrounded by landscaping. Any additional mechanical equipment that may be added to the site must be screened with landscaping (ground level) or by panels (rooftop).

Noise. The stacking lane, order board intercom, and service window are all located so as to have minimal disruption to adjacent properties.

Trash Storage. Trash storage will be internal and located at the northeast corner of the building.

RECOMMENDATION

Community Development Department staff recommends approval of the Taco Bell conditional use permit, subject to the following stipulations:

1. This CUP is contingent upon the approval and recording of the Marketplace at Cedar final plat.
2. The hours of operation shall not exceed 5:00 AM to 2:00 AM, seven days a week, as allowed by approval of this CUP.
3. Signs shall comply with Zoning Ordinance requirements and receive sign permit approval prior to installation.

4. Prior to City Council consideration, the landscape plan must be updated to add evergreen shrubs along a portion of the north property line to ensure that headlights from vehicles within the drive through line don't shine onto 179th Street and an additional overstory tree must be added along the south side of the site and the spacing adjusted to 40 feet apart. Plantings on the site must adhere to the plan and an as-built landscape plan provided prior to inspection of the installed landscaping. An escrow shall be submitted with the building permit application to guarantee installation of the approved landscaping.

Findings of Fact for approval of the conditional use permit request are attached.

**CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA**

**MARVIN DEVELOPMENT V, LLC CONDITIONAL USE PERMIT
FINDINGS OF FACT AND RECOMMENDATION**

On October 2, 2025, the Lakeville Planning Commission met at its regularly scheduled meeting to consider the application of Marvin Development V, LLC for a conditional use permit to allow the construction of a Taco Bell convenience food restaurant with a drive through service window on property located in the M-2, Mixed Use Cedar Corridor District, south of 179th Street (CSAH 9) and east of Cedar Avenue (CSAH 23). The Planning Commission conducted a public hearing on the conditional use permit application preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The subject property is located in Comprehensive Planning District 5, which guides the property for Corridor Mixed Use.
2. The subject site is zoned M-2, Mixed Use Cedar Corridor District.
3. Legal description of the property will be, upon the recording of the Marketplace at Cedar final plat:

Lot 4, Block 1, Marketplace at Cedar

4. Chapter 4 of the City of Lakeville Zoning Ordinance provides that a conditional use permit may not be issued unless certain criteria are satisfied. The criteria and our findings regarding them are:

- a. **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.**

Finding: The proposed convenience restaurant use is consistent with the guided mixed use of the property.

- b. **The proposed use is or will be compatible with present and future land uses of the area.**

Finding: The proposed convenience restaurant use will be compatible with the existing and future land uses in the area.

- c. The proposed use conforms to all performance standards contained in the Zoning Ordinance and the City Code.

Finding: Provided compliance with the stipulations of the conditional use permit, the proposed convenience restaurant use will conform to all performance standards contained in the Zoning Ordinance and the City Code.

- d. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

Finding: The proposed convenience restaurant use can be accommodated with existing public services and will not overburden the City's service capacity.

- e. Traffic generated by the proposed use is within capabilities of streets serving the property.

Finding: The streets serving the subject property are adequate to accommodate traffic from the proposed convenience restaurant use.

- 5. The report dated September 23, 2025 and prepared by Kris Jenson, Planning Manager is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the conditional use permit conditioned upon compliance with the planning report prepared by Kris Jenson, Planning Manager, dated September 23, 2025.

DATED: October 2, 2025

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair



CEDAR AVENUE (CSAH 23)

GLASGOW AVE

179TH ST (CSAH 9)

Taco Bell -
Approximate
location

GLACIER WAY

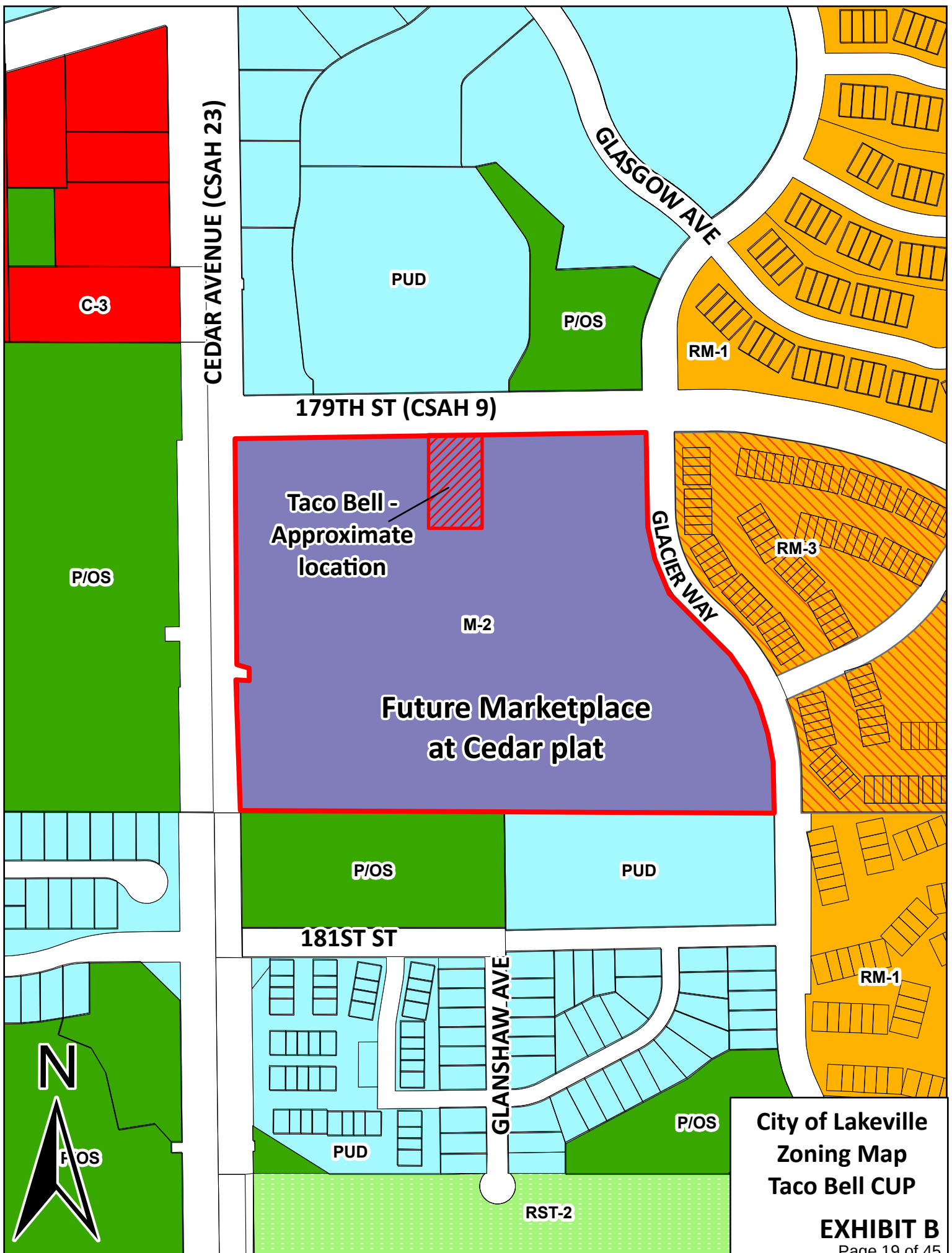
Future Marketplace
at Cedar plat

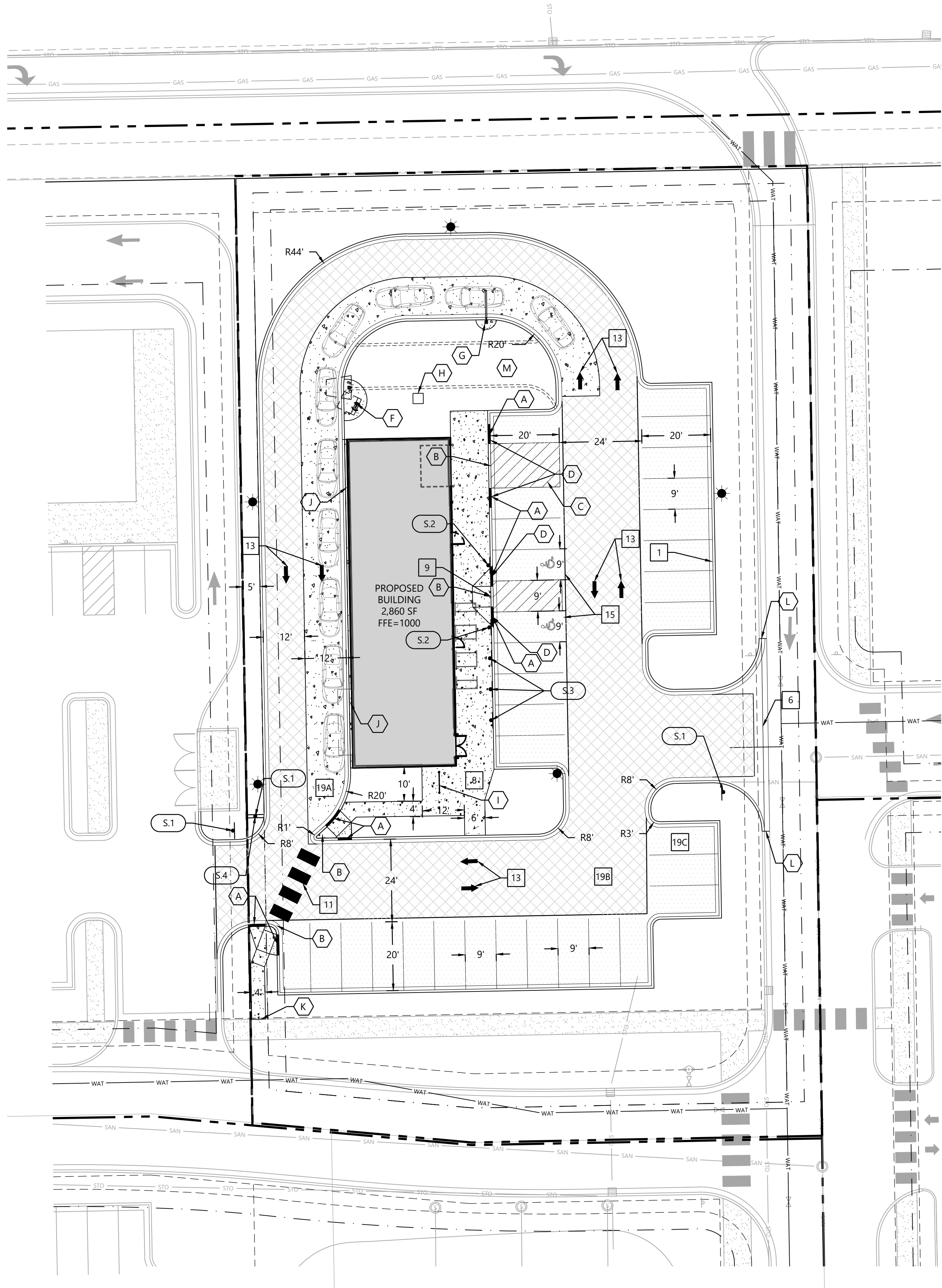
181ST ST

GLANSHAW AVE

City of Lakeville
Location Map
Taco Bell CUP

EXHIBIT A





GENERAL SITE NOTES

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, 12701 WHITEWATER DR STE300, MINNETONKA, MN 5534. 4/10/2025.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY/PLAT FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

SITE DEVELOPMENT SUMMARY

- EXISTING ZONING: M2, MIXED USED CEDAR CORRIDOR DISTRICT
- PROPOSED ZONING: M2, MIXED USED CEDAR CORRIDOR DISTRICT
- PARCEL DESCRIPTION: TBD
- PROPERTY AREA: 46,523 SF (1.07 AC)
- EXISTING IMPERVIOUS SURFACE: 0 SF (0%)
- PROPOSED IMPERVIOUS SURFACE: 33,674 SF (72.4%)
- BUILDING GROSS SIZE: 2,860 SF
- FLOOR-AREA-RATIO(FAR): .060
- BUILDING SETBACK PER CODE: 10'=FRONT
10'=SIDE
10'=REAR
- PARKING SETBACK: 10'=FRONT AND ROW
5'=SIDE AND REAR
- PARKING SPACE/DRIVE AISLE: 9' WIDE X 20' LONG, 24' AISLE
- PARKING RATIO REQUIREMENT RESTAURANT W/DRIVE-THRU: CITY OF LAKEVILLE MN
1 SPACE / 80 SF OF BLDG
- RESTAURANT W/DRIVE-THRU TOTAL SPACES REQUIRED: 32 SPACES (2860 * .1 = 2574/80 = 32.1)
32 SPACES
- PARKING PROVIDED: 32

1 SITE DETAILS (SI-0XX)

- B612 CURB AND GUTTER
- CONCRETE CROSS GUTTER
- PRIVATE CONCRETE SIDEWALK
- PRIVATE PEDESTRIAN CURB RAMP
- CROSS WALK STRIPING
- TRAFFIC ARROW
- SIGN INSTALLATION
- HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
- PAVEMENT SECTIONS

SITE LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SETBACK LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	TIP-OUT CURB AND GUTTER
---	---	POND NORMAL WATER LEVEL
---	---	RETAINING WALL
---	---	FENCE
---	---	CONCRETE PAVEMENT
---	---	CONCRETE SIDEWALK
---	---	HEAVY DUTY BITUMINOUS PAVEMENT
---	---	NORMAL DUTY BITUMINOUS PAVEMENT
---	---	NUMBER OF PARKING STALLS
---	---	TRANSFORMER
---	---	SITE LIGHTING
---	---	TRAFFIC SIGN
---	---	POWER POLE
---	---	BOLLARD / POST

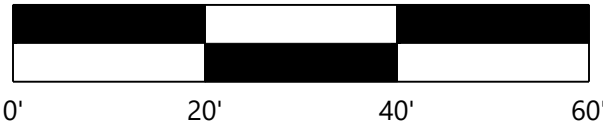
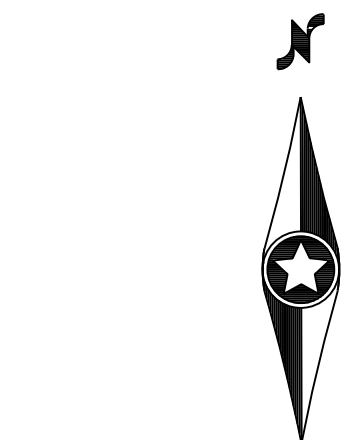
A SITE KEYNOTES

- A TRANSITION CURB
- B FLUSH CURB
- C PAINT 4" WHITE DIAGONAL STRIPING
- D PAINT TRANSITION CURBS SAFETY YELLOW
- F MENU BOARD AND ORDER STATION (SEE ARCH PLANS)
- G OVERHEAD CLEARANCE BAR AND CONCRETE BASE (SEE ARCH PLANS)
- H TRANSFORMER
- I BIKE RACK (SEE ARCH PLANS)
- J MONOPOUR CONCRETE CURB AT BUILDING FACE (SEE ARCH & STRUCT.)
- K MATCH EXISTING PATH
- L MATCH EXISTING CURB
- M FUTURE DRIVE THRU

S-10 SIGN LEGEND

REFERENCE	SIZE	MnDOT DESIGNATION
S.1 STOP SIGN	30" X 30"	R1-1
S.2 HANDICAP ACCESSIBLE	12" X 18"	R7-8M
S.3 PREFERRED PARKING SIGN	SEE ARCH	N/A
S.4 DO NOT ENTER	30" X 30"	R5-1

EXHIBIT C



NOT FOR CONSTRUCTION

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

DESIGNED:	08/01/2025
CHECKED:	
DRAWN:	
HORIZONTAL SCALE: 30'	
VERTICAL SCALE: 4' or 2'	

PREPARED FOR:
BORDER FOODS
5425 ROONE AVE N
NEW HOPE, MN 55428

ENGINEER: GRETCHEN SCHROEDER
DATE: 08/01/2025
LICENSE NO. 43019

MARKETPLACE AT CEDAR
LAKEVILLE, MN

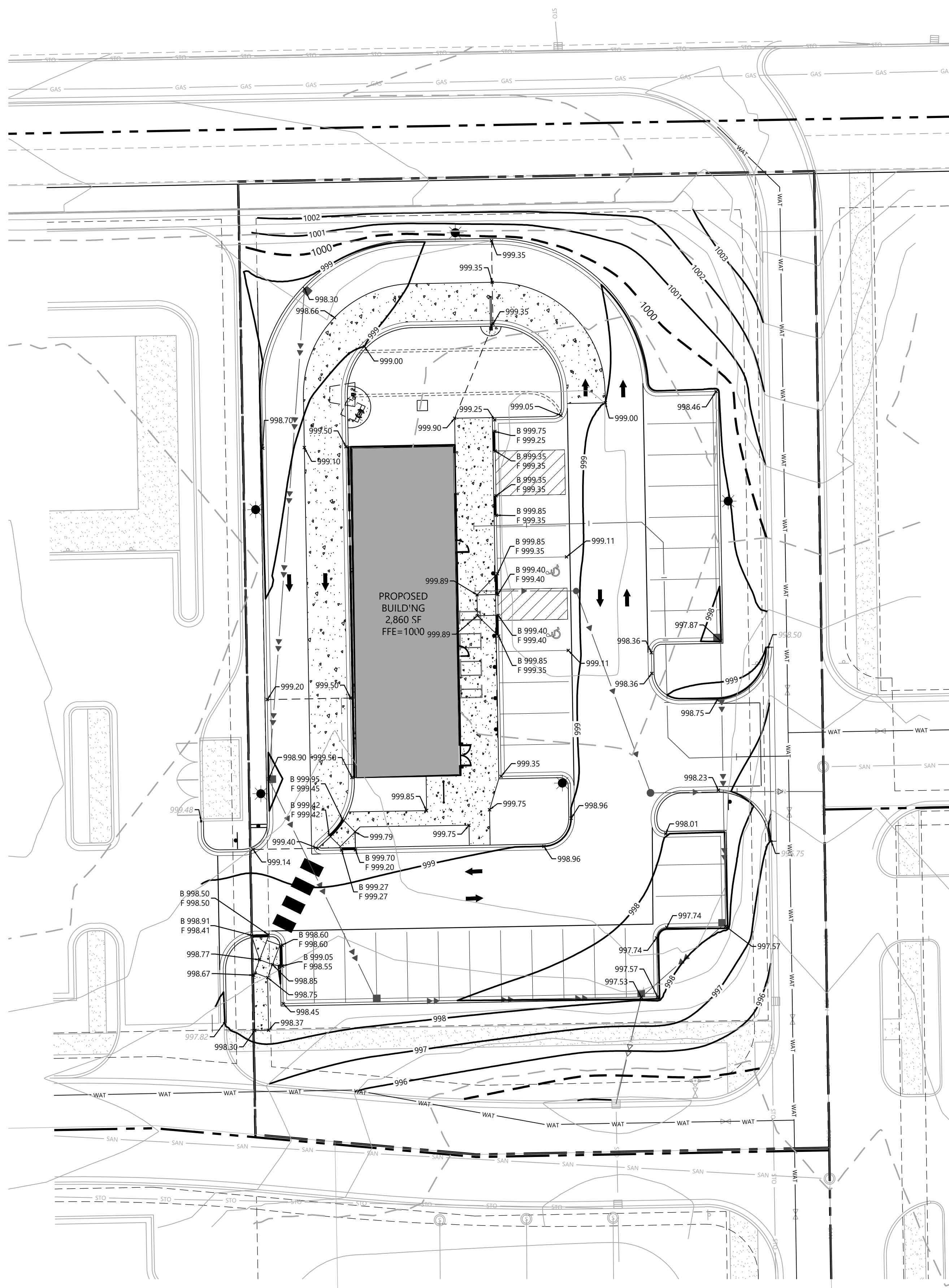
Westwood
12701 Whitewater Drive, Suite #300
Minnetonka, MN 55343
(952) 337-5150
(888) 337-5150
Phone
Toll Free
Westwood Professional Services, Inc.

SITE PLAN

SHEET NUMBER:

C200

DATE: 08/01/2025



GRADING LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SPOT ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION

GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

GENERAL EROSION CONTROL NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAYBALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- EROSION AND SILTATION CONTROL (ESC): THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO: CATCH BASIN INSERTS, CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. ESC SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN EVENT. AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER. ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
- ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A CONSTRUCTION ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
- WHEN INSTALLING END-OF-LINE FLARED END SECTIONS, BRING THE SILT FENCE UP & OVER THE FLARED END SECTIONS & COVER DISTURBED AREAS WITH RIP RAP. THE UPSTREAM FLARED END SECTIONS SHALL HAVE WOOD FIBER BLANKET INSTALLED ON THE DISTURBED SOILS.
- ALL UNPAVED AREAS ALTERED DUE TO CONSTRUCTION ACTIVITIES MUST BE RESTORED WITH SEED AND MULCH, SOD, EROSION CONTROL BLANKET OR BE HARD SURFACE WITHIN 2 WEEKS OF COMPLETION OF CONSTRUCTION.
- THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES, MNDOT, AND CITY.
 - TEMPORARY (LESS THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 21-112 (FALL) OR 21-111 (SPRING/SUMMER) AT 100-POUNDS PER ACRE
 - GENERAL SEEDING SHALL BE MNDOT SEED MIX 25-151 AT 70-POUNDS PER ACRE.
 - MULCH SHALL BE MNDOT TYPE 1 APPLIED AT 2-TONS PER ACRE.
- FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOD OR EROSION CONTROL BLANKET IS REQUIRED.
- ALL TEMPORARY STOCKPILES MUST HAVE SILT FENCE INSTALLED AROUND THEM TO TRAP SEDIMENT.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- THE SITE MUST BE KEPT IN A WELL-DRAINED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PADS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.

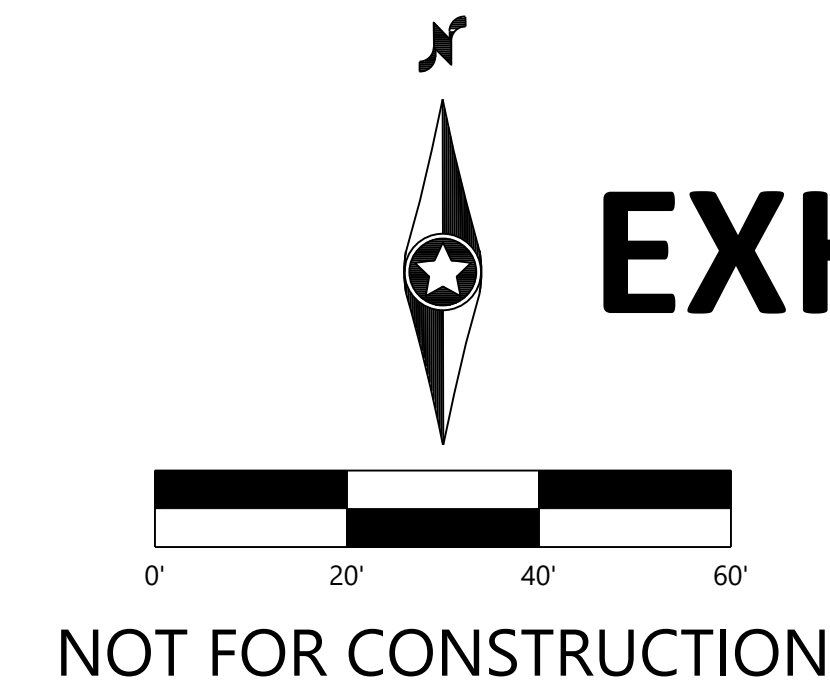


EXHIBIT D

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

DESIGNED: _____
CHECKED: _____
DRAWN: _____
HORIZONTAL SCALE: 30'
VERTICAL SCALE: 4' or 2'

INITIAL ISSUE: 08/01/2025
REVISIONS: 09/08/2025 RESPONSE TO CITY COMMENTS

PREPARED FOR: **BORDER FOODS**
5425 BOONE AVE N
NEW HOPE, MN 55428

VERIFY: GRETCHEN SCHROEDER
DATE: 09/01/2025
LICENSE NO. 43019

Westwood
(952) 337-5150 12701 Whitewater Drive, Suite #300
(888) 337-5150 Minneapolis, MN 55443
Phone: _____
Fax: _____
Westwood Professional Services, Inc.

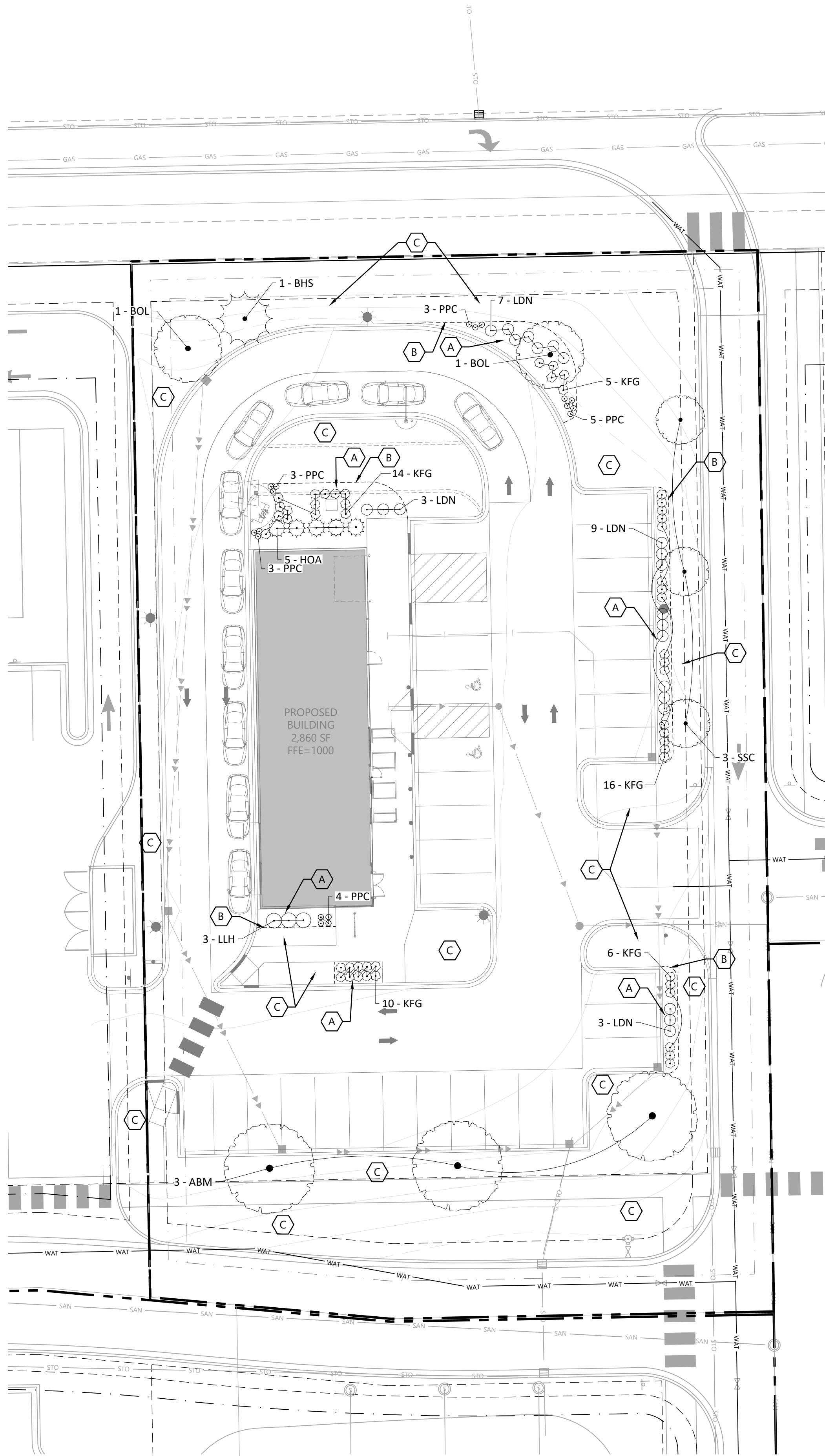
GRADING PLAN
MARKETPLACE AT CEDAR

SHEET NUMBER:
C300

DATE: 08/01/2025

PROJECT NUMBER: 0060598.00
Page 21 of 45

MARKETPLACE AT CEDAR



PLANT SCHEDULE

CODE	QTY	COMMON / BOTANICAL NAME	SIZE	SPACING	MATURE SIZE
CONIFEROUS TREES					
BHS	1	BLACK HILLS WHITE SPRUCE / PICEA GLAUCA 'DENSATA'	6' HT B&B	AS SHOWN	H 35'-45' W 20'-25'
DECIDUOUS TREES					
ABM	3	AUTUMN BLAZE® MAPLE / ACER X FREEMANII 'JEFFERSRED'	2.5" CAL	AS SHOWN	H 40-50' W 30-40'
BOL	2	BOULEVARD AMERICAN LINDEN / TILIA AMERICANA 'BOULEVARD'	2.5" CAL	AS SHOWN	H 50-60' W 25-30'
ORNAMENTAL TREES					
SSC	3	SPRING SNOW CRABAPPLE / MALUS X 'SPRING SNOW'	1.75" CAL	AS SHOWN	H 20-25' W 15-20'
CONIFEROUS SHRUBS					
HOA	5	HOLMSTRUP ARBORVITAE / THUJA OCCIDENTALIS 'HOLMSTRUP'	#5 CONT.	4'-0" O.C.	H 6-10' W 4-5'
DECIDUOUS SHRUB					
LLH	3	LITTLE LIME® HYDRANGEA / HYDRANGEA PANICULATA 'JANE'	#5 CONT.	4'-0" O.C.	H 3-5' W 3-4'
LDN	22	LITTLE DEVIL™ DWARF NINEBARK / PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL'	#5 CONT.	3'-0" O.C.	H 3-4' W 3-4'
PERENNIALS					
PPC	18	PALACE PURPLE CORAL BELLS / HEUCHERA MICRANTHA 'PALACE PURPLE'	#1 CONT.	18" O.C.	H 8-10' W 15-18'
GRASSES					
KFG	51	KARL FOERSTER FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONT.	30" O.C.	H 4-5' W 2-3'

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL. = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER QTY. = QUANTITY
CONT. = CONTAINER

NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

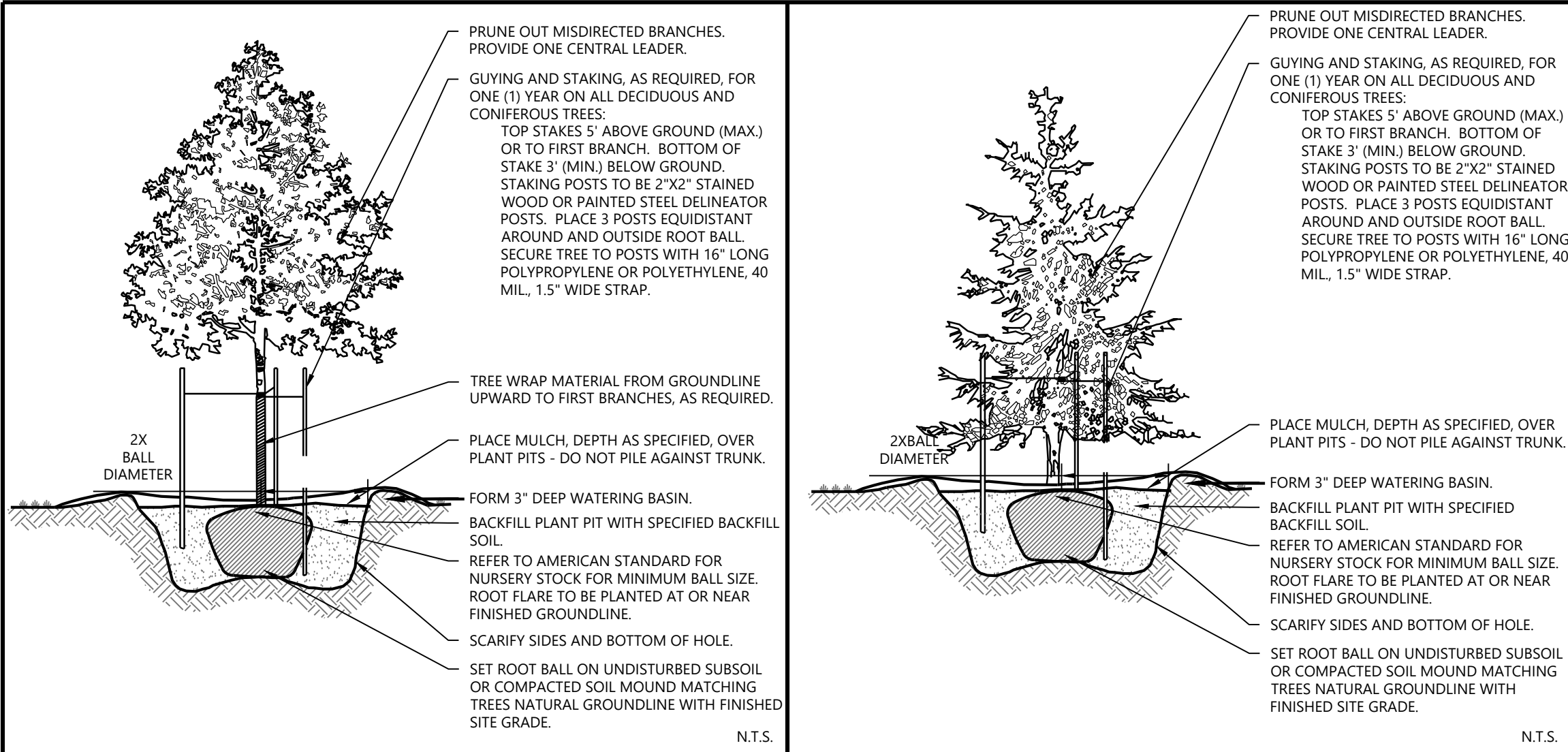
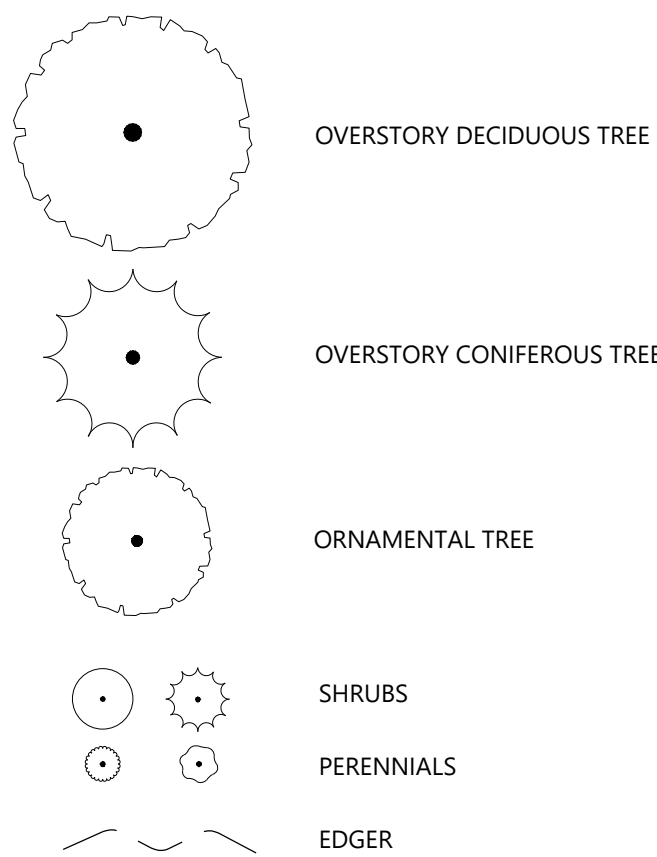
PLANTING NOTES

- CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION FOR SELECT TOPSOIL BORROW AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 6" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- TREE PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL TREES WITHIN TURF AREAS. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL COLORED, OR APPROVED EQUAL. ROCK MULCH TO BE BUFF LIMESTONE, 1 1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- ALL DISTURBED AREAS TO BE SODDED OR SEEDDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
- PROVIDE IRRIGATION TO ALL PLANTED AND SODDED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.

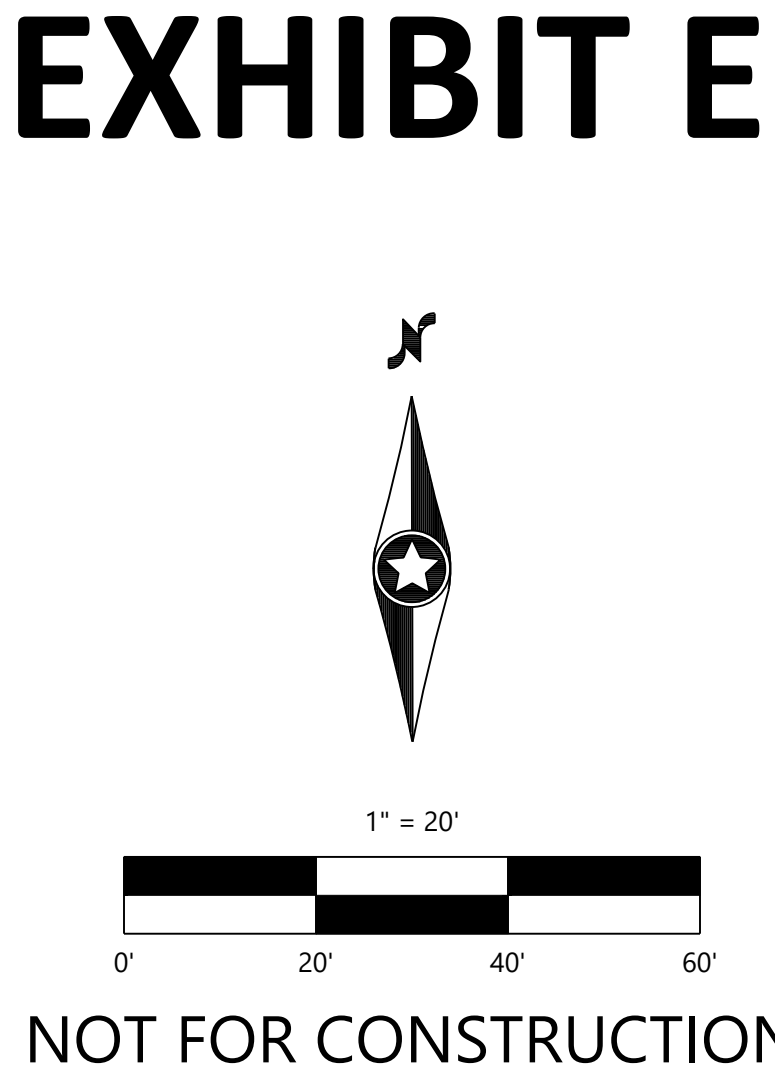
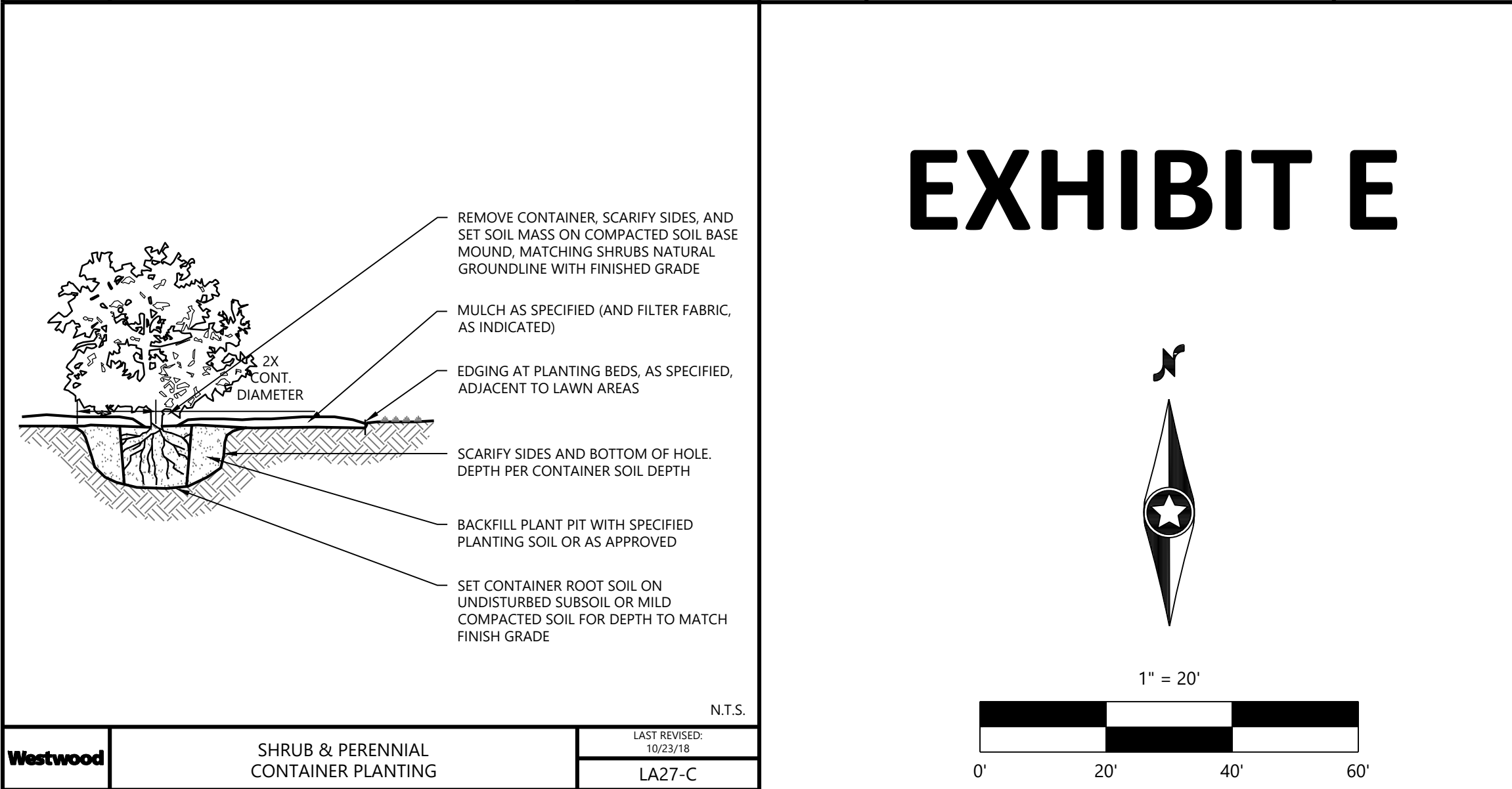
LANDSCAPE KEYNOTES A

- A BUFF LIMESTONE ROCK MULCH (TYP.)
- B EDGER (TYP.)
- C SOD (TYP.)

LANDSCAPE LEGEND



Westwood	DECIDUOUS TREE PLANTING	LAST REVISED: 10/19/18	Westwood	EVERGREEN TREE PLANTING	LAST REVISED: 10/19/18
		LA28			LA29



NOT FOR CONSTRUCTION

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

DESIGNED:	08/01/2025
CHECKED:	
DRAWN:	
HORIZONTAL SCALE: 20'	
VERTICAL SCALE: 4' or 2'	

PREPARED FOR:
BORDER FOODS
5425 BOONE AVE N
NEW HOPE, MN 55428

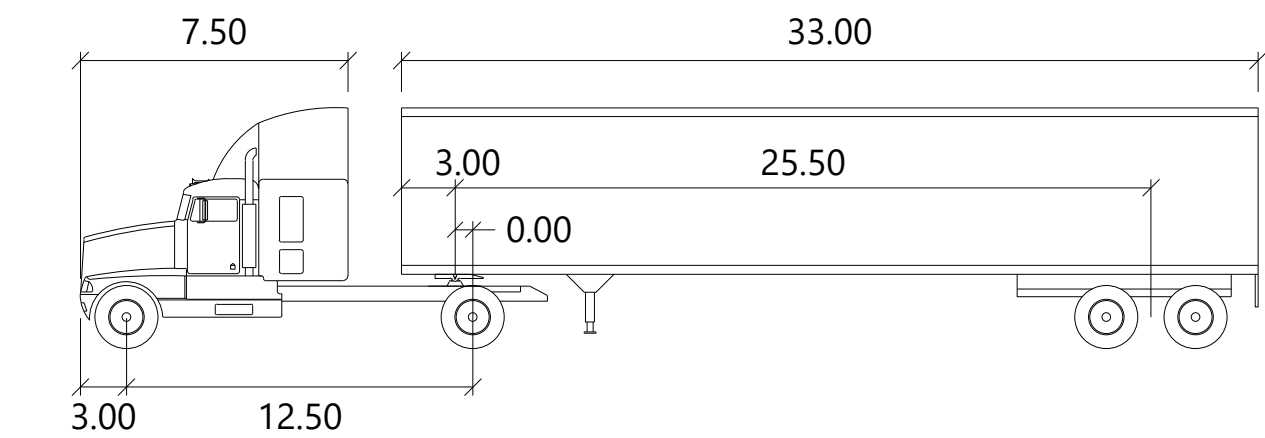
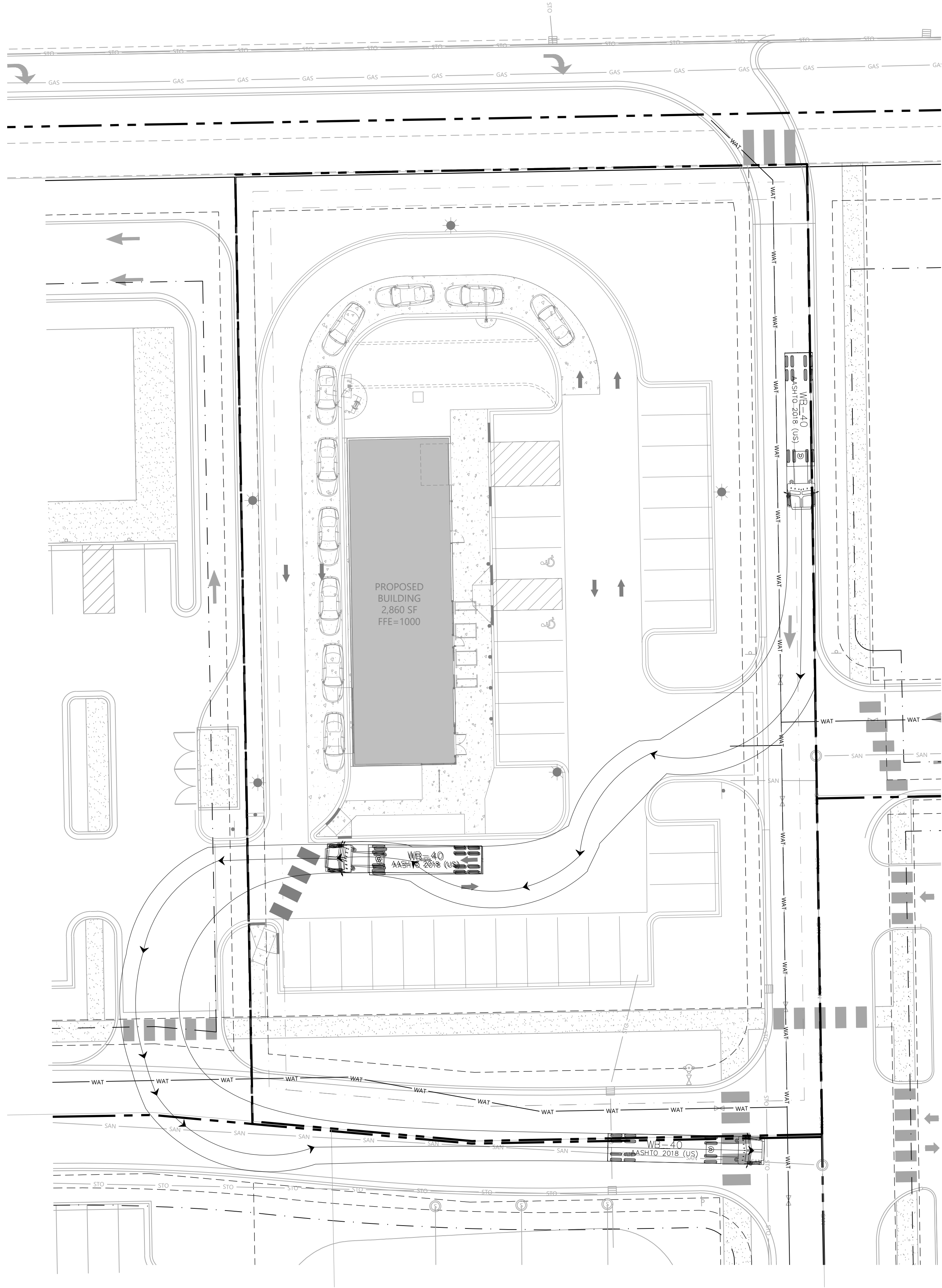
DESIGNED BY: JEFF WESTENDORF
DATE: 08/01/2025
LICENSE NO.: 44018

MARKETPLACE AT
CEDAR
LAKEVILLE, MN

Westwood
12701 Whitewater Drive, Suite #300
Minnetonka, MN 55343
(952) 337-5150
(888) 337-5150
Westwood Professional Services, Inc.

LANDSCAPE
PLAN & NOTES

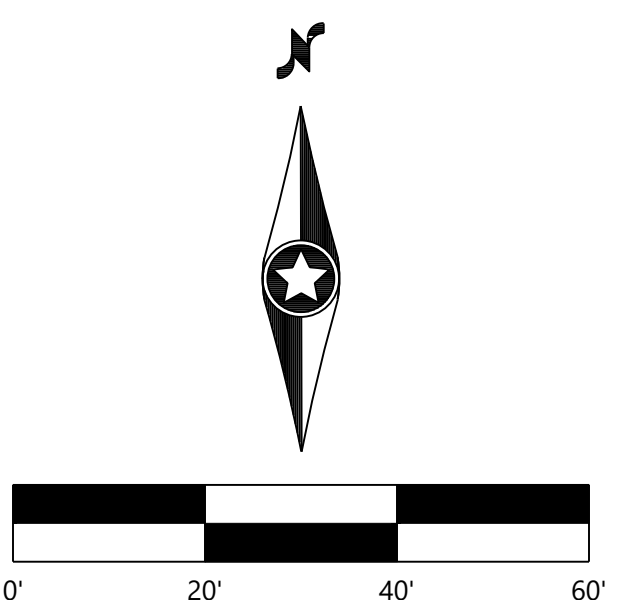
SHEET NUMBER:
L100
DATE: 08/01/2025



WB-40

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 20.3
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.00		

EXHIBIT F



NOT FOR CONSTRUCTION

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

DESIGNED:	08/01/2025
CHECKED:	
DRAWN:	
HORIZONTAL SCALE: 20'	
VERTICAL SCALE: 4' or 2'	

PREPARED FOR:
BORDER FOODS
5425 ROONE AVE N
NEW HOPE, MN 55428

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
GRETCHEN SCHROEDER
DATE 08/01/2025 LICENSE NO. 43019

MARKETPLACE AT CEDAR
LAKEVILLE, MN

Westwood
12701 Whitewater Drive, Suite #300
Minnetonka, MN 55343
(952) 337-5150
(888) 337-5150
Westwood Professional Services, Inc.

TRUCK MOVEMENT
SHEET NUMBER:
X100
DATE: 08/01/2025



**FINN DANIELS
ARCHITECTS**

1440 Northland Drive, Suite 250
Mendota Heights, MN 55120
651.690.5525 // www.finn-daniels.com



TACO BELL

MARKETPLACE AT CEDAR
DEVELOPMENT
LOT 4
LAKEVILLE, MN 55044

Applicant/Owner:
MARVIN DEVELOPMENT V, LLC
5425 BOONE AVE. N
NEW HOPE, MINNESOTA 55428

Tenant:
BORDER FOODS, LLC
5425 BOONE AVE. N
NEW HOPE, MINNESOTA 55428

Contact: Zach Zelikson
Phone: 763-489-2968

ENDEAVOR
30 SEATS / 2,860 S.F.

PROJECT NO.: TB21-19

DRAWN BY: KDT / GGD

CHECKED BY: GGD

ISSUES AND REVISIONS:

SITE PLAN REVIEW: 08.01.2025

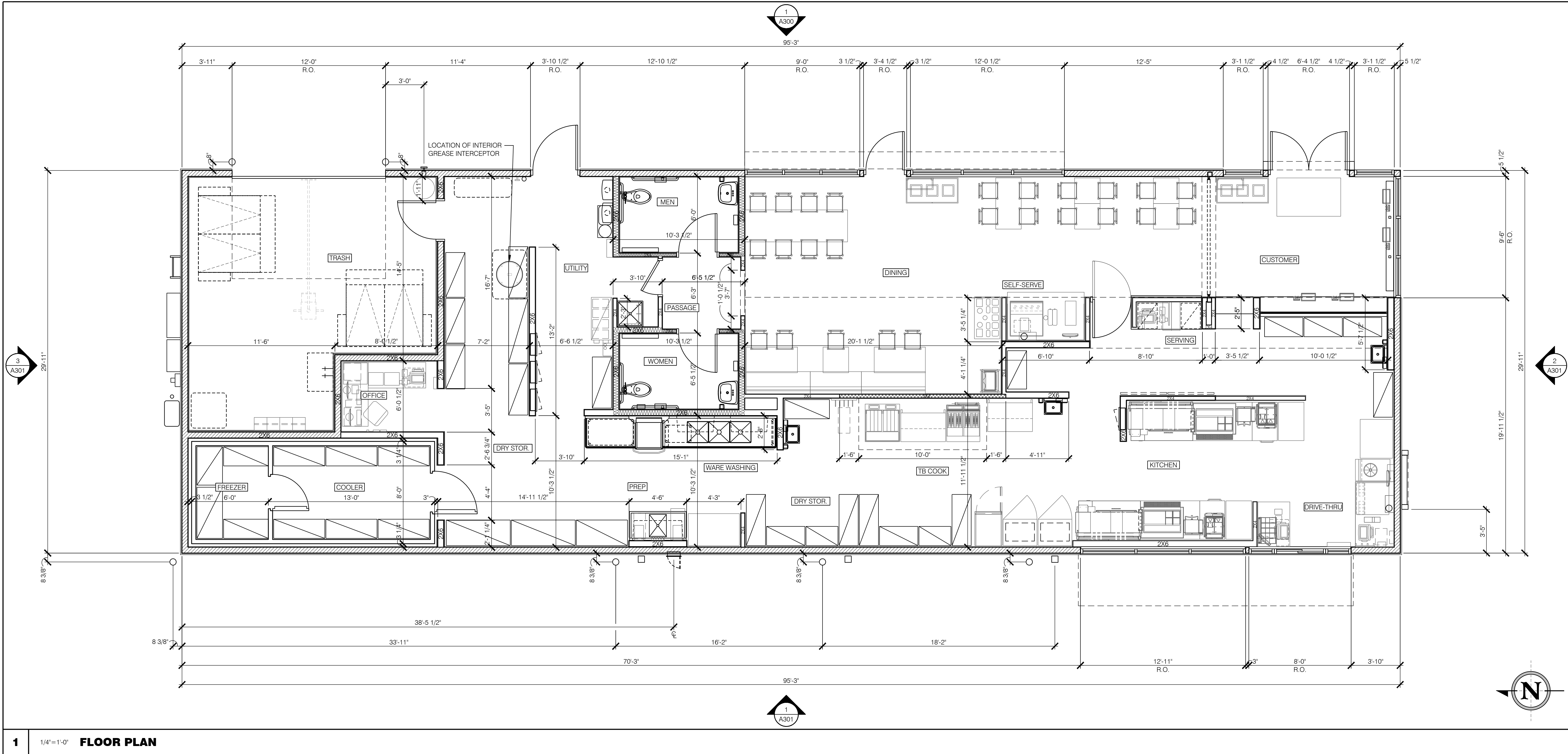
SITE PLAN REVIEW UPDATE

ADDRESS CITY COMMENTS: 09.17.2025

**FLOOR
PLAN**

A200

TACO BELL - LAKEVILLE, MN



1 1/4" = 1'-0" **FLOOR PLAN**

	TYPICAL EXTERIOR WALL: 2X6 WD. STUDS AT 16" O.C. WITH SHEATHING AS SCHEDULED (SEE STRUCTURAL DRAWINGS) AND R-21 FIBERGLASS BATT INSULATION U.N.O. FULLERTON SHALL PROVIDE EXTERIOR AIR BARRIER.
	TYPICAL INTERIOR WALL: 2X4 WD. STUDS AT 16" O.C. (2X6 OR 2X8 WHERE NOTED). UNFACED FIBERGLASS BATT INSULATION.
	INTERIOR SOUND-RATED WALL: TYPICAL INTERIOR WALL WITH 3 1/2" OR 5 1/2" UNFACED FIBERGLASS BATT INSULATION.
	HOOD WALL: TYPICAL INTERIOR WALL WITH METAL STUDS, 1/2" CEMENT WALL BOARD AND 20 GA. S.S. PANEL BEHIND HOOD.
	SHEAR WALL: (SHOWN SHADED- VERIFY LOCATIONS WITH FULLERTON PLANS) PLYWOOD SHEAR WALL SHEATHING FROM SILL PLATE TO TOP PLATE PER FULLERTON PLANS. INSTALL SECOND LAYER OF SHEATHING PER WALL SUBSTRATE OUTLINE BELOW AS REQUIRED TO ACCOMMODATE FINISHES SCHEDULED. (WHERE WALL FACE EXTENDS BEYOND SHEAR WALL- EXTEND SECOND LAYER OF SHEATHING SO FINISHES RUN CONTINUOUS.
WALL SUBSTRATES: SEE FULLERTON DRAWINGS FOR ADDITIONAL INFORMATION	
- DINING ROOM:	
1/2" GYPSUM WALLBOARD FROM TOP OF SLAB TO 6" ABOVE CEILING HEIGHT U.N.O. SEE 17 & 19/A503. (NOTE: 1/2" CEMENT BOARD IS TO BE SUBSTITUTED FOR GYPSUM WALLBOARD FOR THE FIRST 3' A.F.F. FOR BASE TILE APPLICATION. (SEE ELEVATION DRAWING SHEET A600 FOR LOCATIONS)	
- KITCHEN, OFFICE & WALK-IN COOLER/FREEZER WALLS:	
1/2" CEMENT WALLBOARD FROM TOP OF SLAB TO 12" A.F.F. SEE 20/A503. 1/2" CDX PLYWOOD WITH F.R.P. SURFACE FINISH FROM 12" A.F.F. TO 6" ABOVE CEILING HEIGHT U.N.O. 1/2" CEMENT WALLBOARD FULL HEIGHT ON METAL STUD WALLS AT HOOD WITH STAINLESS STEEL WALL PANEL LOCATIONS. SEE HOOD WALL LEGEND ABOVE.	
- RESTROOM WALLS:	
1/2" CEMENT WALLBOARD FROM TOP OF SLAB TO TOP OF CERAMIC WALL TILE FINISH, WITH 1/2" HI-IMPACT BRAND XP WALLBOARD, TYPE X CORE FROM TOP OF CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.N.O. (SEE SHEET A201 FOR HEIGHTS AND LOCATIONS) NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED. SEE 18/A503.	
- TRASH ROOM WALLS:	
FIRE RATED WALLS TO RECEIVE FULL HEIGHT GYPSUM WALLBOARD PER KEY NOTE #43 ALL OTHER WALLS TO RECEIVE 1/2" PLYWOOD FROM FINISHED FLOOR TO 6'-0" A.F.F. THEN 1/2" GYPSUM WALLBOARD FROM PLYWOOD TO CEILING. FIRE RATED WALLS TO RECEIVE 1/2" PLYWOOD OVER GYPSUM WALLBOARD AND ALL WALLS TO RECEIVE WHITE F.R.P. FROM FINISHED FLOOR TO 3'-0" A.F.F. WITH HORIZONTAL F.R.P. TRIM CAP. (SEE KEYNOTES #38 & #43)	
- ALL OTHER FRAME WALL CONDITIONS:	
1/2" CEMENT WALLBOARD FROM TOP OF SLAB TO HEIGHT OF CERAMIC TILE FINISH, WITH 1/2" GYPSUM WALLBOARD FROM TOP OF CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.N.O. FINISH AS SCHEDULED.	
***** NO SUBSTITUTIONS PERMITTED FOR CEMENT WALLBOARD *****	
WALL LEGEND	

DIMENSIONS:	
1. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O. REFER TO FOUNDATION PLAN FOR FACE OF CONCRETE DIMENSIONS.	
2. DIMENSIONS NOTED AS 'CLEAR' OR 'HOLD' ARE MINIMUM REQUIRED NET CLEARANCE FROM FACE OF WALL / WAINSCOT FINISH. VERIFY FINAL EQUIPMENT SIZES WITH VENDOR PRIOR TO INTERIOR WALL FRAMING.	
WINDOWS / DOORS:	
1. SEE SHEET A600 FOR WINDOW TYPES AND DOOR SCHEDULE.	
2. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENINGS.	
FINISH SUBSTRATES:	
1. PROVIDE 1/2" THICK CEMENT WALL BOARD- FROM FLOOR SLAB TO 5' OR 12' A.F.F. MINIMUM (SEE WALL LEGEND) IN LIEU OF FINISHES SHEATHING AT WALLS EXCEPT SHEAR WALL SURFACES. U.N.O. (SHEAR WALL SHEATHING T.O. SLAB TO B.O. DECK)	
2. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH 'NSF INTERNATIONAL' APPROVED SEALANTS.	
3. ALL BACK OF HOUSE, OFFICE, AND WALK-IN COOLER/FREEZER WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE, U.N.O.	
DECOR:	
1. SEE A203 FOR FLOOR FINISHES.	
2. SEE A204 FOR CEILING FINISHES.	
3. SEE A205 FOR SEATING PLAN AND DETAILS.	
4. SEE A600, A601 AND A602 FOR WALL FINISHES.	
GENERAL:	
1. FULLERTON BUILDING SYSTEMS TO ENSURE THAT ALL NAIL / SCREW FASTENING POINTS ARE CLIPPED OFF / REMOVED WITHIN WALL CAVITY PRIOR TO INSTALL OF WALL INSUL. AND VAPOR BARRIER. G.C. TO COORDINATE.	
2. FULLERTON BUILDING SYSTEMS TO ENSURE ALL 'L' ROOF TRUSS CLIPS AND FASTENERS ARE INSTALLED CORRECTLY WITHIN THEIR RESPECTIVE CLIP SLOTS. G.C. TO COORDINATE.	
3. G.C. TO PROVIDE UNFACED FIBERGLASS BATT INSULATION R-21 WITH POLY VAPOR BARRIER AT EXTERIOR WALL STUD CAVITY. TAPE AND SEAL ALL VAPOR BARRIER SEAMS. OWNER TO PROVIDE THREE FIRE EXTINGUISHERS - (2) 10 LB. ABC AND (1) K CLASS - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHAL OR LOCAL AUTHORIZING AGENT.	
5. THESE DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.	
6. ALL ATTACHMENTS MADE THROUGH WALLS SHALL BE SLEEVED OR GROMMET SET IN SEALANT TO PREVENT DAMAGE TO THE FINISH.	
7. ALL PENETRATIONS THROUGH WALLS & CEILINGS SHALL BE SEALED USING MFRS. APPROVED METHOD.	
8. ALL WALL AND CEILING PENETRATIONS IN TRASH ROOM TO BE SEALED WITH A FIRE RATED SEALANT.	
9. PAINT ALL EXTERIOR EXPOSED PIPING TO MATCH ADJACENT WALL.	
10. PROVIDE 4' RIGID INSULATION R-20 WITH 1/2" BILDRITE PROTECTION BOARD ON EXTERIOR FACE OF RIGID INSULATION ON THE FOUNDATION. FROM TOP OF FOOTING TO TOP OF FOUNDATION CONTINUOUSLY AROUND PERIMETER OF FOUNDATION.	
FLOOR PLAN NOTES	

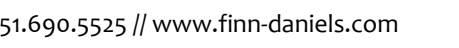
- STARTING POINT. ALL SUB-TRADES SHALL USE THIS POINT AS A BEGINNING LAY-OUT (INSIDE FACE OF EXTERIOR WALL STUDS).
- 6" STUD INTERIOR WALL, FINISHED PER WALL LEGEND.
- ELECTRICAL MAIN SWITCH BOARD. REFER TO ELECTRICAL DRAWINGS.
- HOOD WALL. SEE WALL LEGEND.
- ALUMINUM ROOF LADDER AND SECURITY GATE. SEE DETAILS 9, 19 AND 20/A500.
- INSTALL OWNER SUPPLIED CO2 FILL BOX. SEE EXTERIOR ELEVATIONS 1/A300 AND DETAIL 4/A502. COORDINATE LOCATION WITH OWNER.
- ALUMINUM THRESHOLD. SEE DETAIL 1 AND 8/A501.
- MOP SINK. REFER TO SHEET A602 AND A205.
- PROVIDE STEEL PIPE BOLLARD AND INSTALL OWNER SUPPLIED YELLOW PROTECTIVE COVER. SEE CIVIL DRAWINGS. SEE DETAILS 4/A101.
- NOT USED.
- ELECTRICAL PANELS RECESSED IN WALL. SEE ELECTRICAL DRAWINGS.
- SHEAR WALL LOCATION. SEE DETAILS 7 & 8/A503.
- SYRUP BUNDLE THRU CEILING. CUT CEILING TILE TIGHT AROUND SYRUP BUNDLE. INSTALL SEALANT SO NO GAPS OR OPENINGS. (VERIFY LOCATION W/ OWNER.)
- INSTALL OWNER SUPPLIED WALL MOUNTED WATER HEATER. CONTRACTOR TO PROVIDE REQUIRED FLUE VENTING.
- PROVIDE DOOR SWEEPS AT ALL EXTERIOR DOORS. SEE SHEET A600.
- KEEP CLEAR FOR UTILITIES AND SYRUP LINES. SEE DETAIL 3/A504.
- NOT USED.
- DASHED LINE INDICATES CONCRETE STOOP. SEE STRUCTURAL DRAWINGS.
- WALL / BASE DETAIL AT HOOD WALL. SEE 9/A503.
- WALL / BASE DETAIL AT TOILET ROOM WALLS. SEE 18/A503.
- METAL STUDS AT WIDTH OF KITCHEN HOOD - EXTEND 1'-6" MIN. BEYOND EDGE OF HOOD.
- INSULATE TRASH ROOM WALLS AND CEILING.
- THRU WALL ROOF SCUPPER AND DOWNSPOUT.
- 3'-4'X7'-0" FINISHED OPENING. G.C. TO INSTALL OWNER SUPPLIED STAINLESS STEEL WRAP AT JAMBS AND HEAD.
- PROVIDE GREASE INTERCEPTOR. COVER PLATE TO BE FLUSH WITH FLOOR FINISH. SEE CIVIL AND PLUMBING DRAWINGS.
- WATER METER LOCATION. TO BE LOCATED AS TIGHT AS POSSIBLE TO EXTERIOR WALL.

FLOOR PLAN KEY NOTES

- PARTIAL HEIGHT WALLS. SEE 5/A602 AND ELEVATIONS ON A600 FOR HEIGHT. PROVIDE 1/2" SHEATHING AS SCHEDULED AT ALL SURFACES AT CUBBY FIXTURE OPENING. FINAL COORDINATE FINISHED OPENING WITH DECOR VENDOR.
- INSTALL OWNER SUPPLIED WINDOW SHADES AT LOCATIONS AND QUANTITIES VERIFIED THROUGH OWNER. WINDOW SHADES TO BE: MANUFACTURER: ROLL-A-SHADE. PHONE: 1.888.245.5077. MODEL: LEGACY SYSTEMS, MANUAL OPERATION. MATERIAL: MERMET KOOL BLACK. 5" OPENESS. COLOR: T.B.D. (BY OWNER). BRACKETS AND BOTTOM RAIL TO BE POWDERED COATED BLACK. CLUTCHES TO BE BLACK WITH STAINLESS STEEL CHAIN AND BLACK CHILD SAFETY TENSION DEVICE. VERIFY WINDOW DIMENSIONS.
- PROVIDE NO SMOKING SIGNAGE ON ENTRY DOORS.
- PROVIDE 8" H. WHITE VINYL ADDRESS NUMBERS ON WINDOW AT TOP. SEE 2/A301.
- PULL STATION FOR HOOD FIRE SUPPRESSION SYSTEM.
- GAS METER.
- G.C. TO PROVIDE FIRE DEPARTMENT KNOX LOCK BOX. COORDINATE FINAL LOCATION WITH L.A.H.J.
- PROVIDE STEEL PLATE JAMBS AND HEAD AT OVERHEAD DOOR. EPOXY PAINT. SEE 2/A402.
- O.H. DOOR AS SCHEDULED.
- HOT AND COLD WATER HOSE BIB. SEE PLUMBING DRAWINGS.
- PROVIDE 1/2" PLYWOOD AND WHITE FRP WALL FINISH WITH TRIM FROM FINISHED FLOOR TO PLYWOOD BUMP RAIL. PAINT WALL AND BUMP RAILS ABOVE. SEE 14/A600.
- PROVIDE TREATED 3/4" PLYWOOD BUMP RAIL. SEE 14/A600.
- RECYCLE AND TRASH CONTAINERS PROVIDED BY OWNER.
- PROVIDE OVERHEAD CEILING MOUNTED GAS FIRED UNIT HEATER. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- SERVICE COUNTER PROVIDED BY OWNERS DECOR VENDOR.
- WATER CONDITIONING SYSTEM. SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR. SEE EQUIPMENT PLAN AND SCHEDULE.
- ONE-HOUR FIRE RATED WALL (SECTION 722.6 - TIME ASSIGNED TO WALLBOARD MEMBRANES). G.C. TO INSTALL (2) LAYERS 5/8" TYPE 'X' GYP. BD. APPLIED TO TRASH ROOM SIDE OF STUD WALL PANEL PROVIDED BY FULLERTON. TAPED AND FINISHED AS REQUIRED. (INSTALL 1/2" PLYWOOD W/ F.R.P. FINISH TO 4'-0" AS NOTED IN WALL LEGEND OVER GYP. BD.
- ONE-HOUR FIRE RATED CEILING: UL DESIGN NO. P522. SEE REFLECTED CEILING PLAN A204 AND KEY NOTES.
- PROVIDE THRU WALL FRESH AIR IN-TAKE LOUVER AND SCREEN WITH BACK DRAFT DAMPER. SEE ELECTRICAL AND MECHANICAL DRAWINGS.

- PROVIDE THRU CEILING / ROOF EXHAUST FAN. FAN CONTROLLED BY TIME CLOCK. SEE ROOF, REFLECTED CEILING, ELEC. AND MECH. DWGS. COORDINATE LOCATION.
- AUTOMATIC GARAGE DOOR OPENER MOUNTED TO CEILING AS SCHEDULED. SEE ALSO ELECTRICAL DRAWINGS.
- IF GAS SHUT OFF REQUIRED BY LOCAL INSPECTOR TO BE INTERIOR OF BUILDING (VERIFY): PROVIDE PROTECTIVE PIPE GUARD OR SHEET ROCK ENCLOSURE WITH ACCESS PANEL TO GAS SHUT OFF FROM B.O. GAS PIPE TO CEILING AS REQUIRED.
- GREASE COLLECTION SYSTEM TANK. PROVIDED AND INSTALLED BY OWNER.
- PARTIAL HEIGHT WALL. SEE DETAILS FOR ADDITIONAL INFORMATION.
- INSTALL VAPOR BARRIER ON FACE OF EXTERIOR 2X6 WALL STUDS TYP. FULL HEIGHT. INSTALL INTERIOR 2X4 WALL OVER VAPOR BARRIER TO BOTTOM OF SOFFIT FRAMING.
- 6'-0" DIAMETER SLOPED FLOOR TO DRAIN. SEE A203 FLOOR FINISH PLAN.
- DASHED LINE DENOTES METAL CANOPY ABOVE WITH LIGHTS.
- PROPOSED LOCATION OF ABC CLASS FIRE EXTINGUISHER. (PROVIDED BY OWNER, INSTALLED BY G.C.) COORDINATE FINAL LOCATION WITH LOCAL INSPECTOR PRIOR TO INSTALL.
- PROPOSED LOCATION OF K' CLASS FIRE EXTINGUISHER. (PROVIDED BY OWNER, INSTALLED BY G.C.) COORDINATE FINAL LOCATION WITH LOCAL INSPECTOR PRIOR TO INSTALL.
- DASHED LINES DENOTE GYPSUM BOARD CEILING OR BULKHEAD ABOVE. SEE REFLECTED CEILING PLAN A204.
- OWNER SUPPLIED EASIWASH EQUIPMENT. INSTALL BY G.C.
- INSTALL OWNER SUPPLIED EASIWASH (EQUIP. #B-500) REMOTE VALVE & CONTROL STAINLESS STEEL ENCLOSURE. SEAL WALL PENETRATION AIR & WEATHER TIGHT. FINAL COORDINATE LOCATION WITH OWNER. G.C. TO PROVIDE PVC SLEEVE EXPOSED AT INTERIOR SIDE OF EXTERIOR WALL TIGHT IN CORNER OF WALLS. SEE PLUMBING PLANS FOR ADDITIONAL INFORMATION.
- DASHED LINE DENOTES METAL CANOPY ABOVE.
- PLUMBING WALL AT SHEAR WALL. NOTE: INSTALL SHEAR WALL WITH REQUIRED SHEATHING EACH SIDE FIRST. THEN INSTALL PLUMBING WALL STUDS AND SHEATHING PER WALL LEGEND ON A200 AFTER SHEAR WALL SHEATHING INSPECTION.
- PROVIDE FRAMING AND STRUCTURE AS REQUIRED FOR FUTURE DRIVE-THRU WINDOW R.O. (SEE KEYNOTE #43 FOR FUTURE DRIVE-THRU WINDOW R.O. FOR ADDITIONAL INFORMATION).
- AREA TO BE KEPT CLEAR. UTILITIES TO BE SLEEVED IN PLACE OF DRIVE-THRU EQUIPMENT CLOSURE. SEE CIVIL AND PLUMBING DRAWINGS.

EXHIBIT G



ACO BELL - LAKEVILLE, MN





Perspective 1

09.17.2025



Perspective 2

09.17.2025



Perspective 3

09.17.2025



Perspective 4

09.17.2025



Memorandum

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: September 22, 2025
Subject: Packet Material for the October 2, 2025 Planning Commission Meeting
Agenda Item: Ritter Meadows amenity building conditional use permit

BACKGROUND

Twin Cities Land Development have submitted an application for a conditional use permit for a private recreation building with a swimming pool at 20283 Keokuk Avenue, within the Ritter Meadows development. The proposed site is located on Lot 28, Block 1, Ritter Meadows Third Addition, at the northwest corner of Keokuk Avenue and 203rd Street.

EXHIBITS

- A. Location Map
- B. Zoning Map
- C. Site Plan
- D. Grading Plan
- E. Landscape Plan
- F. Architectural Site Plan
- G. Lower Floor Plan
- H. Main Floor Plan
- I. Building Elevations

Surrounding Land Uses and Zoning

North – Future public park (RM-1)
West – Attached townhomes (RM-1)
South – 203rd Street and attached townhomes (RM-1)
East – Keokuk Avenue and undeveloped land (C-3 and RH-2)

CONDITIONAL USE PERMIT ANALYSIS

Twin Cities Land Development is the developer of the Ritter Meadows subdivision. Section 11-58-9.D allows private recreational buildings and neighborhood community centers subject to approval of a conditional use permit. The project proposes a two-level, 3,800 square-foot amenity building with a patio and outdoor pool.

Engineering Review. The plans submitted for the amenity building include an overall site plan, grading, drainage and utility plan, and landscaping plan. Given the limited scope of the proposed construction, the Engineering Division will review the grading, drainage, and utility plan at the time of building permit review.

Setbacks. The Zoning Ordinance requires that all private recreation buildings have a side yard setback be double that required by the zoning district but not more than 30 feet. The minimum setback between buildings within the RM-1 District is 14 feet. The proposed building setbacks are 30 feet (east), 25 feet (south) 30 feet (west), and 30 feet (north).

Pedestrian Access. The building has direct access to a five (5) foot wide concrete sidewalk along 203rd Street and a 10-foot-wide bituminous path along Keokuk Avenue, which will provide pedestrian access to the site. The townhomes that will use the amenity building are along 203rd Street and Keystone Avenue, both of which have sidewalks along one side of the street, and Keynote Loop, which is a private street. It does not have a sidewalk but is a narrower width with no parking on either side of the street. The townhome unit furthest from the amenity center is a quarter of a mile via sidewalks or streets.

Building. The building has a footprint of about 1,900 square feet and is 19 feet tall at the peak. The lower level includes a workout room, maintenance garage, and mechanical and pool equipment rooms. The main level includes a club room, office space, and bath and shower facilities for the outdoor pool. An elevator and stairs provide access to both levels. The building will have a pale wheat stone wainscot, tan cobblestone board and batten Hardie siding, espresso lap-style Hardie siding, windows, and weathered wood asphalt shingle roof consistent with the residential buildings in the neighborhood. The exposed portion of the lower level will be a poured concrete wall, but is below grade and opposite a retaining, which minimizes its view from the adjacent townhome. The proposed materials meet Zoning Ordinance requirements.

Site Plan. Access to the building and pool area is via sidewalk that extends from the trail along Keokuk Avenue. There is also a sidewalk from 203rd Street to the patio on the south side of the building. Along the west side of the building, a narrow eight-foot-wide driveway drops down to provide access to an overhead door of the lower-level maintenance garage. A retaining wall is required along the west side of the driveway and will be 8 feet 6 inches at the bottom of the driveway. A fence shall be placed on top of the retaining wall and engineered plans of the wall will be required with the building permit as the wall exceeds four feet in height.

The swimming pool will be surrounded on three sides by a concrete deck and enclosed by a fence, which must meet the requirements for swimming pool protection within Section 11-21-5.G of the Zoning Ordinance. The developer has indicated that they plan to use an aluminum fence in a wrought iron style, though a privacy fence may be used along the west side of the pool to provide additional screening and privacy to the adjacent townhome. The pool location meets the 10-foot setback from the north property line.

Landscaping. Plantings are proposed along the front (east) elevation of the building and arborvitae trees are proposed to be planted around the pool area and extending 30 feet of the driveway access, which will provide screening of the site for the adjacent townhome building. The site will be irrigated in compliance with Section 11-21-9.4.e of the Zoning Ordinance. A security based on the materials and installation costs of the approved landscape plan shall be submitted with the building permit. The City Forester reviewed and had no comments on the landscape plan dated June 13, 2025. Plantings on the site must be installed per the plan and an as-built landscape plan submitted prior to inspection of the landscaping on site.

Lighting. The site plan does not indicate pole lighting on the property. Building mounted lighting at several points around the building; no other lighting is shown on the site. All lighting must be downcast and may not shine onto adjacent properties.

Ownership. The attached townhomes in the Ritter Meadows development will be rental units, so the private recreation building will be managed and maintained as part of the complex as a whole.

RECOMMENDATION

Community Development Department staff recommends approval of the Ritter Meadows private recreation building conditional use permit subject to the following stipulations:

1. In the case that the Ritter Meadows attached townhomes are offered for sale, a homeowner's association shall be established to maintain ownership and maintenance of the Lot 28, Block 1, Ritter Meadows, including the amenities and improvements on the property.
2. A security based on the materials and installation costs of the approved landscape plan shall be submitted with the building permit. Plantings on the site must be installed per the plan dated June 13, 2025 and an as-built landscape plan submitted prior to inspection of the landscaping on site.

The findings of fact for the conditional use permit is attached to this report.

**CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA**

**RITTER MEADOWS CONDITIONAL USE PERMIT AMENDMENT
FINDINGS OF FACT AND RECOMMENDATION**

On October 2, 2025 the Lakeville Planning Commission met at their regularly scheduled meeting to consider the request of Twin Cities Land Development for a conditional use permit for a private recreation building in the RM-1, Medium Density Residential District at 20283 Keokuk Avenue. The Planning Commission conducted a public hearing on the proposed conditional use permit preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The property is located in Comprehensive Planning District No. 7, which guides the property for Medium Density Residential use.
2. The property is zoned RM-1, Medium Density Residential District.
3. The legal description of the property is:

Lot 28, Block 1, Ritter Meadows Third Addition

4. Section 11-4-3E of the City of Lakeville Zoning Ordinance provides that a conditional use permit may not be issued unless certain criteria are satisfied. The criteria and our findings regarding them are:

a) The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the Official City Comprehensive Plan.

Finding: The proposed private recreation facility is consistent with the policies and provisions of District 7 of the 2040 Comprehensive Land Use Plan. The proposed recreation facility will be complimentary to the Ritter Meadows townhome development and recreational needs of its residents.

b) The proposed use is or will be compatible with future land uses of the area.

Finding: The proposed private recreation facility is compatible with the approved land uses in the area given compliance with the approved plans and stipulations of the conditional use permit.

c) The proposed use conforms with all performance standards contained in the Zoning Ordinance and the City Code.

Finding: The proposed private recreation facility conforms to the performance standards set forth in the Zoning Ordinance given compliance with the stipulations of the conditional use permit.

d) The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

Finding: The proposed private recreation facility will not overburden the City's sanitary sewer and water systems and can be served with existing public services.

e) Traffic generation by the proposed use is within capabilities of streets serving the property.

Finding: Traffic generation will not significantly increase due to the private recreation facility. Traffic can be accommodated by the existing streets serving the development. Public sidewalk improvements will be made to allow pedestrian access to the main entrance of the private recreation building.

5. The planning report dated September 22, 2025 prepared by Kris Jenson, Planning Manager, is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the conditional use permit conditioned upon compliance with the planning report prepared by Planning Manager Kris Jenson dated September 22, 2025.

Dated: October 2, 2025

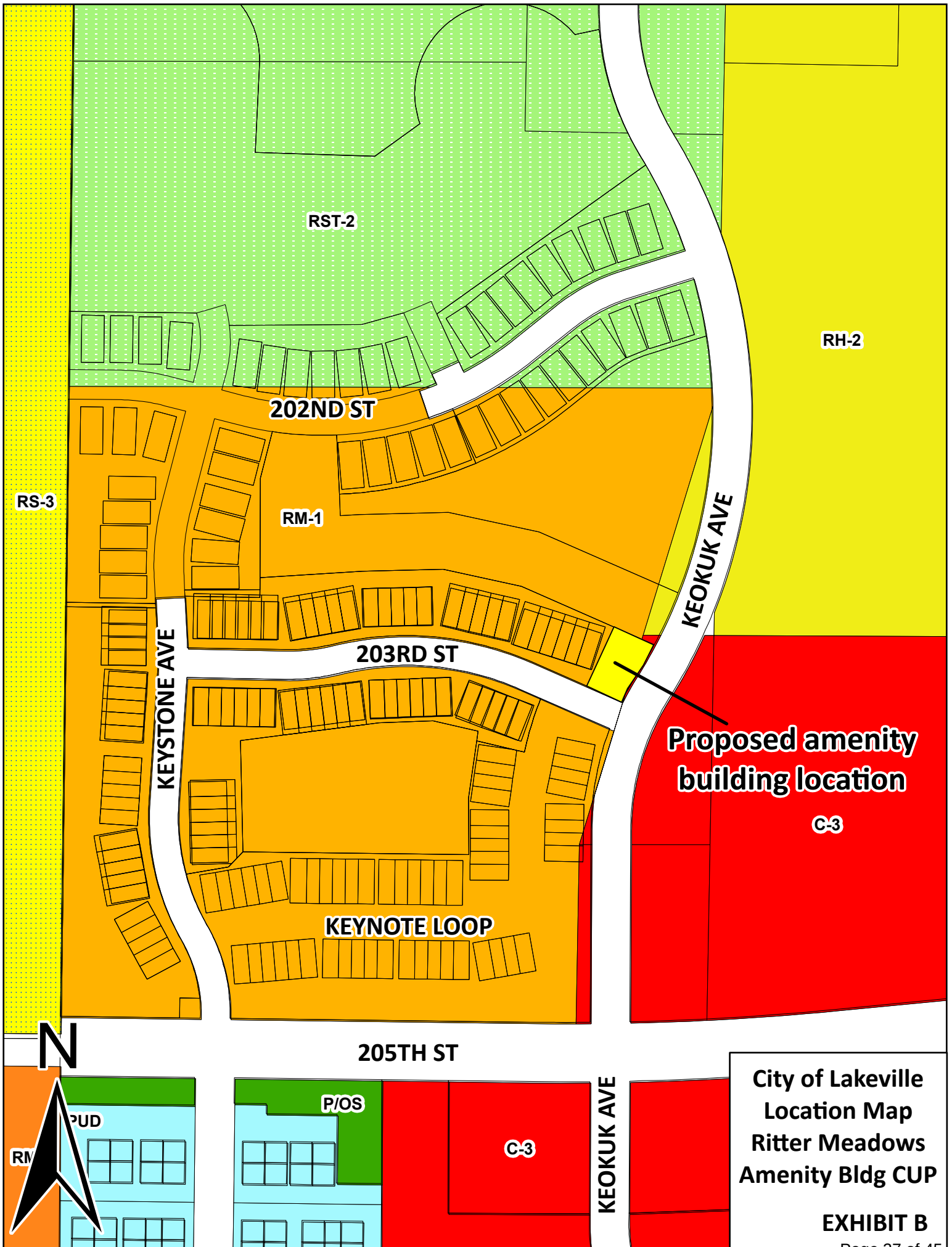
LAKEVILLE PLANNING COMMISSION

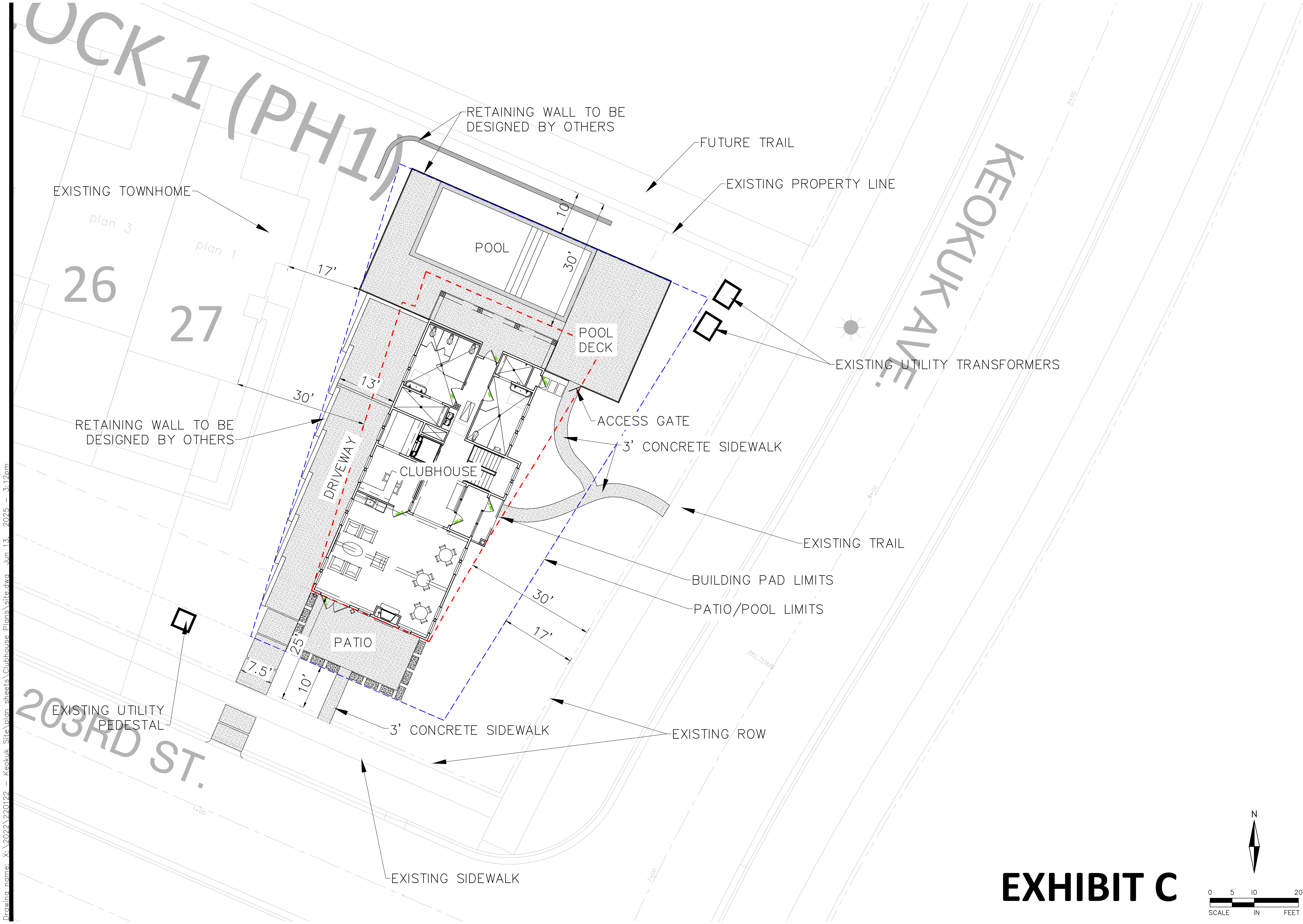
BY: _____
Christine Zimmer, Chair



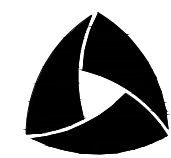
City of Lakeville
Location Map
Ritter Meadows
Amenity Bldg CUP

EXHIBIT A





Drawing name: X:\2022\220122 - Keokuk Site\plan sheets\Clubhouse Plans\site.dwg Jun 13, 2025 3:12pm



ALLIANT
733 Marquette Avenue
Suite 700
Minneapolis, MN 55402
612.758.3080
www.alliant-inc.com

RITTER MEADOWS
LAKEVILLE, MINNESOTA
AMENITY LOT CUP
SITE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

CLARK WICKLUND, PE
Date _____ License No. _____

QUALITY ASSURANCE/CONTROL

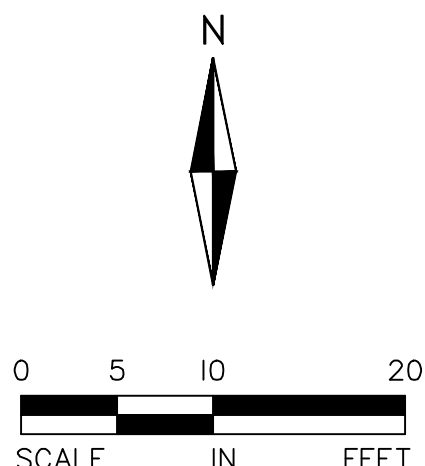
BY	DATE
DATE	ISSUE
6/13/25	CITY SUBMITTAL

PROJECT TEAM DATA
DESIGNED: CW
DRAWN: AA LJ
PROJECT NO: 222-0122

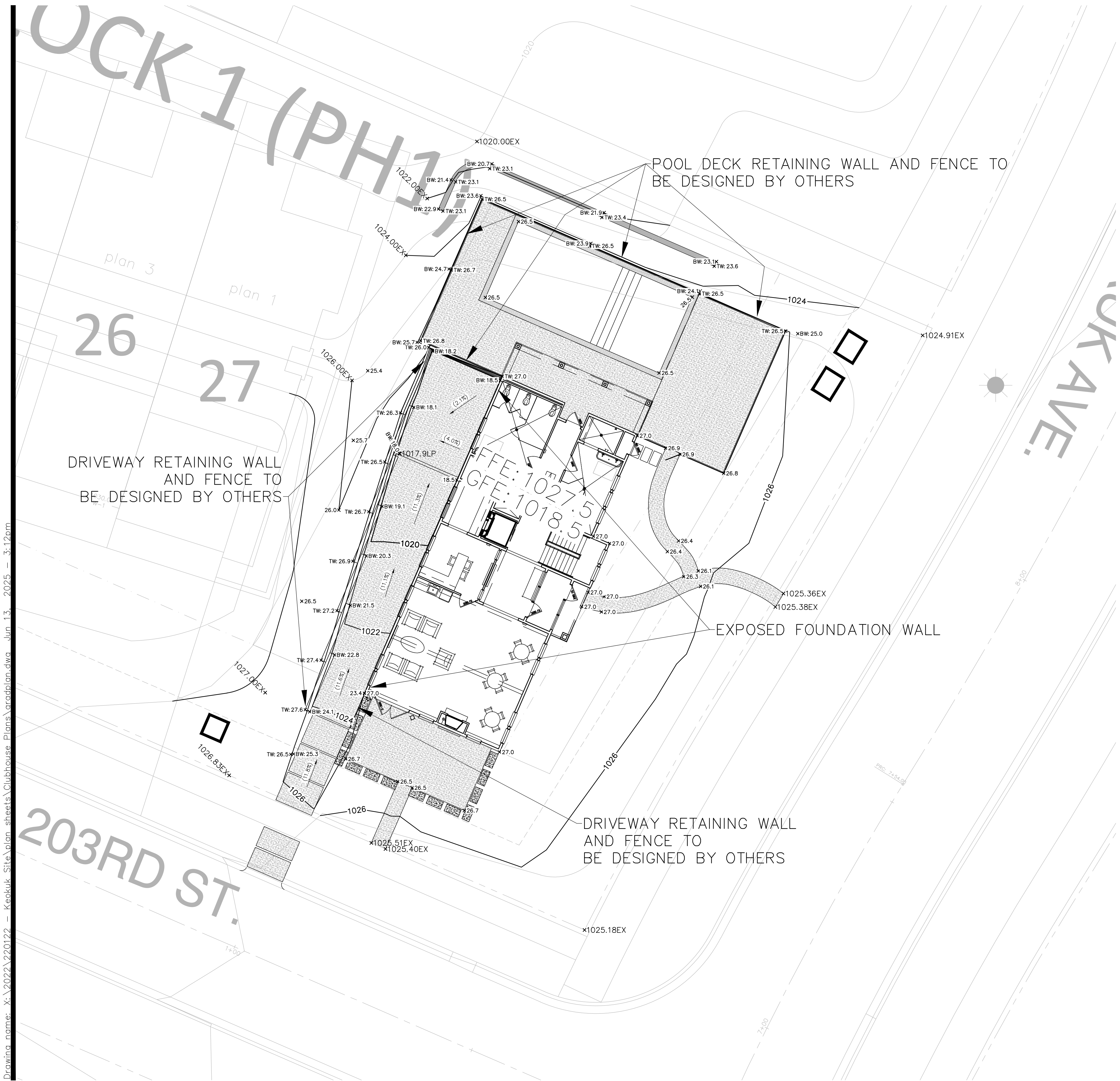
1

SHEET 1 of 4

EXHIBIT C

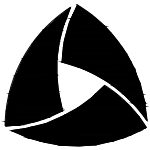


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GRADING NOTES:

1. ALL FINISHED GRADES SHALL SLOPE AWAY FROM PROPOSED BUILDINGS AT MINIMUM GRADE OF 2.0%. ALL SWALES SHALL HAVE A MINIMUM SLOPE OF 2.00%.
2. THE CONTRACTOR SHALL KEEP THE ADJACENT ROADWAYS FREE OF DEBRIS AND PREVENT THE OFF-SITE TRACKING OF SOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY AND WATERSHED.
3. NOTIFY GOPHER STATE ONE CALL, AT (800)252-1166, 48 HOURS PRIOR TO START OF CONSTRUCTION.
4. ALL IMPROVEMENTS TO CONFORM WITH CITY OF LAKEVILLE CONSTRUCTION STANDARDS SPECIFICATIONS, LATEST EDITION.
5. STRIP TOPSOIL PRIOR TO ANY CONSTRUCTION. REUSE STOCKPILE ON SITE. STOCKPILE PERIMETERS MUST BE PROTECTED WITH SILT FENCE.
6. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
7. IMMEDIATELY FOLLOWING GRADING OF (3:1 OR GREATER) SIDE SLOPES AND DRAINAGE SWALES, WOOD FIBER BLANKET OR OTHER APPROVED SOIL STABILIZING METHOD (APPROVED BY ENGINEER) SHALL BE APPLIED OVER APPROVED SEED MIXTURE AND A MINIMUM OF 4" TOPSOIL.
8. ADDITIONAL BEST MANAGEMENT PRACTICES MAY BE NECESSARY AS SITE AND CLIMATIC CONDITIONS CHANGE THROUGHOUT CONSTRUCTION.
9. ALL RETAINING WALLS TO BE DESIGNED BY OTHERS. CONTRACTOR SHALL PROVIDE ENGINEERED SHOP DRAWINGS FOR REVIEW AND APPROVAL.



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AMENITY LOT CUP

GRADING PLAN

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CLARK WICKLUND, PE

Date License No.

QUALITY ASSURANCE/CONTROL

BY DATE

DATE ISSUE

6/13/25 CITY SUBMITTAL

PROJECT TEAM DATA

DESIGNED: CW

DRAWN: AA LJ

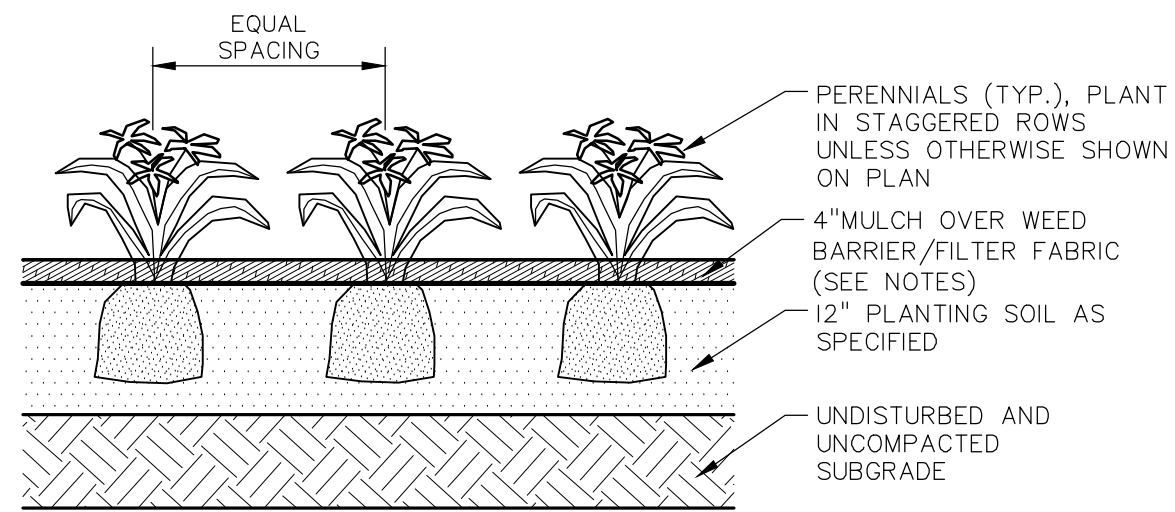
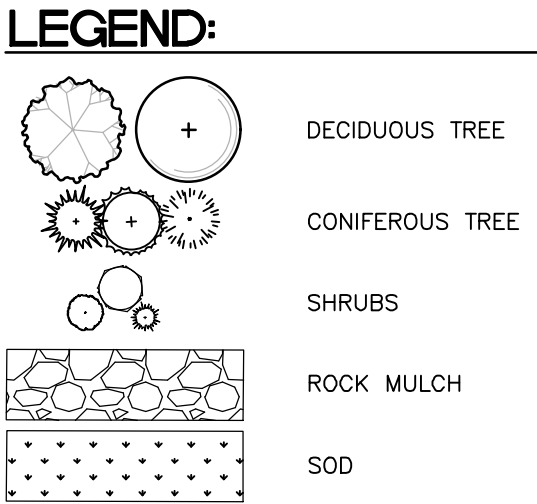
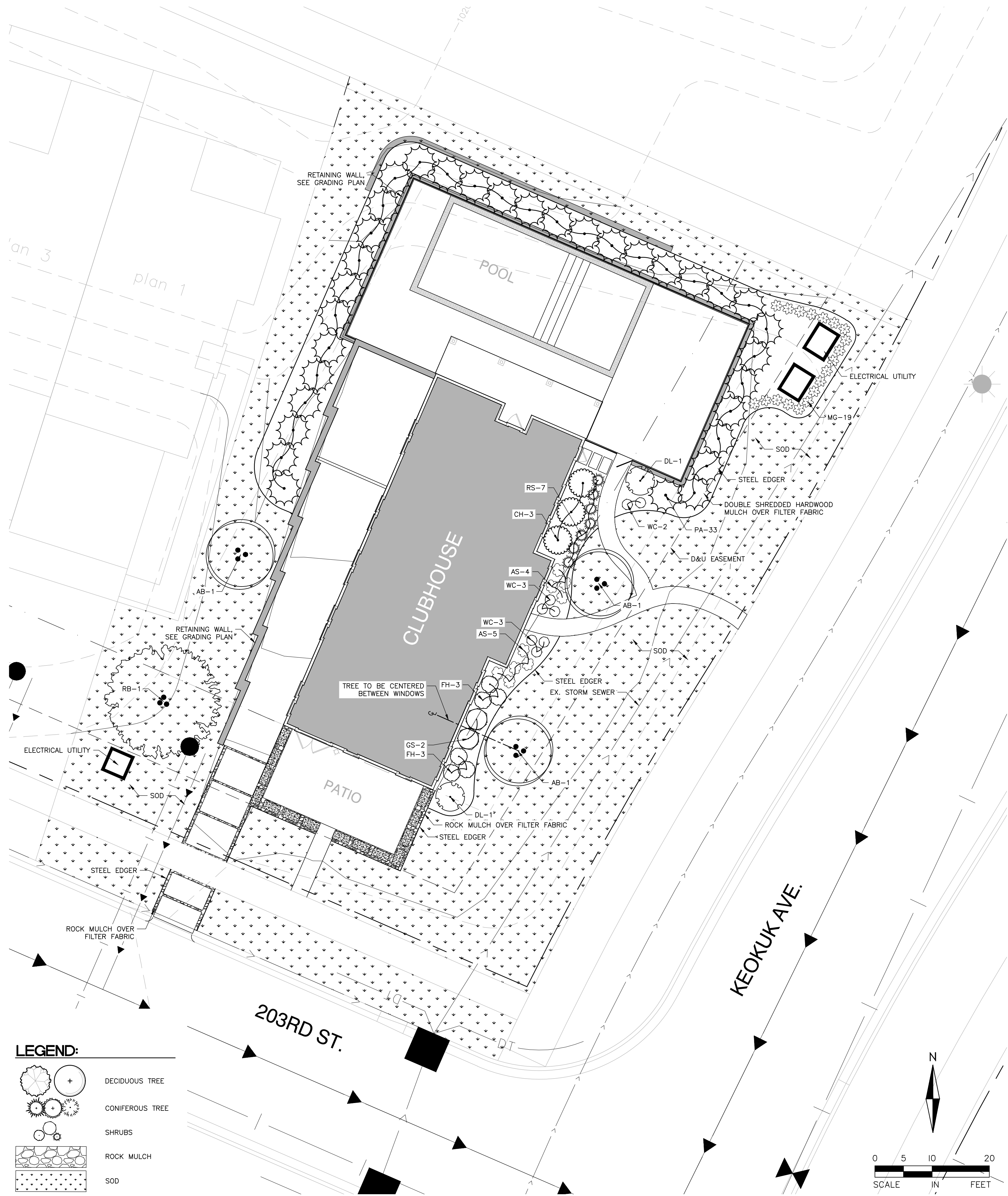
PROJECT NO: 222-0122

2

SHEET 2 of 4

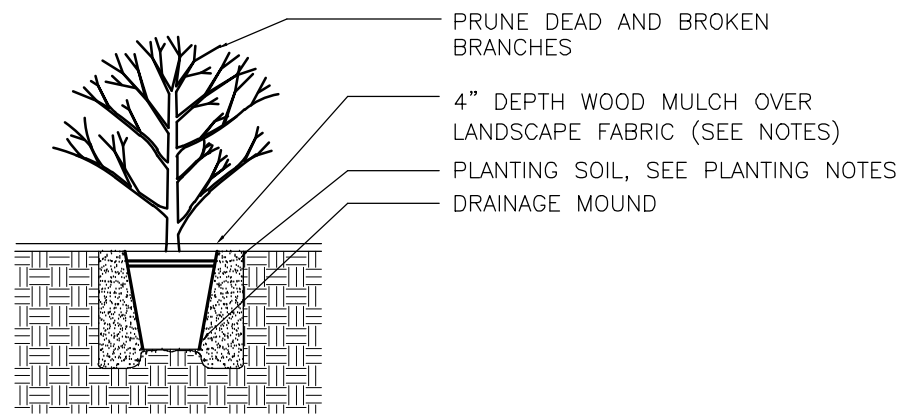
EXHIBIT D

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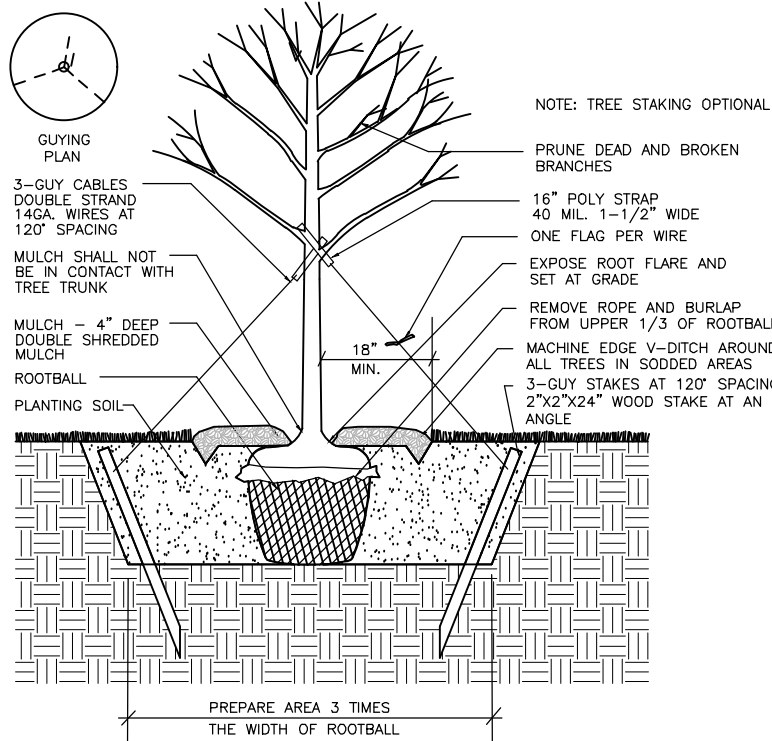
1 PERENNIAL PLANTINGS

NOT TO SCALE



2 SHRUB PLANTING DETAIL

NOT TO SCALE



4 TREE PLANTING

NOT TO SCALE

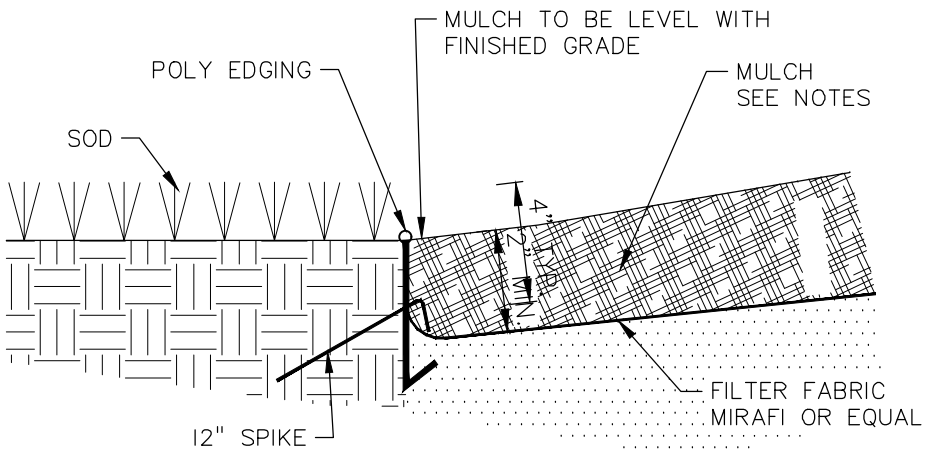
PLANTING NOTES:

1. INSTALL 6" MIN. TOP SOIL TO ALL SOD AND SEED AREAS. FINE GRADE ALL SOD AND SEED AREAS.
2. STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION.
3. ALL SHRUB AREAS UNLESS SPECIFIED AS OTHER TO BE BED MULCHED WITH 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH, BROWN COLOR OVER FILTER FABRIC. WHERE ROCK MULCH IS SPECIFIED, ROCK TO BE 3/8" PEA GRAVEL. POLY EDGER TO BE VALLEY VIEW BLACK DIAMOND OR APPROVED EQUAL.
4. PLANTING SOIL SHALL CONSIST OF 1:1:1 SELECT LOAMY TOPSOIL, PEAT MOSS, PIT RUN SAND.
5. COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
6. ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.
7. ALL TREE TRUNKS SHALL BE WRAPPED WITH BROWN CREPE TREE WRAP. APPLY WRAP IN NOVEMBER AND REMOVE IN APRIL.
8. CALL GOPHER STATE ONE CALL AT 651-454-0002 FOR LOCATING ALL UNDERGROUND UTILITIES AND AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK.
9. MAINTAIN ALL PLANT MATERIALS, INCLUDING WATERING, UNTIL THE TIME OF ACCEPTANCE.
10. COORDINATE INSTALLATION WITH GENERAL CONTRACTOR.
11. STAKING AND GUYING OF TREES OPTIONAL: MAINTAIN PLUMBNESS OF TREES FOR DURATION OF WARRANTY PERIOD.
12. BLEND AREAS OF CONSTRUCTION LIMITS AT PROPERTY LINES.
13. CONTRACTOR TO SUPPLY DESIGN AND INSTALLATION OF AN IRRIGATION PLAN WITH 100% COVERAGE FOR DESIGNED SOD AND SHRUB AREAS. SOD AND SHRUB AREAS TO BE ON SEPARATE ZONES. USE RAIN BIRD OR APPROVED EQUAL. INSTALL SEPARATE METER FOR IRRIGATION SYSTEM. COORDINATE WITH GENERAL CONTRACTOR. NATIVE SEED AREAS SHALL BE ON SEPARATE ZONES. IRRIGATION RUN TIMES IN SEEDED AREAS SHOULD BE REDUCED AFTER THE FIRST 2 YEARS OF ESTABLISHMENT.
14. SWEEP AND WASH ALL PAVED SURFACES AND REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS.
15. GENERAL CONTRACTOR SHALL FOLLOW THE COUNTY/STATE SOIL & EROSION CONTROL SPECIFICATION FOR DISTURBED AREA STABILIZATION.

PLANTING SCHEDULE:

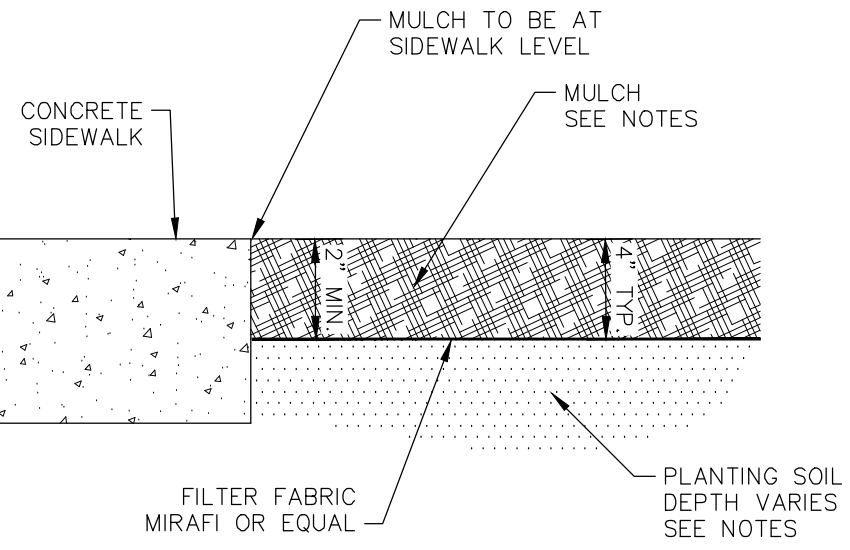
#	KEY	COMMON NAME / SCIENTIFIC NAME	SIZE	NOTES
Deciduous Trees				
1	RB	Clump Form River Birch Betula nigra	8' Ht. B&B	Clump Form
Ornamental Trees				
3	AB	Clump Autumn Brilliance Serviceberry Amelanchier x grandifolia 'Autumn Brilliance'	2" cal. B&B	Clump Form
Evergreen Trees				
33	PA	Pyramidal Arborvitae Thuja occidentalis 'Pyramidalis'	8' Ht. B&B	Full Form
Deciduous Shrubs				
2	DL	Dwarf Korean Lilac Syringa meyeri 'Palibin'	#5 Cont.	Min. 5 Canes
2	GS	Glow Girl Spirea Spirea betulifolia 'TorGold'	#5 Cont.	Min. 5 Canes
3	CH	Candy Apple Hydrangea Hydrangea paniculata 'SMHPMWMH'	#5 Cont.	Min. 5 Canes
6	FH	Firefly Nightglow Honeysuckle Diervilla splendens 'El Madrigal'	#5 Cont.	Min. 5 Canes
Perennials				
19	MG	Miscanthus Flame Grass Miscanthus sinensis 'Purpurascens'	#3 Cont.	
8	WC	Walkers Low Catmint Nepeta Faassenii 'Walker's Low'	#1 Cont.	
9	AS	Autumn Fire Sedum Sedum x 'Autumn Fire'	#1 Cont.	
7	RS	Ruby Stella Daylily Hemerocallis 'Ruby Stella'	#1 Cont.	

Note: Quantities on plan supercedes schedule in event of discrepancy



3 MULCH AT SOD DETAIL

NOT TO SCALE



5 MULCH AT SIDEWALK DETAIL

NOT TO SCALE



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LAKEVILLE, MINNESOTA

AMENITY LOT CUP

LANDSCAPE PLAN

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CLARK WICKLUND, PE

Date License No.

QUALITY ASSURANCE/CONTROL

BY DATE

DATE ISSUE

6/13/25 CITY SUBMITTAL

PROJECT TEAM DATA

DESIGNED: CW

DRAWN: SRM

PROJECT NO: 222-0122

EXHIBIT E

1

SHEET 1 of 1

203RD ST.

KEOKUK AVE.

RETAINING WALL LAYOUT, HEIGHT, AND CONFIGURATION PER SITE PLAN

DRIVEWAY/RAMP LAYOUT, SLOPE, AND CONFIGURATION PER SITE PLAN

TRENCH DRAIN PER CIVIL

PATIO PER
SITE PLAN
LAYOUT

AMENITY CENTER

ENTRY
SIDEWALK PER
SITE PLAN

POOL & POOL
DECK PER SITE
PLAN LAYOUT

POOL FENCE
AND GATE PER
POOL SAFETY
CODES

EXHIBIT F

CONSTRUCTION DOCUMENTS

Ritter Meadows
205th Street West
Lakeville, Minnesota
Creative Homes



8825 Coleman Boulevard
Frisco, Texas 75034
972.729.1778

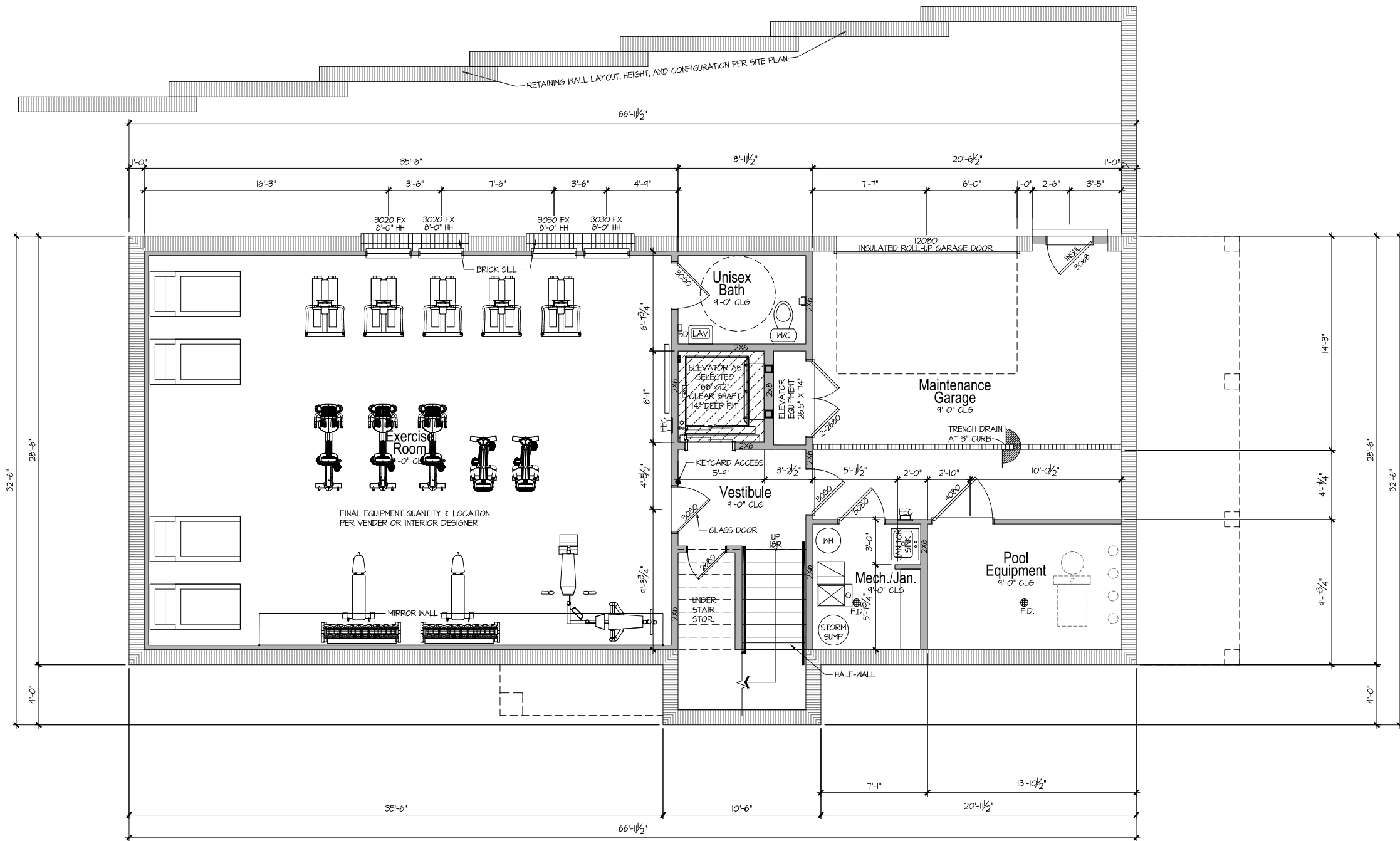
JOB NO: 24-0481 PROJ MGR: KDB
DRAWN: KDB CHECKED: KDB

GENERAL NOTES

AMENITY CENTER
AGN0.2

ISSUE DATE: 04-APRIL-2024

REVISIONS



CONSTRUCTION ASSEMBLIES:

- A. ROOF CONSTRUCTION:
COMPOSITION ROOF SHINGLES ON UNDERLAYMENT ON ROOF SHEATHING ON ROOF FRAMING MEMBERS (AS NOTED ON FRAMING PLANS).
CEILING: 5/8" GYPSUM BOARD WITH INSULATION ABOVE.
- B1. TYPICAL SIDING WALL CONSTRUCTION:
SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 OR 2x6 STUDS, 16" O.C. W/ INSULATION IN CAVITIES.
INTERIOR: 1/2" GYPSUM BOARD.
- B2. TYPICAL STONE VENEER WALL CONSTRUCTION:
ADHERED SYNTHETIC STONE VENEER (INSTALLED PER MFR'S SPEC.) OVER WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 OR 2x6 STUDS, 16" O.C. W/ INSULATION IN CAVITIES.
INTERIOR: 1/2" GYPSUM BOARD.
- C. TYPICAL FLOOR CONSTRUCTION:
FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON FLOOR FRAMING AS NOTED ON STRUCTURAL DRAWINGS.
MAIN FLOOR CEILING: 5/8" GYPSUM BOARD.
- D. CONCRETE SLAB CONSTRUCTION:
CONCRETE SLAB OVER 6 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.

GENERAL BASEMENT PLAN NOTES:

- ALL UNDIMENSIONED PARTITIONS (P-P) ARE 3 1/2" ROUGH UNLESS NOTED OTHERWISE.
- STRUCTURAL FOUNDATION PLANS SHALL BE BY OTHERS. SEE STRUCTURAL FOUNDATION AND FRAMING PLANS FOR STEEL COLUMN, STEEL BEAM, WOOD POST SIZES, AND DIMENSIONS.
- IF MAIN FLOOR FRAMING IS TO BE INSTALLED BEFORE CONCRETE FLOOR, PROVIDE THE FOLLOWING:
 - AT PAD FOOTINGS, PROVIDE 8"x8" CONCRETE PEDESTAL FLUSH WITH CONCRETE FLOOR FOR ATTACHMENT OF POST BASE
 - AT CONTINUOUS FOOTINGS UNDER FRAMING BEARING WALLS, PROVIDE 6" WIDE CONTINUOUS CONCRETE STEM, TOP OF STEM FLUSH WITH CONCRETE FLOOR & CENTERED ON FOOTING.
- ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- FOR ADDITIONAL INFORMATION SEE GENERAL NOTES AND DETAILS.

BASEMENT PLAN KEYNOTES:

- # THE FOLLOWING KEYNOTES REFERENCE THE SYMBOLS AS SHOWN ON PLANS:
- DROP TOP OF FOUNDATION AT OVERHEAD GARAGE DOOR.
 - DROP TOP OF FOUNDATION AT SERVICE DOOR.
 - PROVIDE WINDOW WELL AS SPECIFIED BY BUILDER. CLEAR DIMENSIONS OF WELL SHALL BE 36"x36" MINIMUM W/ LADDER AT EGRESS WINDOWS.
 - PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON WALLS AND CEILINGS UNDER ACCESSIBLE ENCLOSED STAIRS.
 - LINE OF FRAMING ABOVE.
 - LINE OF STOOP ABOVE.
 - FLOOR DRAIN.
 - BEAM POCKET.
 - SUMP PIT LOCATION AS REQUIRED BY SOILS ENGINEER.
 - HANDRAIL.
 - EMERGENCY EGRESS: WINDOW SHALL COMPLY WITH GOVERNING FIRE & BUILDING CODES. MAXIMUM SILL HEIGHT OF EGRESS WINDOWS SHALL BE NO MORE THAN 44" A.F.F.

ISSUE DATE: 04-APRIL-2024	
REVISIONS	

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205th Street West
Lakeville, Minnesota
Creative Homes



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Frisco, Texas 75034
972.729.1778

JOB NO: 24-0481 PROJ MGR: KDB
DRAWN: KDB CHECKED: KDB

BASEMENT PLAN

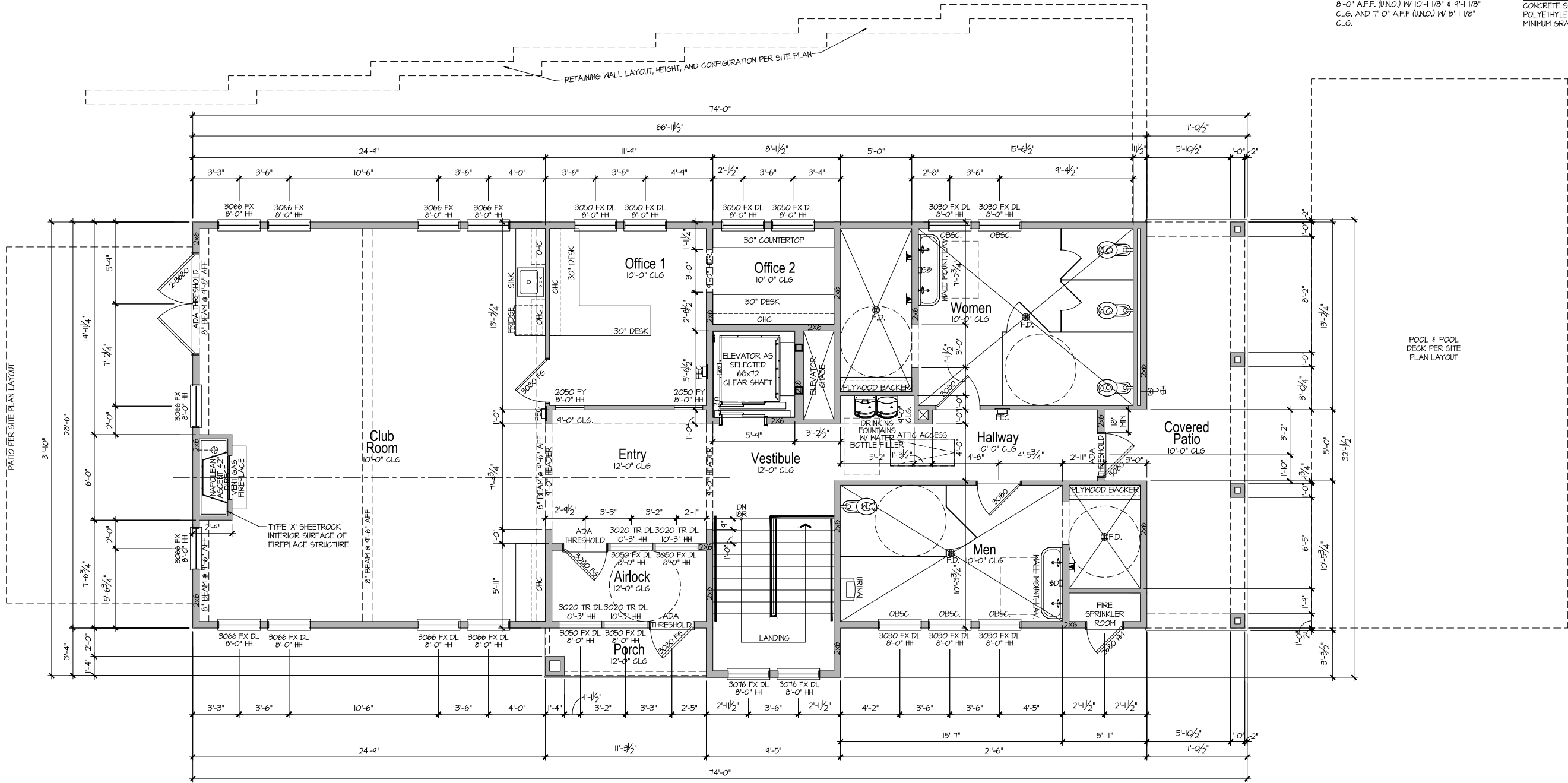
AMENITY CENTER

A0.1

Lower Floor Plan

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (11x17)

EXHIBIT G



Main Floor Plan

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (11x17)

GENERAL FLOOR PLAN NOTES:

- ALL UNDIMENSIONED PARTITIONS (P) ARE 3/4" ROUGH UNLESS NOTED OTHERWISE.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE.
- ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS MEETS ALL EMERGENCY EGRESS REQUIREMENTS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT, METER LOCATIONS, ETC. SHALL BE CONFIRMED BY MECHANICAL AND ELECTRICAL CONTRACTORS.
- CONTRACTORS SHALL COORDINATE WITH BUILDER PRIOR TO RELOCATION OF EQUIPMENT AND METERS.
- ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSS UNLESS NOTED OTHERWISE.
- TRUSS MFG. TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES.
- FOR ADDITIONAL INFORMATION SEE GENERAL NOTES AND DETAILS.
- TYPICAL WINDOW HEAD HEIGHTS SHALL BE 8'-0" A.F.F. (U.N.O.) W/ 10'-1 1/8" & 9'-1 1/8" CLG. AND T-0" A.F.F. (U.N.O.) W/ 8'-1 1/8" CLG.

CONSTRUCTION ASSEMBLIES:

- A. ROOF CONSTRUCTION: COMPOSITION ROOF SHINGLES ON UNDERLAYMENT ON ROOF SHEATHING ON ROOF FRAMING MEMBERS (AS NOTED ON FRAMING PLANS).
- CEILING: 5/8" GYPSUM BOARD WITH INSULATION ABOVE.
- B1. TYPICAL SIDING WALL CONSTRUCTION: SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 OR 2x6 STUDS, 16" O.C. W/ INSULATION IN CAVITIES. INTERIOR: 1/2" GYPSUM BOARD.
- B2. TYPICAL STONE VENEER WALL CONSTRUCTION: ADHERED SYNTHETIC STONE VENEER (INSTALLED PER MFR'S SPEC.) OVER WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 OR 2x6 STUDS, 16" O.C. W/ INSULATION IN CAVITIES. INTERIOR: 1/2" GYPSUM BOARD.
- C. TYPICAL FLOOR CONSTRUCTION: FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON FLOOR FRAMING AS NOTED ON STRUCTURAL DRAWINGS. MAIN FLOOR CEILING: 5/8" GYPSUM BOARD.
- D. CONCRETE SLAB CONSTRUCTION: CONCRETE SLAB OVER 6 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.

ISSUE DATE: 04-APRIL-2023

REVISIONS

Ritter Meadows
205th Street West
Lakeville, Minnesota
Creative Homes



8825 Coleman Boulevard
Frisco, Texas 75034
972.729.1778

JOB NO: 24-0481 PROJ MGR: KDB
DRAWN: KDB CHECKED: KDB

MAIN FLOOR PLAN

AMENITY CENTER

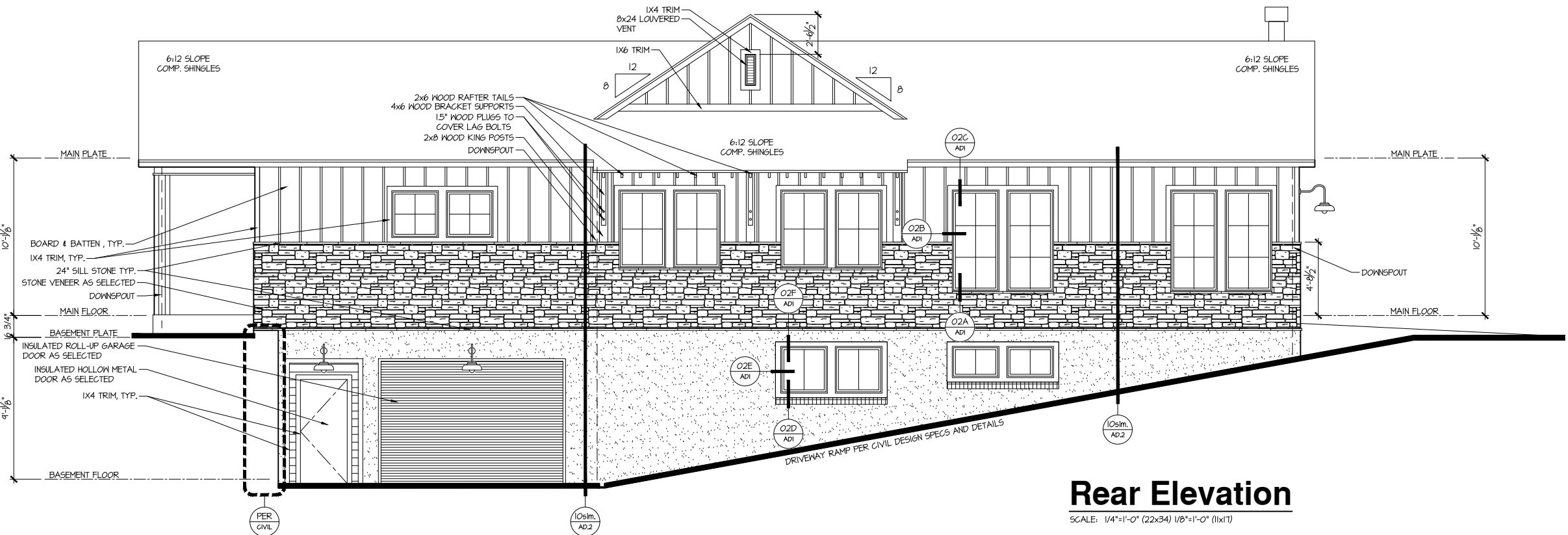
A1.1

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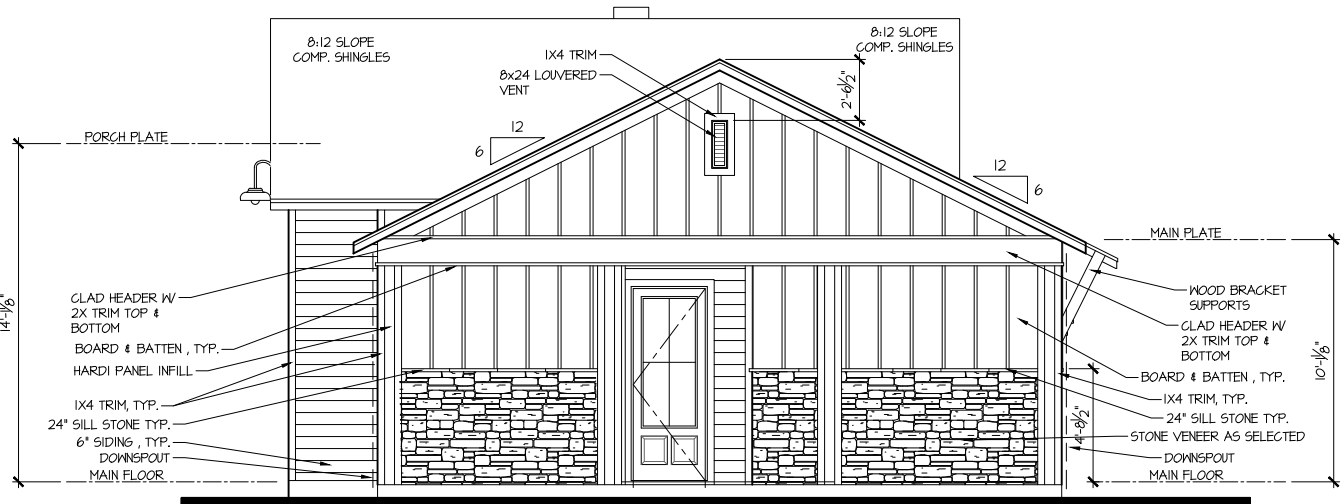
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REVISIONS



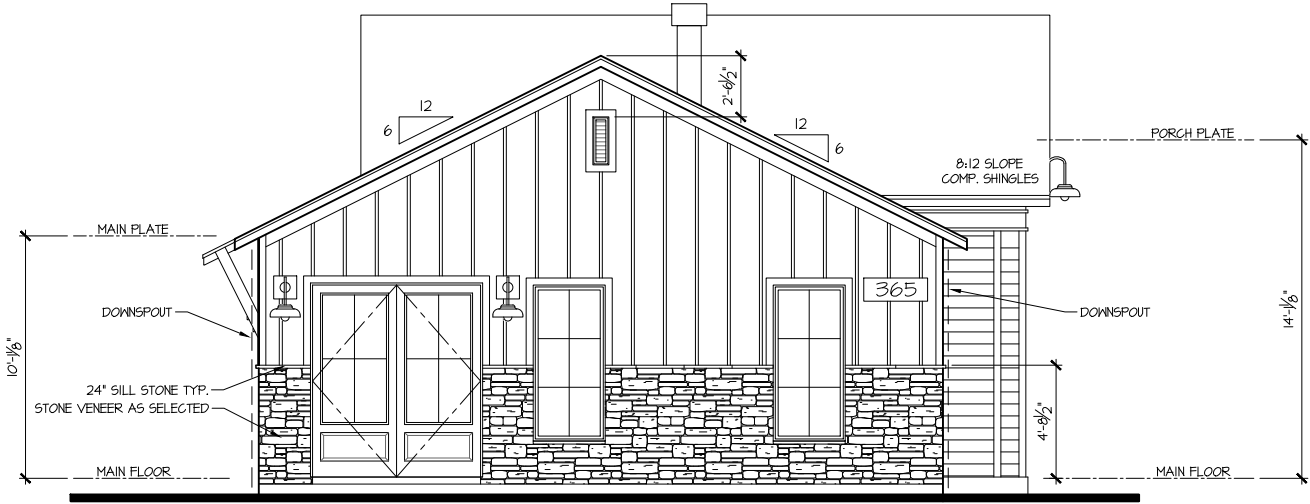
Rear Elevation

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (11x17)



Right Elevation

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (11x17)

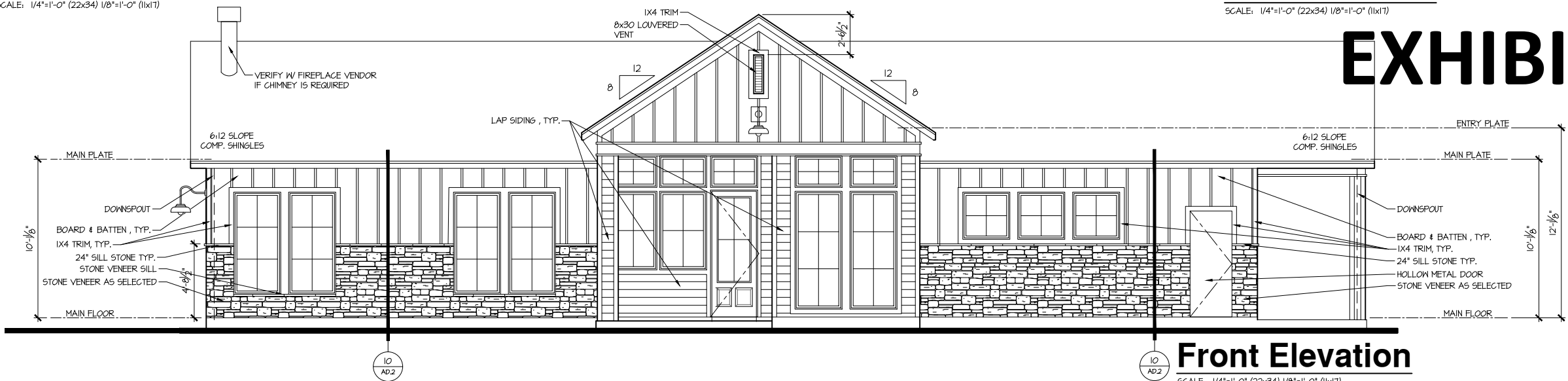


Left Elevation

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (11x17)

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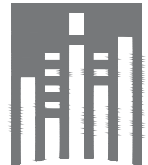
Front Elevation

SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (11x17)

EXHIBIT I

CONSTRUCTION DOCUMENTS

Ritter Meadows
205th Street West
Lakeville, Minnesota
Creative Homes



BSB
DESIGN
www.bsbdesign.com

8825 Coleman Boulevard
Frisco, Texas 75034
972.729.1778

JOB NO: 24-0481 PROJ MGR: KDB
DRAWN: KDB CHECKED: KDB
EXTERIOR ELEVATIONS

AMENITY CENTER

A3.1



Memorandum

FYI

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: September 25, 2025
Subject: Future and Continued Planning Commission Agenda Items
Summary of City Council Actions on Planning Commission Items

The following is a list of possible agenda items to be considered at upcoming Planning Commission meetings:

- Mister Car Wash – CUP for a commercial car wash (Marketplace at Cedar)
- James Cecil – CUP for accessory storage space and number of accessory storage buildings
- Artemis, Tradition Development – discussion of draft AUAR scenarios

The following items were approved by the City Council at the September 15, 2025 City Council meeting.

- Kenyon Green final plat