



AGENDA PLANNING COMMISSION MEETING

October 16, 2025 - 6:00 PM
City Hall Council Chambers

Members of the public can participate in person at Lakeville City Hall, 20195 Holyoke Avenue. Members of the public may join the meeting via [Teams Meeting](#), Meeting ID: 252 094 513 216 Passcode: 8kY9cF9A, or by calling Toll Number 1-323-433-2142; Conference ID: 808 135 271#. The Chair will allow for public comments and questions at the appropriate time.

The City Council is provided background information for agenda items in advance by staff and appointed commissions, committees, and boards. Decisions are based on this information, as well as City policy, practices, input from constituents, and a council member's personal judgment.

1. Call to order and flag pledge
2. Roll Call
3. Approval of Minutes
 - a. October 2, 2025 draft Planning Commission meeting minutes
4. Announcements
5. Public Hearing
 - a. James Cecil
Consider the application of James Cecil for a conditional use permit to allow a detached accessory building with a gross accessory building area exceeding 1,500 square feet on a single-family lot in the RS-2, Single Family Residential District, located at 18275 Ixonia Avenue.
 - b. Mister Car Wash
Consider the application of Mister Car Wash for a conditional use permit for a commercial car wash in the M-2, Mixed Use Cedar Corridor District. The proposed location is at the southeast corner of 179th Street (CSAH 9) and Cedar Avenue (CSAH 23).
6. City of Lakeville
 - a. Southwest Study Area AUAR by Artemis Development Company, LLC (Proposer)
Presentation of study scenarios
7. Staff Notices
 - a. The City Council meeting at which the above items may be considered will be held on November 3, 2025.
 - b. The next Planning Commission meeting is scheduled for November 6, 2025.

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- c. Planning Manager's memo
- 8. Adjourn

CITY OF LAKEVILLE
PLANNING COMMISSION MEETING MINUTES
October 2, 2025

Chair Zimmer called the meeting to order at 6:00 p.m. in the Council Chambers at City Hall. The Pledge of Allegiance to the flag was given.

Members Present: Chair Christine Zimmer, Scott Einck, Pat Kaluza, John Swaney, Jason Swenson, Mark Traffas, Ex-Officio Jeff Hansen

Members Absent: Amanda Tinsley

Staff Present: Kris Jenson, Planning Manager; Heather Botten, Senior Planner; Dawn Erickson, Community Development Recorder.

3. Approval of the Meeting Minutes

Commissioner Swaney noted he was not listed as absent on the September 18, 2025 Planning Commission work session and therefore requested the work session minutes be amended.

The September 18, 2025 Planning Commission meeting minutes were approved as presented; and the September 18, 2025 Planning Commission work session minutes were approved as amended.

4. Announcements

Planning Manager Kris Jenson stated there were no announcements.

5a. Taco Bell

Chair Zimmer opened the public hearing to consider the application of Marvin Development V, LLC for a conditional use permit for a convenience restaurant with a drive-through service window in the M-2, Mixed Use Cedar Corridor District.

Greg Dahling, Finn Daniels Architects, introduced the project.

Ms. Jenson presented the staff report. Marvin Development V, LLC has submitted a conditional use permit application for the development of a 2,860 square foot Taco Bell convenience food restaurant with a drive through service window to be located on a 1.07-acre parcel to be platted at the southeast corner of Cedar Avenue (CSAH 23) and 179th Street (CSAH 9). The parcel will be Lot 4, Block 1, Marketplace at Cedar when said final plat is recorded. The City Council is expected to consider the Marketplace at Cedar final plat at the October 6, 2025 meeting.

The subject property is zoned M-2, Mixed Use Cedar Corridor District which requires the site develop to specific performance standards for convenience food restaurants. Section 11-66-7.E of the Zoning Ordinance allows convenience restaurants with a drive through service window by

conditional use permit. The plans have been reviewed by Community Development Department and Engineering Division staff.

Chair Zimmer opened the hearing to the public for comment.

There was no public comment.

Motion was made by Einck, seconded by Traffas to close the public hearing at 6:09 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Chair Zimmer asked for comments from the Planning Commission.

- Commissioner Kaluza asked about stacking during busy times. Mr. Dahling stated it is not standard to have customers need to pull aside and wait for their food, so the store does not have designated parking spaces for drive-through waiting. Occasionally there may be a large order that requires additional time, in which case staff will direct the customer to pull around and park near the front entrance and the order will be brought out to the vehicle.
- Commissioner Swenson inquired how the traffic movement will work until the parcel to the west is developed, as well as inquiring about timing of deliveries for Taco Bell. Mr. Dahling stated that if the development of the parcel to the west will occur after the Taco Bell restaurant is open for business, Marvin Development will work with the property owners/developers to provide that additional access point for site circulation. He stated that deliveries are generally early in the morning before they are open for business so there is little to no conflict with vehicles in the parking lot.
- Commissioner Traffas asked about the overall Marketplace at Cedar development and how the placement of the Taco Bell in this location would have impacts on the overall development. Ms. Jenson stated that the Marketplace at Cedar preliminary plat review included a site plan with anticipated uses for the various lots, with this site anticipated to be a quick serve restaurant with a drive through service window.

Motion was made by Kaluza, seconded by Swenson to recommend to City Council approval of the Taco Bell conditional use permit for a convenience restaurant with a drive-through service window in the M-2, Mixed Use Cedar Corridor District and approval of the findings of fact dated October 2, 2025, subject to the following stipulations:

1. This CUP is contingent upon the approval and recording of the Marketplace at Cedar final plat.
2. The hours of operation shall not exceed 5:00 AM to 2:00 AM, seven days a week, as allowed by approval of this CUP.
3. Signs shall comply with Zoning Ordinance requirements and receive sign permit approval prior to installation.
4. Prior to City Council consideration, the landscape plan must be updated to add evergreen shrubs along a portion of the north property line to ensure that headlights from vehicles within

the drive through line don't shine onto 179th Street and an additional overstory tree must be added along the south side of the site and the spacing adjusted to 40 feet apart. Plantings on the site must adhere to the plan and an as-built landscape plan provided prior to inspection of the installed landscaping. An escrow shall be submitted with the building permit application to guarantee installation of the approved landscaping.

Ayes: Kaluza, Zimmer, Einck, Swaney, Swenson, Traffas,

Nays: 0

5b. Ritter Meadows Amenity Building

Chair Zimmer opened the public hearing to consider the application of Twin Cities Land Development for a conditional use permit for a private recreation building in the RM-1, Medium Density Residential District.

Ben Schmidt, Twin Cities Land Development, introduced the project.

Ms. Jensen presented the staff report. Twin Cities Land Development has submitted an application for a conditional use permit for a private recreation building with a swimming pool at 20283 Keokuk Avenue, within the Ritter Meadows development. The proposed site is located on Lot 28, Block 1, Ritter Meadows Third Addition, at the northwest corner of Keokuk Avenue and 203rd Street. The recreation building will be available for use by the residents of the attached townhomes within the Ritter Meadows development.

Chair Zimmer opened the hearing to the public for comment.

There was no public comment.

Motion was made by Kaluza, seconded by Einck to close the public hearing at 6:20 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Chair Zimmer asked for comments from the Planning Commission.

- Commissioner Traffas inquired how many units will have access to the building. Mr. Schmidt stated this building is just for the residents of the attached townhomes, of which there are 135 units.
- Chair Zimmer inquired whether the pool would be overlooking a pond in the development. Mr. Schmidt stated the pool area overlooks the edge of the city park and part of the pond.

Motion was made by Swaney, seconded by Swenson to recommend to City Council approval of a conditional use permit for the Ritter Meadows private recreation building in the RM-1, Medium Density Residential District, and approval of the findings of fact dated October 2, 2025, subject to the following stipulations:

1. In the case that the Ritter Meadows attached townhomes are offered for sale, a homeowner's association shall be established to maintain ownership and maintenance of Lot 28, Block 1, Ritter Meadows, including the amenities and improvements on the property.
2. A security based on the materials and installation costs of the approved landscape plan shall be submitted with the building permit. Plantings on the site must be installed per the plan dated June 13, 2025 and an as-built landscape plan submitted prior to inspection of the landscaping on site.

Ayes: Zimmer, Einck, Swaney, Swenson, Traffas, Kaluza

Nays: 0

There being no further business, the meeting was adjourned at 6:24 p.m.

Respectfully submitted,

Dawn Erickson, Community Development Recorder



Memorandum

To: Planning Commission
From: Heather Botten, Senior Planner
Date: October 8, 2025
Subject: Packet Material for the October 16, 2025 Planning Commission Meeting
Agenda Item: James Cecil - Conditional Use Permit
Application Action Deadline: November 9, 2025

INTRODUCTION

James Cecil of 18275 Ixonia Avenue has applied for a conditional use permit to allow an addition to an accessory building to exceed 1,500 gross square feet of accessory storage space in the RS-2, Single Family Residential District. The applicant is proposing to add a 28 foot by 20 foot addition on the northeast side of the existing detached accessory structure. With the proposed addition, the accessory building would total approximately 2,006 square feet in area. The site also has a 120 square foot shed, for a total of 2,126 gross square feet of accessory structure space. City Code Section 11-18-9.D. allows additional accessory building square footage by conditional use permit.

The following exhibits are attached for your review:

- A. Location Map
- B. Zoning Map
- C. Narrative
- D. Site Plan
- E. Site Photo

PLANNING ANALYSIS

Existing Conditions. The subject property is a single-family lot that totals 1.75 acres in area. The existing house is 2,233 square feet in area and was constructed in 1968. The existing detached accessory building was constructed in two phases and located on the northwest corner of the property. The site is wooded with a pond encompassing the southeast portion of the property.

Adjacent Land Uses. The subject property is zoned RS-2, Single Family Residential District. The property is located in a developed neighborhood surrounded by RS-2 zoning.

Setbacks. The minimum setbacks for a detached accessory building in the RS-2 District are 10 feet to the side and rear property lines and 30 feet to the front property line. The proposed detached accessory building complies with required setbacks. The proposed accessory structure setbacks are as follows:

- Front (East): 200+ feet
- Side (North): 12 feet
- Side (South): 200+ feet
- Rear (West): 20 feet

Accessory Building Use. The applicant indicated that the purpose of the structure is to store personal items, with several of the items currently being stored outside. No sewer service is proposed nor shall be extended to the accessory building. The structure shall not be used for commercial or home occupation purposes.

Driveway Surfacing. The existing bituminous driveway will provide access to the garage addition, complying with code requirements.

Appearance. The proposed building addition will complement the existing structure. A maximum building height of 15 feet is allowed for detached accessory buildings in the RS-2 District.

CONDITIONAL USE PERMIT ANALYSIS

The Zoning Ordinance allows the accessory building area requirements to be exceeded by conditional use permit subject to the following criteria as listed in Section 11-18-5:

- A. **There is a demonstrated need and potential for continued use of the structure for the purpose stated.**

Properties in the RS-2 District are allowed combined accessory buildings totaling 1,500 square feet unless a conditional use permit is approved to exceed that amount. The property owner has indicated a need for the proposed size of building to store personal and recreational vehicles and equipment.

- B. No accessory building or private garage shall be utilized for all or a portion of a home occupation, for commercial activities or for commercial storage.**

The applicant has stated the garage addition is for personal use. No home occupation or storage of commercial vehicles or equipment is allowed in any accessory building on the property.

- C. The accessory building has an evident reuse or function related to a single-family residential environment in urban service areas or hobby farm environment in nonurban service areas of the city.**

The proposed accessory building space has the evident function of creating storage of personal and maintenance equipment for this property.

- D. Detached accessory buildings shall be maintained in a manner that is compatible with the adjacent residential uses and does not present a hazard to public health, safety, and general welfare.**

The proposed building addition will be constructed with similar colors as the existing structures on the property and is compatible with the adjacent residential uses.

- E. The performance standards and criteria of section 11-4-7 of this title shall be considered and a determination made that the proposed activity is in compliance with such criteria.**

The provisions of section 11-4-7 of the Zoning Ordinance (Conditional Use Permits) have been considered and satisfactorily met. Please refer to the attached findings of fact.

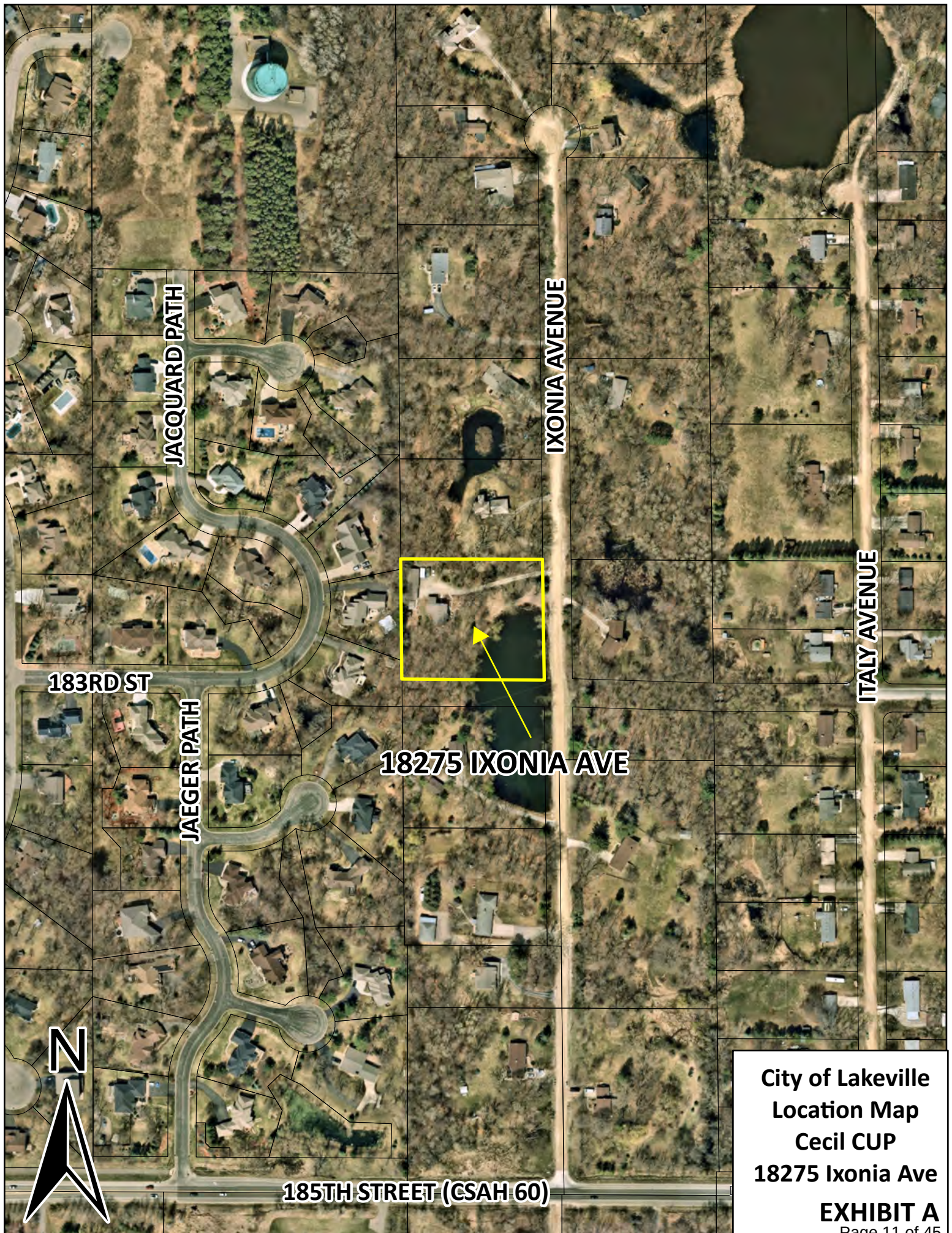
RECOMMENDATION

Community Development Department staff recommends approval of the conditional use permit to allow accessory structures greater than 1,500 gross square feet in the RS-2 District located at 18275 Ixonia Avenue, subject to the following stipulations:

1. The accessory building shall be constructed in the location identified on the site plan approved with the conditional use permit, with the accessory building being no closer than 10 feet to the north property line.
2. Exterior building materials shall conform with the standards and criteria in section 11-17-9 of the Zoning Ordinance.
3. The detached accessory building shall be kept, used, and maintained in a manner that is compatible with the existing single-family home on the property and shall not present a hazard to the public health, safety and general welfare.
4. Sanitary sewer service shall not be provided to the detached accessory building, and the detached accessory building shall not be used as a dwelling.

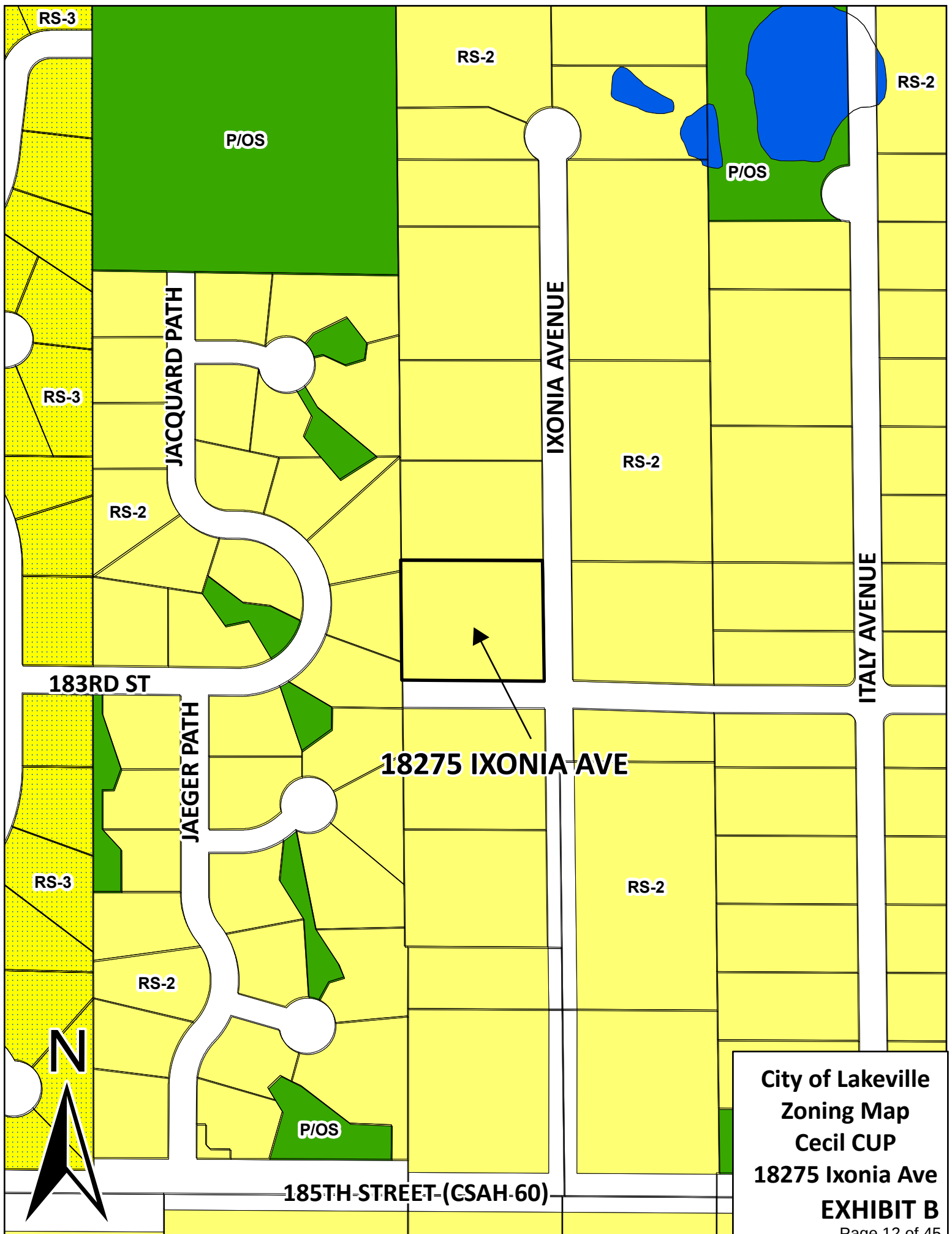
5. The detached accessory buildings shall not be used for any commercial use or home occupation. Commercial storage or storage for third parties is not permitted.
6. A building permit application shall be submitted to and approved by the Building Inspections Department prior to commencing construction.

Findings of Fact are attached for consideration.



City of Lakeville
Location Map
Cecil CUP
18275 Ixonia Ave

EXHIBIT A



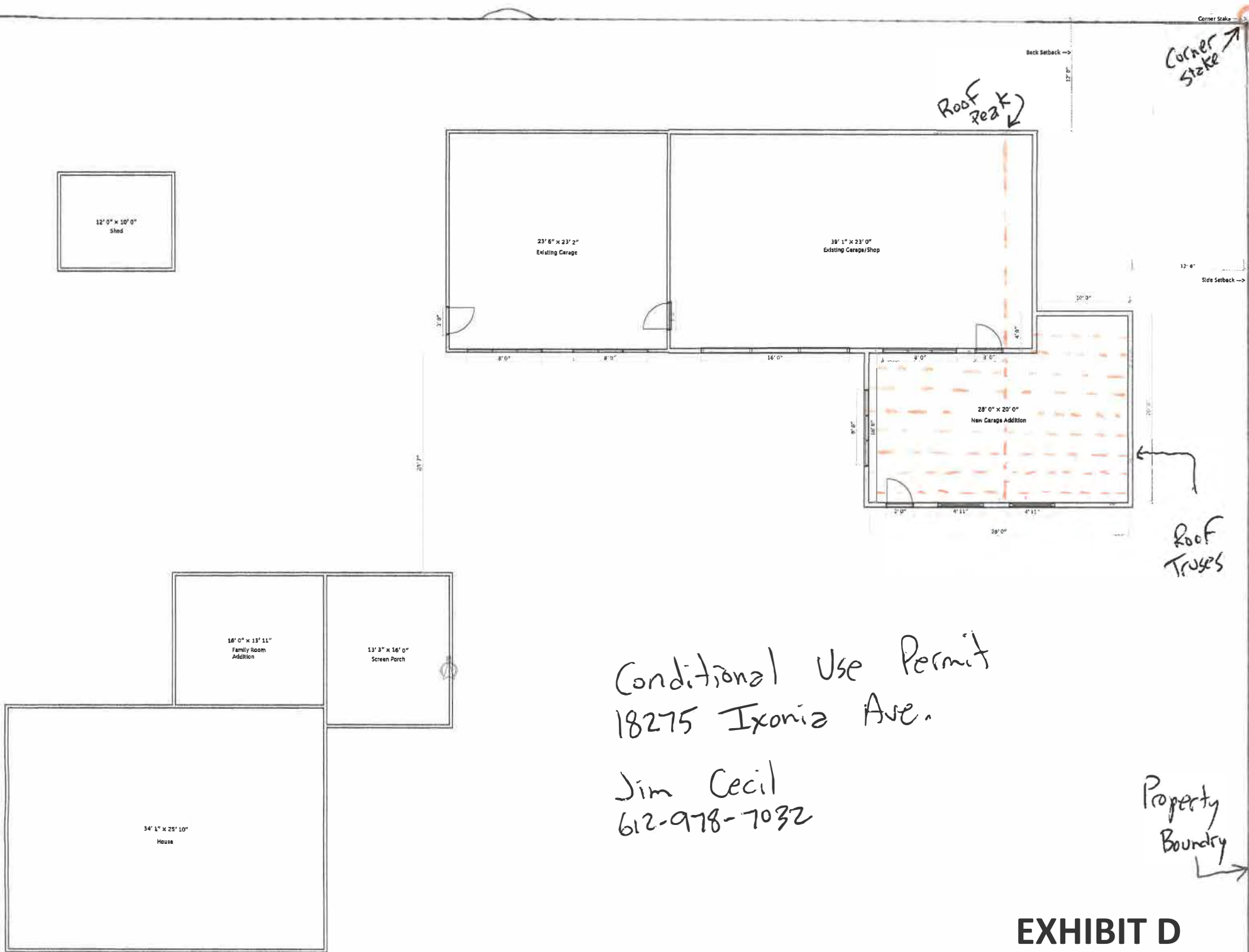
City of Lakeville
Zoning Map
Cecil CUP
18275 Ixonia Ave
EXHIBIT B

From: jcecil@charter.net
To: [Botten, Heather](#)
Cc: [Jenson, Kris](#)
Subject: RE: RE: RE: RE: 18275 Ixonia - CUP for garage
Date: Tuesday, September 30, 2025 8:10:00 AM

Heather, not sure if I sent this, but Kris had told me to send you an e-mail about the garage use for my CUP. The addition will only be used for personal use as a storage/work space. It will not be used as a living quarter or as a business. Please let me know if there is anything else needed from me.

Jim Cecil
18275 Ixonia Ave. - Lakeville

EXHIBIT C



Conditional Use Permit
18275 Ixonia Ave.

Jim Cecil
612-978-7032

EXHIBIT D



EXHIBIT E

**CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA**

**18275 IXONIA AVENUE CONDITIONAL USE PERMIT
JAMES CECIL**

FINDINGS OF FACT AND RECOMMENDATION

On October 16, 2025 the Lakeville Planning Commission met at its regularly scheduled meeting to consider the application of James Cecil for a conditional use permit to allow accessory building area greater than 1,500 square feet in the RS-2, Single Family Residential District on property located at 18275 Ixonia Avenue. The Planning Commission conducted a public hearing on the proposed conditional use permit preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The property is located in Planning District No. 2 of the 2040 Comprehensive Land Use Plan, which guides the property for low density residential use.
2. The property is zoned RS-2, Single Family Residential District
3. The legal description of the property is Lot 8, Block 2, Maplewood Estates.
4. Section 11-4-3E of the City of Lakeville Zoning Ordinance provides that a conditional use permit may not be issued unless certain criteria are satisfied. The criteria and our findings regarding them are:

- a. **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.**

Finding: The single-family home and existing and proposed detached accessory buildings are consistent with the 2040 Comprehensive Land Use Plan and District 2 recommendations of the Comprehensive Plan.

- b. **The proposed use is or will be compatible with present and future land uses of the area.**

Finding: Provided compliance with the conditional use permit, the proposed building addition will be compatible with existing and future land uses in the area.

- c. **The proposed use conforms with all performance standards contained in the Zoning Ordinance.**

Finding: The proposed size of the detached accessory building will conform with all performance standards contained in the Zoning Ordinance and the City Code as allowed by this conditional use permit.

- d. **The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.**

Finding: The subject property lies within the current MUSA and is served with city sanitary sewer and water systems. The proposed building addition will have no impact on the City's service capacity.

- e. **Traffic generation by the proposed use is within capabilities of streets serving the property.**

Finding: The proposed building addition will not overburden the streets serving the property.

- 5. The planning report dated October 8, 2025 prepared by Heather Botten, Senior Planner, is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the conditional use permit conditioned upon compliance with the planning report prepared by Heather Botten, Senior Planner dated October 8, 2025

DATED: October 16, 2025

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair



Memorandum

To: Planning Commission
From: Heather Botten
Date: October 8, 2025
Subject: Packet Material for the October 16, 2025 Planning Commission Meeting
Agenda Item: Mister Car Wash Conditional Use Permit
Application Action Deadline: October 24, 2025

INTRODUCTION

Andrea Rand, ISG, on behalf of Mister Car Wash, has submitted an application for a conditional use permit to allow the construction and operation of a commercial car wash in the M-2, Mixed Use Cedar Corridor District. The car wash is proposed to be located on the future Lot 7, Block 1, Marketplace at Cedar, west of Glacier Way and south of 179th Street (CSAH 9). The City Council recently approved the Marketplace at Cedar final plat.

The site development plans have been reviewed by the Community Development and Engineering Division staff. Given that there are no public street, stormwater, or utility improvements proposed to be done by the applicant, the Engineering Division has not prepared a staff memo for the proposed development. The stormwater improvements shown on the property are planned to be done by the developer of the plat as addressed in the Marketplace at Cedar development contract.

EXHIBITS

- A. Location Map
- B. Zoning Map
- C. Grading, Drainage, and Erosion Control Plan

- D. Site Plan
- E. Building Elevations
- F. Landscape Plan

PLANNING ANALYSIS

Surrounding Land Uses. The proposed property is zoned M-2, Mixed Use Cedar Corridor District and is guided CMU, Corridor Mixed Use. The site abuts the following existing or planned land uses:

Direction	Existing Use	Land Use Plan	Zoning
North	Vacant Commercial Parcel	CMU, Corridor Mixed Use	M-2, Mixed Use CCD
South	Vacant Commercial Parcel	CMU, Corridor Mixed Use	M-2, Mixed Use CCD
East	Townhome Development	MDR, Medium Density Residential	RM-3, Medium Density Residential
West	Vacant Commercial Parcel	CMU, Corridor Mixed Use	M-2, Mixed Use CCD

Setbacks. The M-2 District requires a 30-foot setback when abutting a major collector or arterial street, with 10-foot setbacks to all other property lines. Parking stalls must be setback 10 feet from public rights-of-way and five feet from all other property lines. The proposed building and parking area complies with the required setbacks of the M-2 District.

Grading, Drainage and Erosion Control. The conditional use permit plans include grading, drainage and erosion control, and private utilities construction associated with the proposed site plan. Stormwater design and installation is proposed with the Marketplace at Cedar plat. The Assistant City Engineer has reviewed the grading, drainage and erosion control, and utility plans and provides no additional comment.

Building Type and Height. The applicant has provided colored renderings of each building elevation illustrating a variety of materials and color pallet as required by Section 11-17-9 of the Zoning Ordinance. The exterior finishes are two contrasting colors of stone and brick and windows (Grade A – 65%) and EFIS and simulated wood (Grade C – 28%) as required to comply with Section 11-17-9.D.1 of the Zoning Ordinance. The exterior finish for the proposed building complies with the requirements of the Zoning Ordinance.

The proposed car wash is a single-story structure, with two towers at 35 feet. The maximum allowed building height in the M-2 District is 48 feet or four stories, whichever is less.

Landscaping. The landscape plan provides a variety of planting around the site. A row of trees is required along the west side of the pond to minimize noise and headlights shining onto Glacier Way and the residential units east of Glacier Way. The City Forester reviewed the proposed

landscape plan and commented that Item C (D): Tree Planting should include a note about B&B tree planting that specifies the removal of twine and burlap from the top half of the root ball; as well as specifying that the root flare is to be exposed and set at or slightly above grade. The tree planting detail includes this information but it should be included in the specifications.

The landscape plan must be updated to reflect these changes prior to City Council consideration of the CUP. Including the landscape modifications, the landscape plan will be considered approved. Plantings on the site must adhere to the plan and provide a as-built landscape plan prior to inspection of the installed landscaping. An escrow for the landscape materials and installation amount will be collected with the building permit.

Exterior Lighting. The plans included a photometric lighting plan for proposed exterior lighting. The plan also indicates that the light poles on site will be 22 feet in height with downcast lighting. The Zoning Ordinance limits exterior lighting to not more than one foot-candle at property lines using fixtures with horizontal shielding and not exceeding 35 feet in height. The proposed lighting plan complies with Sections 11-16-17.B of the Zoning Ordinance.

Parking. Car wash uses have a parking requirement of four spaces. There are four parking spaces proposed and 19 vacuum parking stalls. The off-street parking spaces and drive aisles meet the Zoning Ordinance requirements for size and dimensions.

Signs. All proposed signs are subject to the allowances established for the M-2 District by Section 11-23-19.D of the Zoning Ordinance. Wall signs shown on the elevations are for informational purposes only. The zoning ordinance allows a corner lot to have wall signs not to exceed 200 gross square feet. Sign permits are required to be issued prior to the installation of any signs on the building.

Trash Storage. Trash storage is proposed next to the southwest portion of the vacuum stalls. An eight-foot-tall enclosure is proposed with brick veneer and a maintenance-free gate is proposed, complying with code requirements.

CONDITIONAL USE PERMIT

Section 11-66-7.D of the Zoning Ordinance allows commercial car washes (drive-through and mechanical and self-service) in the M-2, Mixed Use District subject to meeting the following eight criteria:

1. Magazine or stacking space is constructed to accommodate six (6) vehicles per wash stall and shall be subject to the approval of the city engineer.

Prior to entering the car wash building, there are three payment kiosks at which vehicles will queue. The stacking lanes exceed six vehicles and the city engineer has reviewed the plans.

2. Magazine or stacking space must not interfere with onsite circulation patterns or required on site parking or loading areas.

The on site parking does not interfere with the traffic circulation patterns. The stacking areas to enter the car wash are separated from the site circulation for vehicles that have gone through the wash and/or vacuuming their vehicle and will be exiting the site.

3. Parking or car magazine storage space shall be screened from view of abutting residential districts in compliance with section [11-21-9](#) of this title.

Landscaping on the site, included the required modifications as stipulated in this report, will provide screening for the residential district east of Glacier Way.

4. Provisions are made to control and reduce noise and special precautions shall be taken to limit the effects of noise associated with the car wash operation, dryer and vacuum machines.

a. Where the car wash operation is within five hundred feet (500') of a residential district, For single stall car washes, the exterior vehicle doors of the car wash must remain closed during the entire operation cycle. *Not applicable.*

b. For drive-through car washes servicing multiple vehicles at once, the exterior vehicle doors shall remain closed except as a vehicle is preparing to or actively entering or exiting the wash tunnel. *Added as a condition of approval.*

c. Mechanical equipment for vacuum machines shall be located such that sound levels measured at the property line do not exceed seventy decibels (70 dB).

Noise will be mitigated by an eight-foot-tall enclosure around the vacuum producers to help contain and dampen noise at its source. Air gates are installed on the blowers, which significantly reduces noise levels during operation.

5. Building and parking related to the use shall be located no closer than five hundred feet (500') of a principal arterial roadway.

The car wash site is located on the east side of the development, over 500 feet from Cedar Avenue.

6. The location and operation of vacuum machines must not interfere with magazines or stacking areas, on site circulation or on-site parking and loading areas, and may not be located in a yard abutting a residential zoning district established by [chapter 45](#) of this title.

The vacuum machines are located in the middle of the site and do not interfere with the stacking areas for vehicles entering the car wash.

7. Untreated water from the car wash shall not be discharged into the storm sewer. If the water is to be pretreated and discharged into the storm sewer, the pretreatment plans shall be subject to review and approval of the city engineer and building official, and subject to applicable requirements of metropolitan council environmental services and MPCA.

The site will utilize a water reclamation system to reduce the amount of fresh water required to wash vehicles. The water reclamation and discharge system must be reviewed and approved by the city engineer and building official prior to issuance of a building permit.

8. Hours of operation shall be limited to 7:00 a.m. to 9:00 p.m. unless further limited by the city council. *This will be added as a condition of approval.*

GENERAL PERFORMANCE STANDARDS

In addition to the criteria for commercial car washes listed above, Section 11-4-7 lists the following performance standards for conditional use permits:

- A. The use and the site in question shall be served by a street of sufficient capacity to accommodate the type and volume of traffic which would be generated and adequate right of way shall be provided.

The site has access from a private road within the Marketplace At Cedar plat that connects to Glanshaw Avenue, a local commercial street, which connects with Glacier Way, a minor collector street. The overall Marketplace At Cedar site will also have a private road access to Cedar Avenue. These public streets and private roads are of sufficient capacity to serve the site.

- B. The site design for access and parking shall minimize internal as well as external traffic conflicts and shall be in compliance with chapter 19 of the Zoning Ordinance.

Access locations for the development were discussed with the plat and will be reviewed with each development.

- C. If applicable, a pedestrian circulation system shall be clearly defined and appropriate provisions made to protect such areas from encroachment by parked or moving vehicles.

N/A

- D. Adequate off street parking and off street loading shall be provided in compliance with chapters 19 and 20 of the Zoning Ordinance.

Section 11-19-13 of the Zoning Ordinance requires four spaces for a drive through car wash. The site includes 4 parking spaces and 19 spaces for adjacent to vacuum equipment for use by the customers.

- E. Loading areas and drive-up facilities shall be positioned so as to minimize internal site access problems and maneuvering conflicts, to avoid visual or noise impacts on any "adjacent" residential use or district, and provided in compliance with chapter 20 of this title.

The car wash building does not include a loading dock.

F. Whenever a nonresidential use "is adjacent to" a residential use or district, a buffer area with screening and landscaping shall be provided in compliance with chapter 21 of this title.

There is a drainage and utility basin with landscaping located between the car wash and the townhomes to the east.

G. General site screening and landscaping shall be provided in compliance with chapter 21 of this title.

Plantings are proposed around the site. The landscape plan shall be amended prior to Council approval to address the comments mentioned previously in the staff report.

H. All exterior lighting shall be directed so as not to cast glare toward or onto the public right of way or neighboring residential uses or districts, and shall be in compliance with section 11-16-17 of the Zoning Ordinance.

All lighting is proposed to be shielded, downcast type fixtures to prevent glare onto adjacent streets and properties. The photometric plan meets the maximum allowed threshold of one-foot candle at the property line.

I. Potential exterior noise generated by the use shall be identified and mitigation measures as may be necessary shall be imposed to ensure compliance with section 11-16-25 of the Zoning Ordinance.

As noted earlier in this memo, the facility will use "noise reduction technology to help alleviate excessive noise in the tunnel and vacuum lot." Also, landscaping or fencing added to screen the ground transformer will help to mitigate noises that may come from the transformer.

J. The site drainage system shall be subject to the review and approval of the city engineer.

The Engineering Division has reviewed and approved the site drainage and utility plans.

K. The architectural appearance and functional design of the building and site shall not be so dissimilar to the existing or potential buildings and area so as to cause a blighting influence. All sides of the principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment.

The proposed building is a one-story building, with two towers approximately 35 feet in height, meant to draw attention to the site. The building is below the maximum height of 48 feet for the M-2 district.

L. Provisions shall be made for daily litter control, an interior location for recycling, and trash handling and storage or an outdoor, enclosed receptacle area shall be provided in compliance with section 11-18-11 of the Zoning Ordinance.

A trash/recyclables enclosure is proposed to be located on the southeast side of the parcel, near the entrance to the site, complying with code requirements.

M. All signs and informational or visual communication devices shall be in compliance with chapter 23 of the Zoning Ordinance.

Signs are not approved with the CUP. All signs shall comply with Chapter 23 of the zoning ordinance.

N. The use and site shall be in compliance with any federal, state or county law or regulation that is applicable and any related permits shall be obtained and documented to the city.

Mister Car Wash is required to obtain any permits from Metropolitan Council or other agencies, if applicable.

O. Any applicable business licenses mandated by this code are approved and obtained.

Not applicable.

P. The hours of operation may be restricted when there is judged to be an incompatibility with a residential use or district.

Hours of operation shall be limited to 7:00 a.m. to 9:00 p.m. unless further limited by the city council. The hours of operation are not expected to be incompatible with the surrounding commercial area.

Q. The use complies with all applicable performance standards of the zoning district in which it is located and where applicable, any nonconformities shall be eliminated.

Not applicable.

R. All additional conditions pertaining to a specific site are subject to change when the council, upon investigation in relation to a formal request, finds that the general welfare and public betterment can be served as well or better by modifying or expanding the conditions set forth herein.

Not applicable.

RECOMMENDATION

The Mister Car Wash conditional use permit is consistent with the requirements of the Zoning Ordinance. Community Development staff recommends approval subject to the following conditions:

1. This CUP is contingent upon the recording of the Marketplace At Cedar final plat.
2. The site shall be developed in accordance with the plans approved by the City Council.
3. Trash and recycle bins shall be stored inside the trash enclosure constructed in accordance with the plans submitted with the conditional use permit application and approved by the City Council.

4. Prior to consideration by the City Council, the landscape plan must be revised to show plantings on the west side of the stormwater basin and adjust the text on the plans as noted by the City Forester. A security for landscaping must be submitted with the building permit and an as-built plan of the landscaping submitted prior to inspection.
5. The water reclamation and discharge system must be reviewed and approved by the city engineer and building official prior to issuance of a building permit.
6. Signs shall comply with Zoning Ordinance requirements and receive sign permit approval prior to installation.
7. For drive-through car washes servicing multiple vehicles at once, the exterior vehicle doors shall remain closed except as a vehicle is preparing to or actively entering or exiting the wash tunnel.
8. Hours of operation shall be limited to 7:00 a.m. to 9:00 p.m. unless further limited by the city council.

Findings of Fact for approval of the conditional use permit request are attached.



CEDAR AVENUE (CSAH 23)

GLASGOW AVE

179TH ST (CSAH 9)

Taco
Bell

Mister Car Wash -
Approximate location

GLACIERWAY

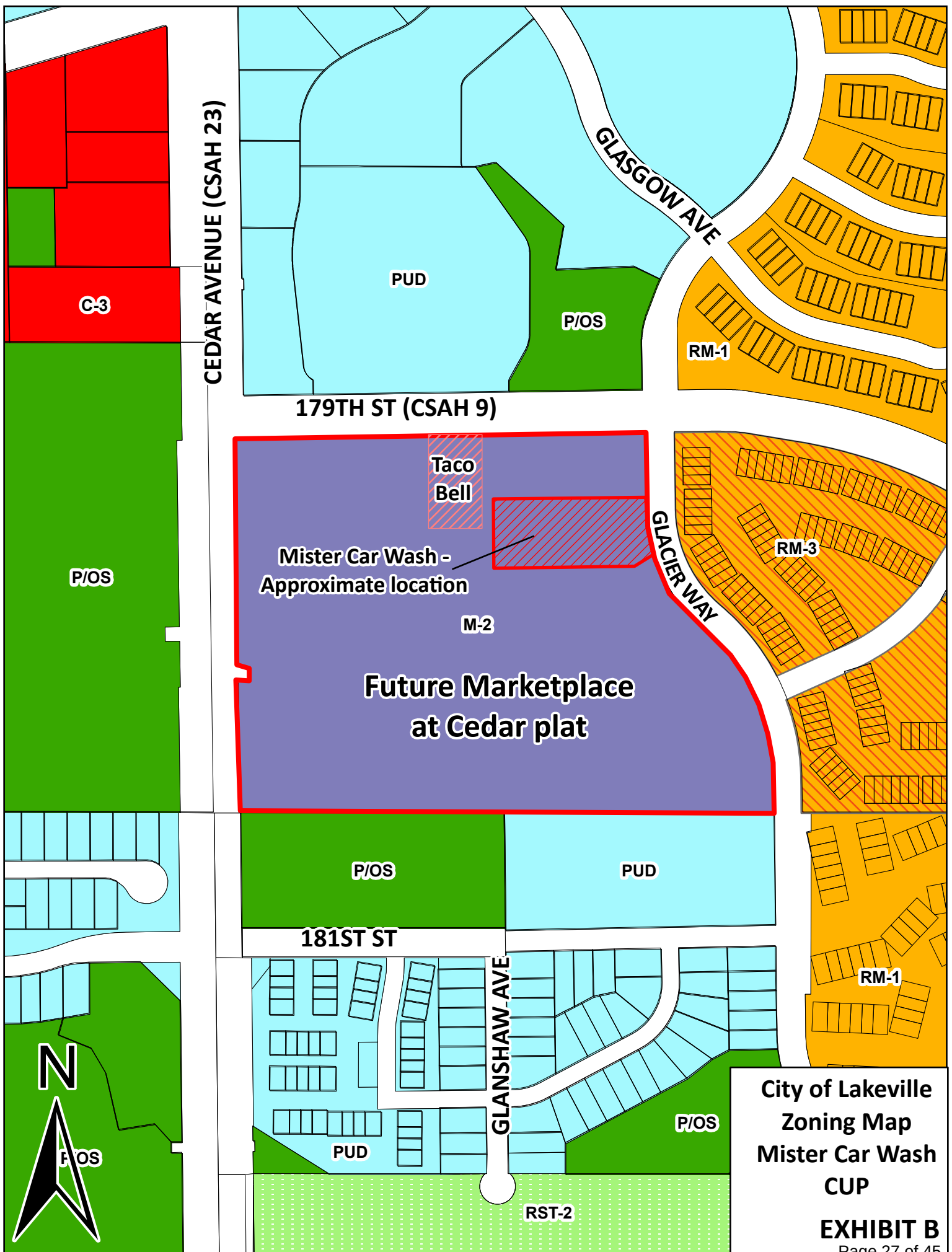
Future Marketplace
at Cedar plat

181ST ST

GLANSHAW AVE

City of Lakeville
Location Map
Mister Car Wash
CUP

EXHIBIT A



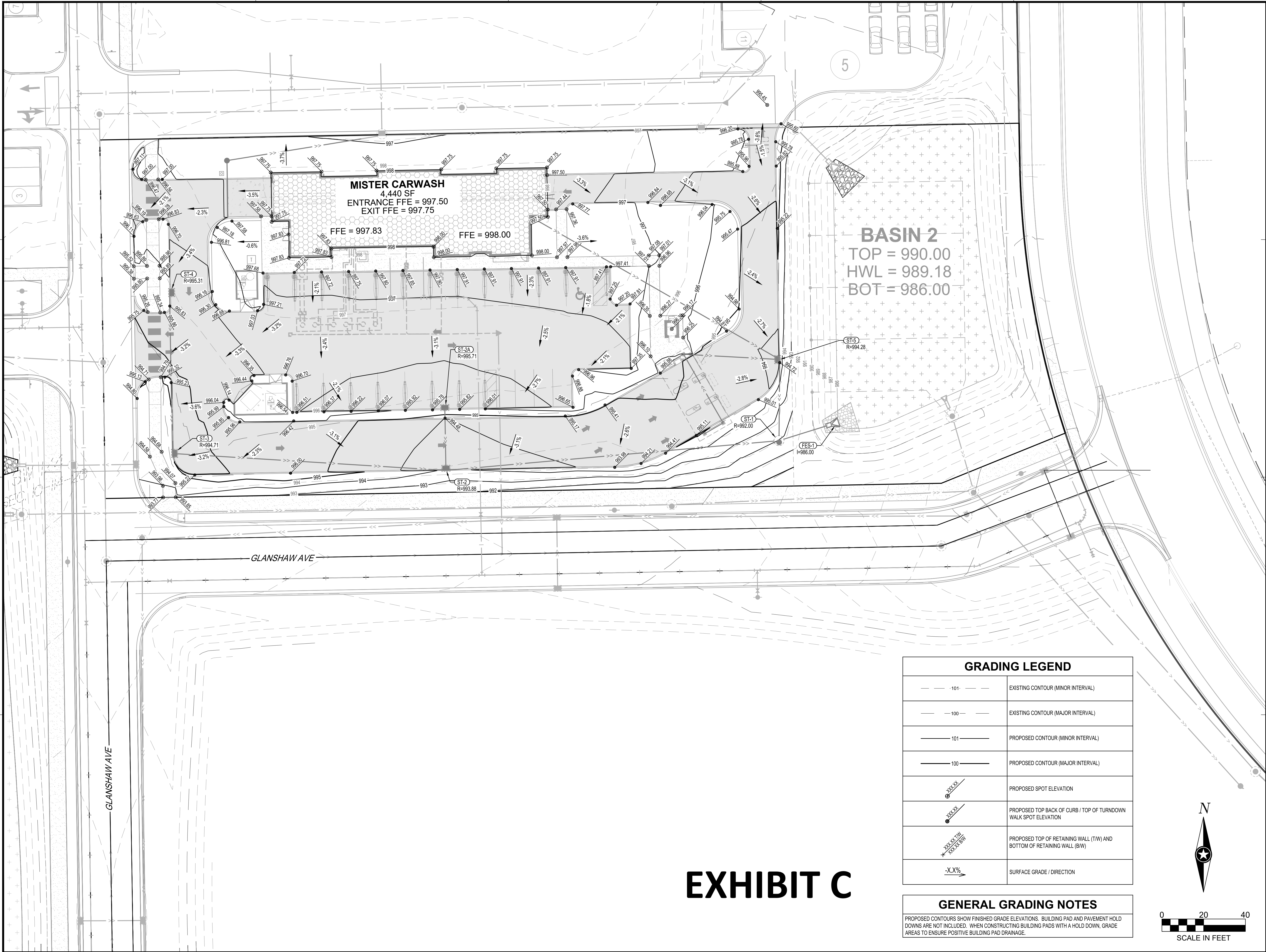
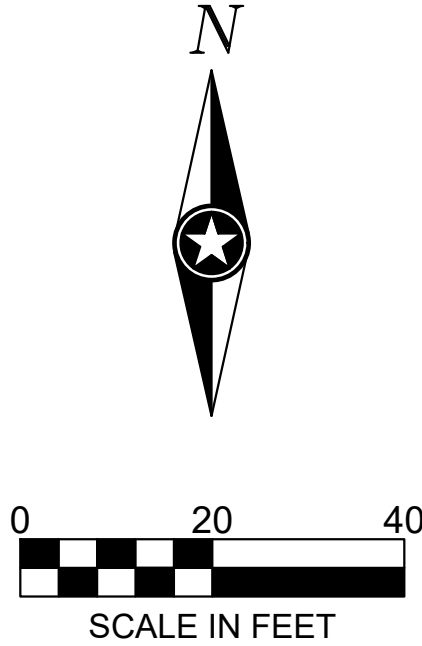


EXHIBIT C

Grading Legend	
	EXISTING CONTOUR (MINOR INTERVAL)
	EXISTING CONTOUR (MAJOR INTERVAL)
	PROPOSED CONTOUR (MINOR INTERVAL)
	PROPOSED CONTOUR (MAJOR INTERVAL)
	PROPOSED SPOT ELEVATION
	PROPOSED TOP BACK OF CURB / TOP OF TURNDOWN WALK SPOT ELEVATION
	PROPOSED TOP OF RETAINING WALL (TW) AND BOTTOM OF RETAINING WALL (BW)
	SURFACE GRADE / DIRECTION

General Grading Notes	
PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNS ARE NOT INCLUDED. WHEN CONSTRUCTING BUILDING PADS WITH A HOLD DOWN, GRADE AREAS TO ENSURE POSITIVE BUILDING PAD DRAINAGE.	



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

RYAN ANDERSON

Ryan Anderson

DATE _____ LIC. NO. 55938

SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

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PROJECT

MISTER CARWASH

LAKEVILLE

LAKEVILLE MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
08/15/25	CITY SUBMITTAL #1	ARA

PROJECT NO.	25-32359
FILE NAME	32359 C4-GRADE
DRAWN BY	ARA
DESIGNED BY	ARA
REVIEWED BY	RJA
ORIGINAL ISSUE DATE	-/-/-
CLIENT PROJECT NO.	2606

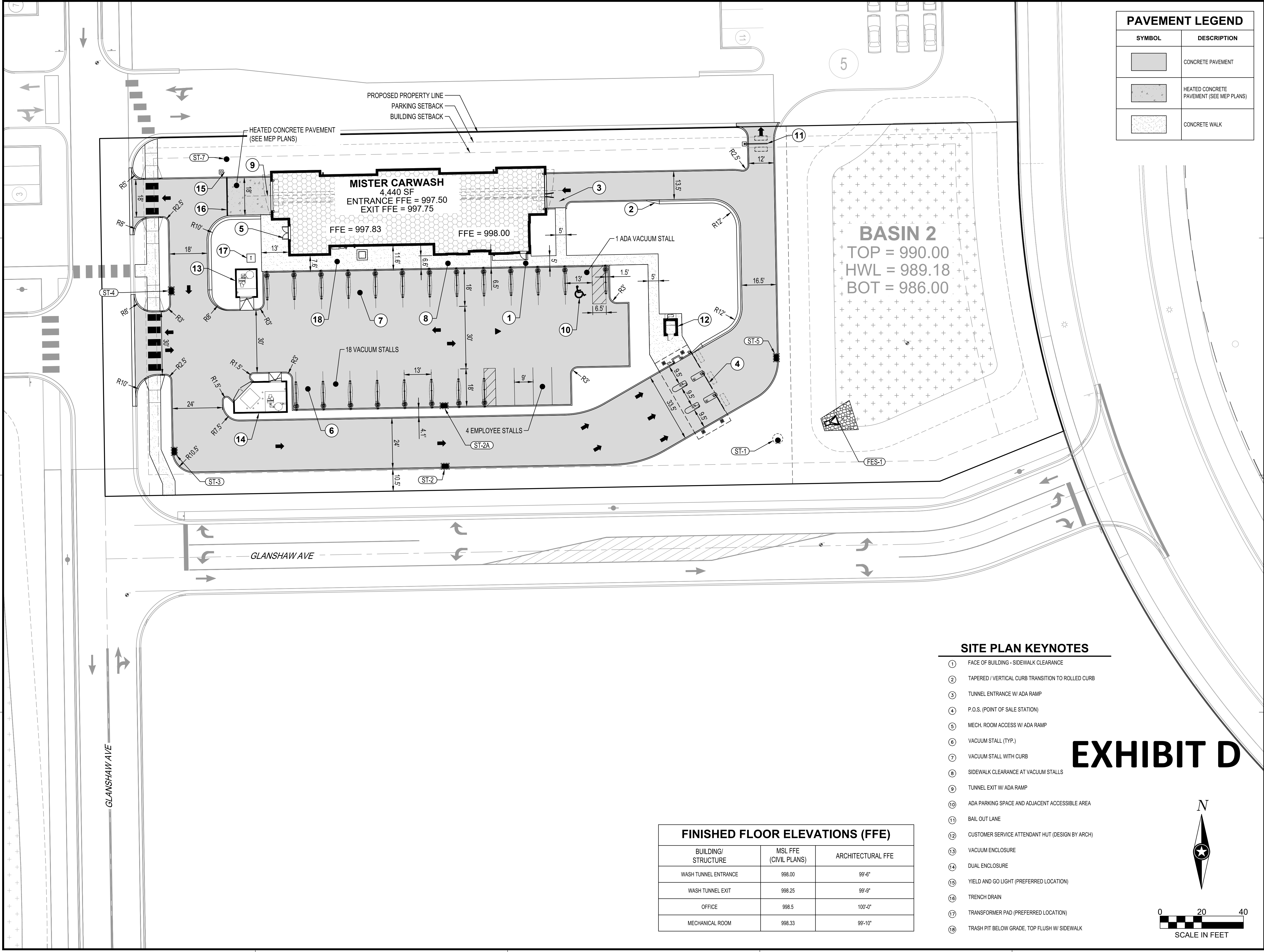
TITLE

GRADING PLAN

SHEET

C4-10

PRELIMINARY NOT FOR CONSTRUCTION PRELIMINARY NOT FOR CONSTRUCTION



PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	CONCRETE PAVEMENT
	HEATED CONCRETE PAVEMENT (SEE MEP PLANS)
	CONCRETE WALK



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

RYAN ANDERSON
Ryan Anderson
DATE _____ LIC. NO. 55938

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PROJECT

**MISTER CARWASH
LAKEVILLE**

LAKEVILLE MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
08/15/25	CITY SUBMITTAL #1	ARA

PROJECT NO.	25-32359
FILE NAME	32359 C3-SITE
DRAWN BY	ARA
DESIGNED BY	ARA
REVIEWED BY	RJA
ORIGINAL ISSUE DATE	-/-/-
CLIENT PROJECT NO.	2606

TITLE

SITE PLAN

SHEET

C3-10

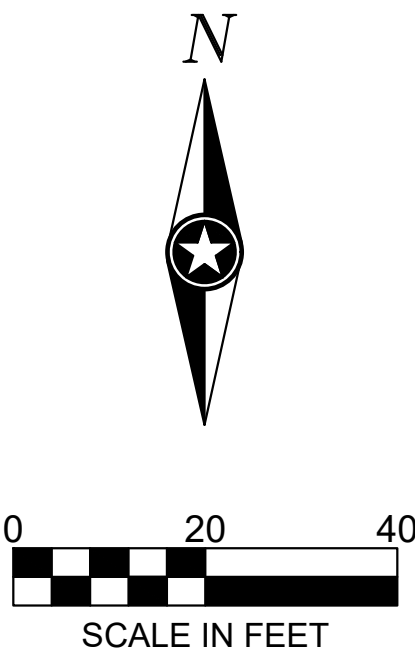
SITE PLAN KEYNOTES

- ① FACE OF BUILDING - SIDEWALK CLEARANCE
- ② TAPERED / VERTICAL CURB TRANSITION TO ROLLED CURB
- ③ TUNNEL ENTRANCE W/ ADA RAMP
- ④ P.O.S. (POINT OF SALE STATION)
- ⑤ MECH. ROOM ACCESS W/ ADA RAMP
- ⑥ VACUUM STALL (TYP.)
- ⑦ VACUUM STALL WITH CURB
- ⑧ SIDEWALK CLEARANCE AT VACUUM STALLS
- ⑨ TUNNEL EXIT W/ ADA RAMP
- ⑩ ADA PARKING SPACE AND ADJACENT ACCESSIBLE AREA
- ⑪ BAIL OUT LANE
- ⑫ CUSTOMER SERVICE ATTENDANT HUT (DESIGN BY ARCH)
- ⑬ VACUUM ENCLOSURE
- ⑭ DUAL ENCLOSURE
- ⑮ YIELD AND GO LIGHT (PREFERRED LOCATION)
- ⑯ TRENCH DRAIN
- ⑰ TRANSFORMER PAD (PREFERRED LOCATION)
- ⑱ TRASH PIT BELOW GRADE, TOP FLUSH W/ SIDEWALK

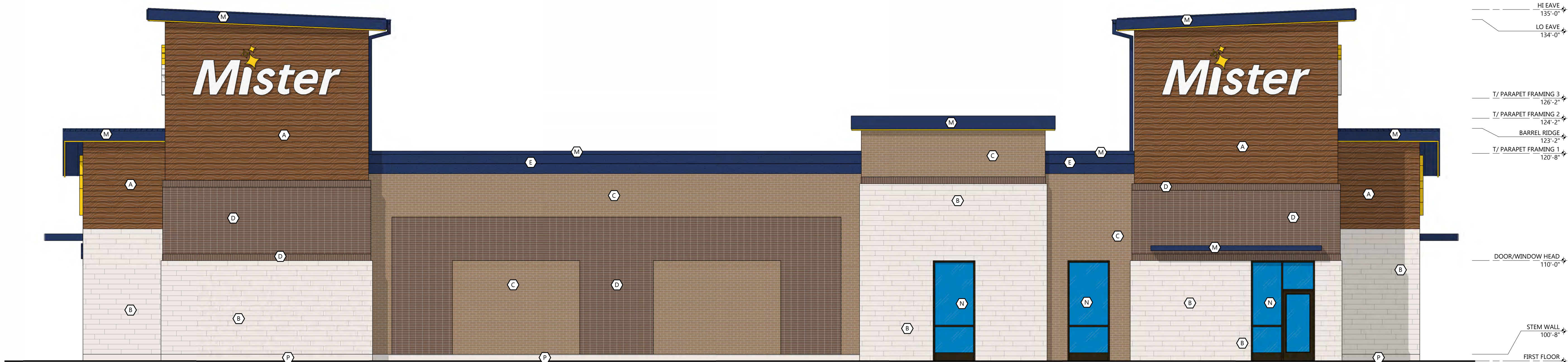
FINISHED FLOOR ELEVATIONS (FFE)

BUILDING/ STRUCTURE	MSL FFE (CIVIL PLANS)	ARCHITECTURAL FFE
WASH TUNNEL ENTRANCE	998.00	99'-5"
WASH TUNNEL EXIT	998.25	99'-9"
OFFICE	998.5	100'-0"
MECHANICAL ROOM	998.33	99'-10"

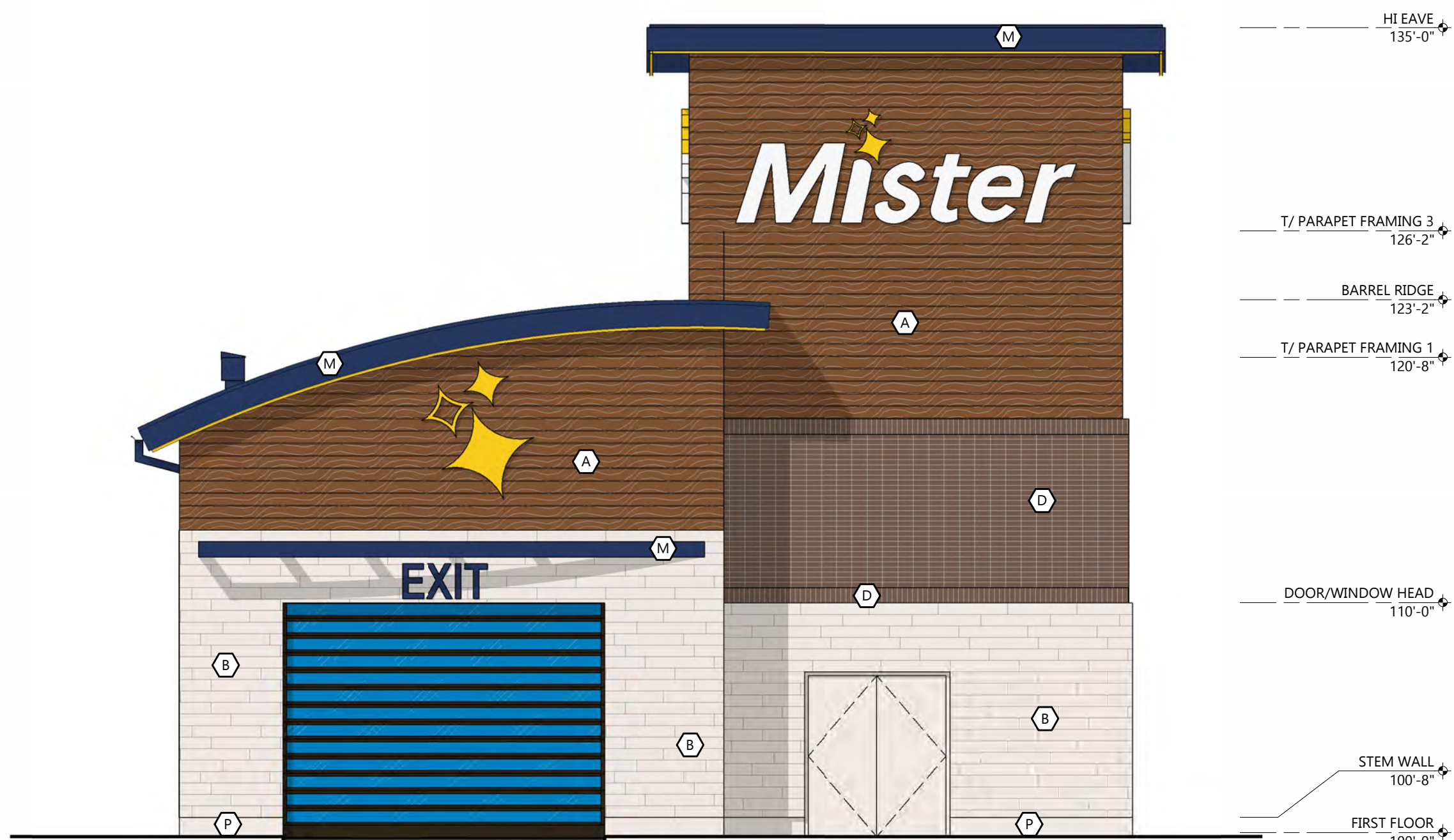
EXHIBIT D



PRELIMINARY NOT FOR CONSTRUCTION



OFFICE ELEVATION
SCALE: 3/16" = 1'-0"



EXIT ELEVATION
SCALE: 3/16" = 1'-0"



ENTRANCE ELEVATION
SCALE: 3/16" = 1'-0"



TUNNEL ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR MATERIAL KEY

- A** PREFINISHED ALUMINUM BATTENS
MFR: LUMABUILT
STYLE: MOSAIC 1x6 BATTENS
COLOR: HAZELNUT BROWN
- B** STONE VENEER
MFR: EL DORADO STONE
STYLE: VANTAGE 30 (6"H x 30"L x 1"D)
COLOR: WHITE ELM w/ MATCHING MORTAR JOINT
- C** BRICK VENEER (RUNNING BOND)
MFR: BELDEN BRICK
STYLE: MODULAR (3 5/8" x 2 1/4" x 7 5/8")
COLOR: TUMBLEWEED VELOUR (w/ GRAY MORTAR)
- D** BRICK VENEER (STACKED BOND & SOLDIER)
MFR: BELDEN BRICK
STYLE: MODULAR (3 5/8" x 2 1/4" x 7 5/8")
COLOR: SEAL BROWN VELOUR (w/ GRAY MORTAR)
- E** EIFS
TEXTURE: SAND
COLOR: PT-9 (IN THE NAVY)
- F** NOT USED
- G** NOT USED
- H** PRECAST STONE SILL
COLOR TO MATCH STONE VENEER
- I** NOT USED
- J** PREFINISHED STANDING SEAM METAL ROOF PANEL
MFR: CTRMS (OR EQUAL)
STYLE: LARGE BATTEN 24 GA
COLOR: PT-9 (IN THE NAVY)
- M** PREFINISHED METAL TRIM AND ACCESSORIES
MFR: CTRMS (OR EQUAL)
COLOR: PT-9 (IN THE NAVY)
- N** ALUMINUM STOREFRONT SYSTEM
GLAZING: CLEAR
FRAME: DARK BRONZE
- P** CONCRETE STEM WALL
TEXTURE: HAND RUB
COLOR TO MATCH PT-10
- Q** TREX DECK BOARD
COLOR TO MATCH PT-3

GENERAL NOTES

- ALL SIGNAGE SHOWN FOR INFORMATIONAL PURPOSES ONLY. ALL ADVERTISING SIGNAGE SUBJECT TO SEPARATE SIGN PERMIT SUBMITTAL AND APPROVAL.
- EXTERIOR LIGHTING LOCATIONS SHOWN. SEE ELECTRICAL PLANS FOR EXTERIOR LIGHTING SPECIFICATIONS AND REQUIREMENTS. COORDINATE J-BOX LOCATIONS W/ FUTURE OWNER LIGHTING.
- APPLY CLEAR WATERPROOF SEALER TO ALL EXPOSED STONE VENEER AND CMU.
- METAL ROOF COLOR IS A CUSTOM COLOR. NO ALTERNATE WILL BE ACCEPTED.
- SEE ROOM FINISH PLAN FOR PAINT COLORS AND SHEENS.

BUILDING MATERIAL REQUIREMENTS

GRADE A MATERIALS	(65% MIN, 3 TYPES MIN)
BRICK (2,827 SF)	32%
STONE (2,163 SF)	24%
STOREFRONT (827 SF)	9%
TOTAL = 65%	
GRADE B & C MATERIALS	(35% MAX)
EIFS (204 SF)	2%
BATTENS (SIMULATED WOOD) (2,328 SF)	26%
TOTAL = 28%	
MISC TRIM, COPING, FASCIA, ETC (578 SF)	7%

PROPOSED CAR WASH FOR:

MISTER CAR WASH - MN 2606 CEDAR

18000 CEDAR AVE • LAKEVILLE, MN 55024

(130L - V2.1 - ZONE 1)

PROFESSIONAL SEAL

PRELIMINARY DATES

JULY 17, 2025

NOT FOR CONSTRUCTION

JOB NUMBER

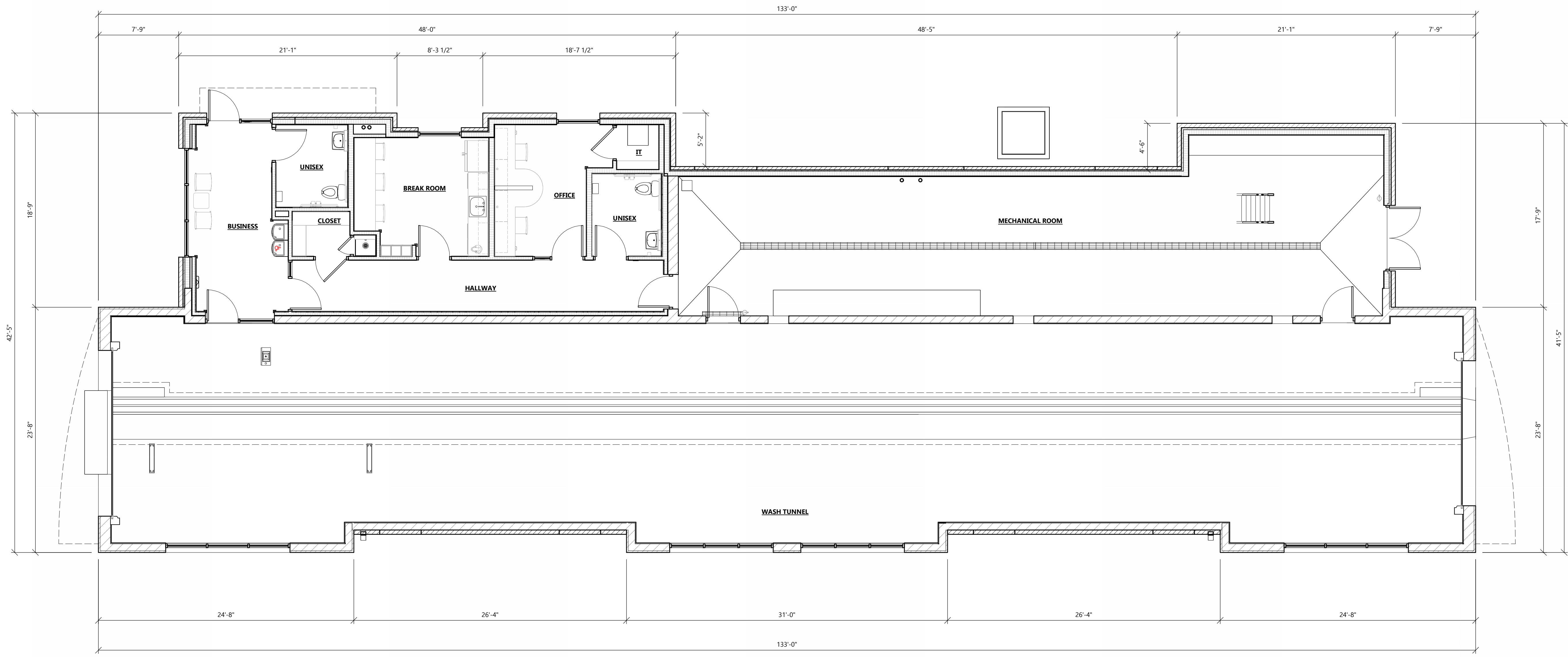
250037000

SHEET NUMBER

PRE-1

EXHIBIT E

PRELIMINARY EXTERIOR ELEVATIONS



NORTH
FLOOR PLAN
SCALE: 3/16" = 1'-0"
0 5' 10'



PROJECT INFORMATION

PROPOSED CAR WASH FOR:
MISTER CAR WASH - MN 2606 CEDAR
18000 CEDAR AVE • LAKEVILLE, MN 55024

(130L - V2.1 - ZONE 1)

PROFESSIONAL SEAL

PRELIMINARY DATES

JULY 17, 2025

NOT FOR CONSTRUCTION

JOB NUMBER

250037000

SHEET NUMBER

PRE-2



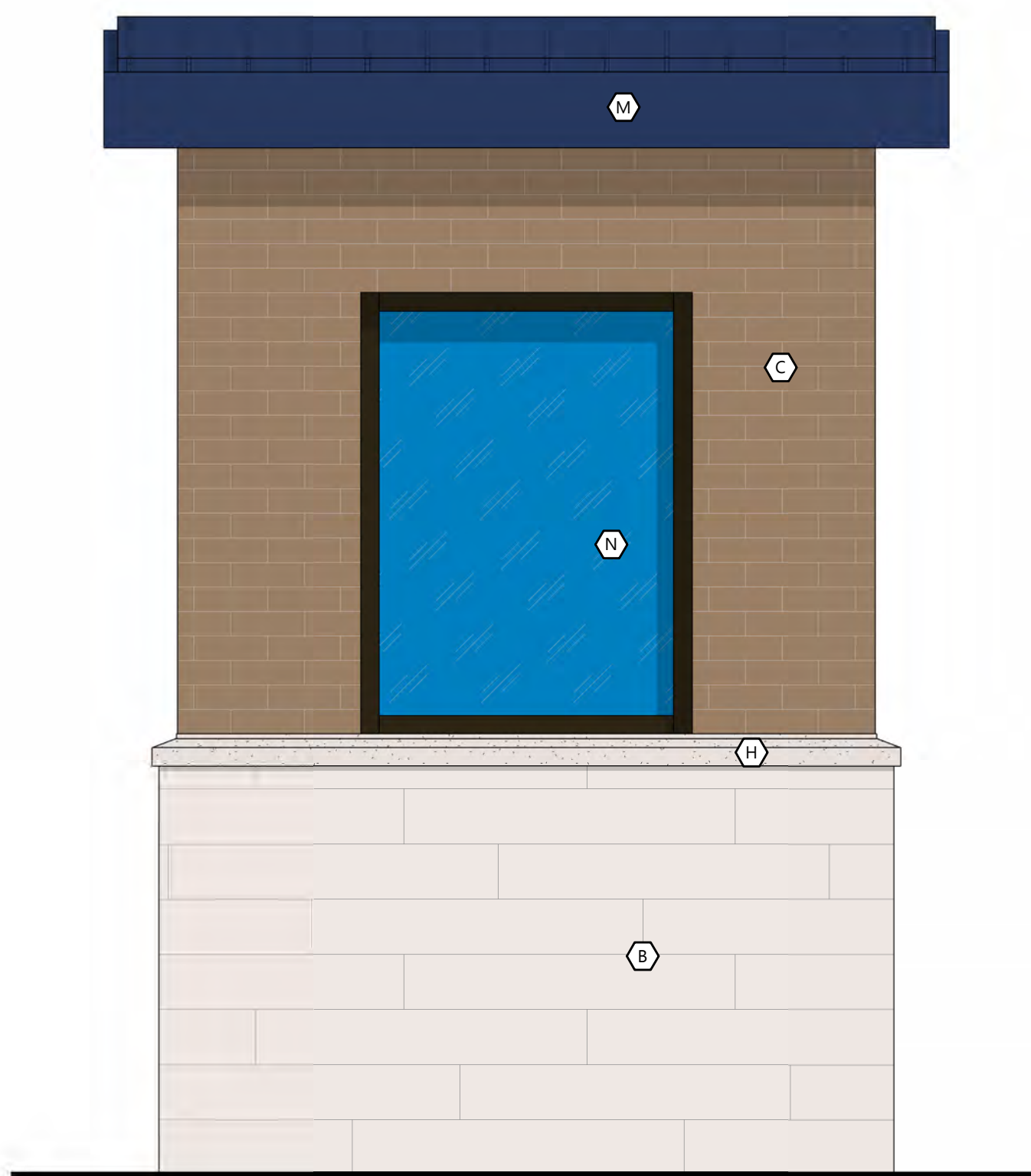
LEFT ELEVATION
SCALE: 3/4" = 1'-0"



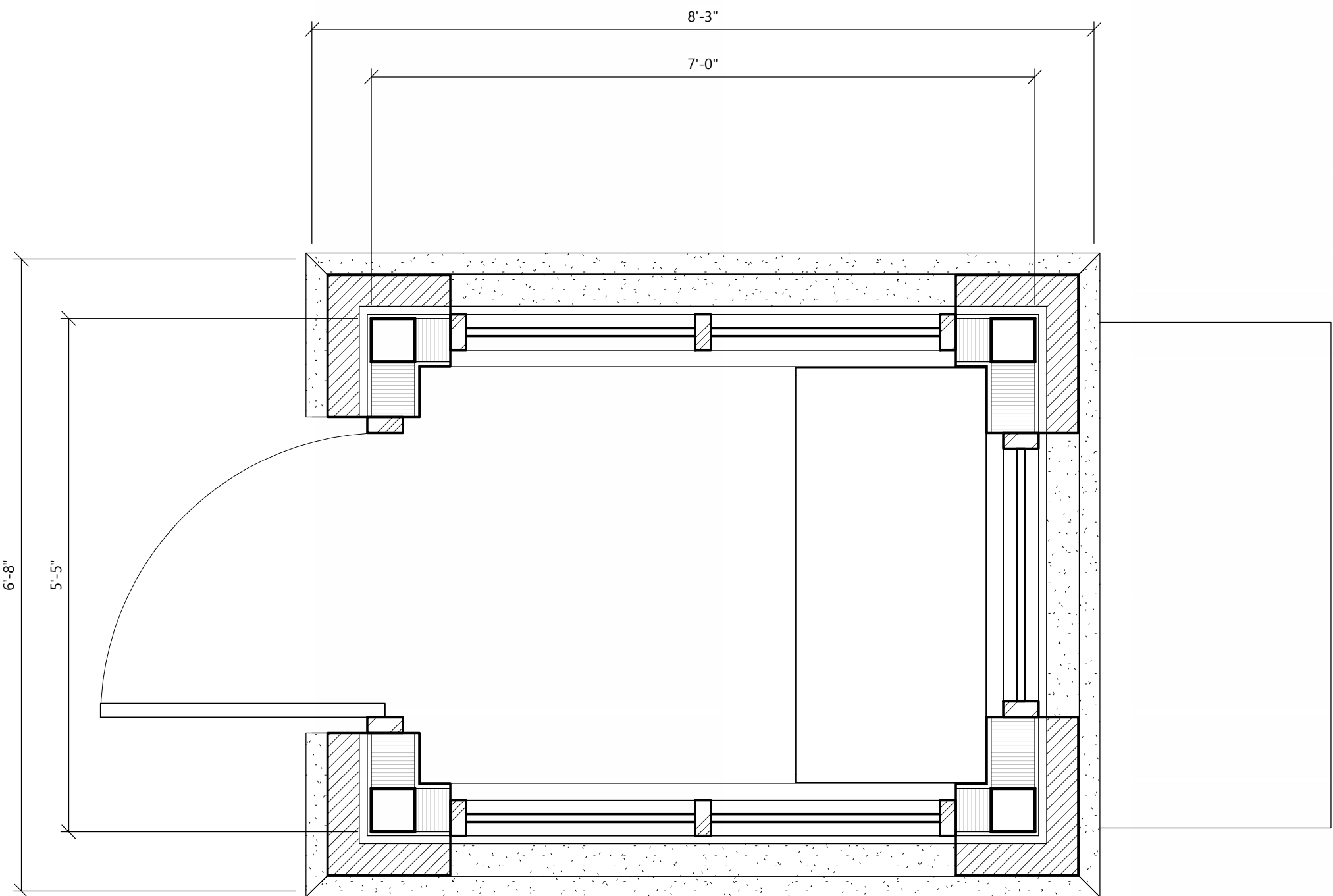
FRONT ELEVATION
SCALE: 3/4" = 1'-0"



RIGHT ELEVATION
SCALE: 3/4" = 1'-0"



REAR ELEVATION
SCALE: 3/4" = 1'-0"



SHELTER PLAN
SCALE: 3/4" = 1'-0"

EXTERIOR MATERIAL KEY

	PREFINISHED ALUMINUM BATTENS MFR: LUMAQUILT STYLE: MOSAIC 1x6 BATTENS COLOR: HAZELNUT BROWN
	STONE VENEER MFR: EL DORADO STONE STYLE: VANTAGE 30 (6"H x 30"L x 1"D) COLOR: WHITE ELM w/ MATCHING MORTAR JOINT
	BRICK VENEER (RUNNING BOND) MFR: BELDEN BRICK STYLE: MODULAR (3 5/8" x 2 1/4" x 7 5/8") COLOR: TUMBLEWEED VELOUR (w/ GRAY MORTAR)
	BRICK VENEER (STACKED BOND & SOLDIER) MFR: BELDEN BRICK STYLE: MODULAR (3 5/8" x 2 1/4" x 7 5/8") COLOR: SEAL BROWN VELOUR (w/ GRAY MORTAR)
	EIFS TEXTURE: SAND COLOR: PT-9 (IN THE NAVY)
	NOT USED
	NOT USED
	PRECAST STONE SILL COLOR TO MATCH STONE VENEER
	NOT USED
	PREFINISHED STANDING SEAM METAL ROOF PANEL MFR: CTMS (OR EQUAL) STYLE: LARGE BATTEN 24 GA COLOR: PT-9 (IN THE NAVY)
	PREFINISHED METAL TRIM AND ACCESSORIES MFR: CTMS (OR EQUAL) COLOR: PT-9 (IN THE NAVY)
	ALUMINUM STOREFRONT SYSTEM GLAZING: CLEAR FRAME: DARK BRONZE
	CONCRETE STEM WALL TEXTURE: HAND RUB COLOR TO MATCH PT-10
	TREX DECK BOARD COLOR TO MATCH PT-3

GENERAL NOTES

- ALL SIGNAGE SHOWN FOR INFORMATIONAL PURPOSES ONLY. ALL ADVERTISING SIGNAGE SUBJECT TO SEPARATE SIGN PERMIT SUBMITTAL AND APPROVAL.
- EXTERIOR LIGHTING LOCATIONS SHOWN. SEE ELECTRICAL PLANS FOR EXTERIOR LIGHTING SPECIFICATIONS AND REQUIREMENTS. COORDINATE J-BOX LOCATIONS W/ FUTURE OWNER LIGHTING.
- APPLY CLEAR WATERPROOF SEALER TO ALL EXPOSED STONE VENEER AND CMU.
- METAL ROOF COLOR IS A CUSTOM COLOR. NO ALTERNATE WILL BE ACCEPTED.
- SEE ROOM FINISH PLAN FOR PAINT COLORS AND SHEENS.

PROJECT INFORMATION

PROPOSED CAR WASH FOR:
MISTER CAR WASH - MN 2606 CEDAR
18000 CEDAR AVE • LAKEVILLE, MN 55024

(130L - V2.1 - ZONE 1)

PROFESSIONAL SEAL

PRELIMINARY DATES

JULY 17, 2025

JULY 17, 2025

JULY 17, 2025

JULY 17, 2025

JULY 17, 2025

JULY 17, 2025

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JULY 17, 2025

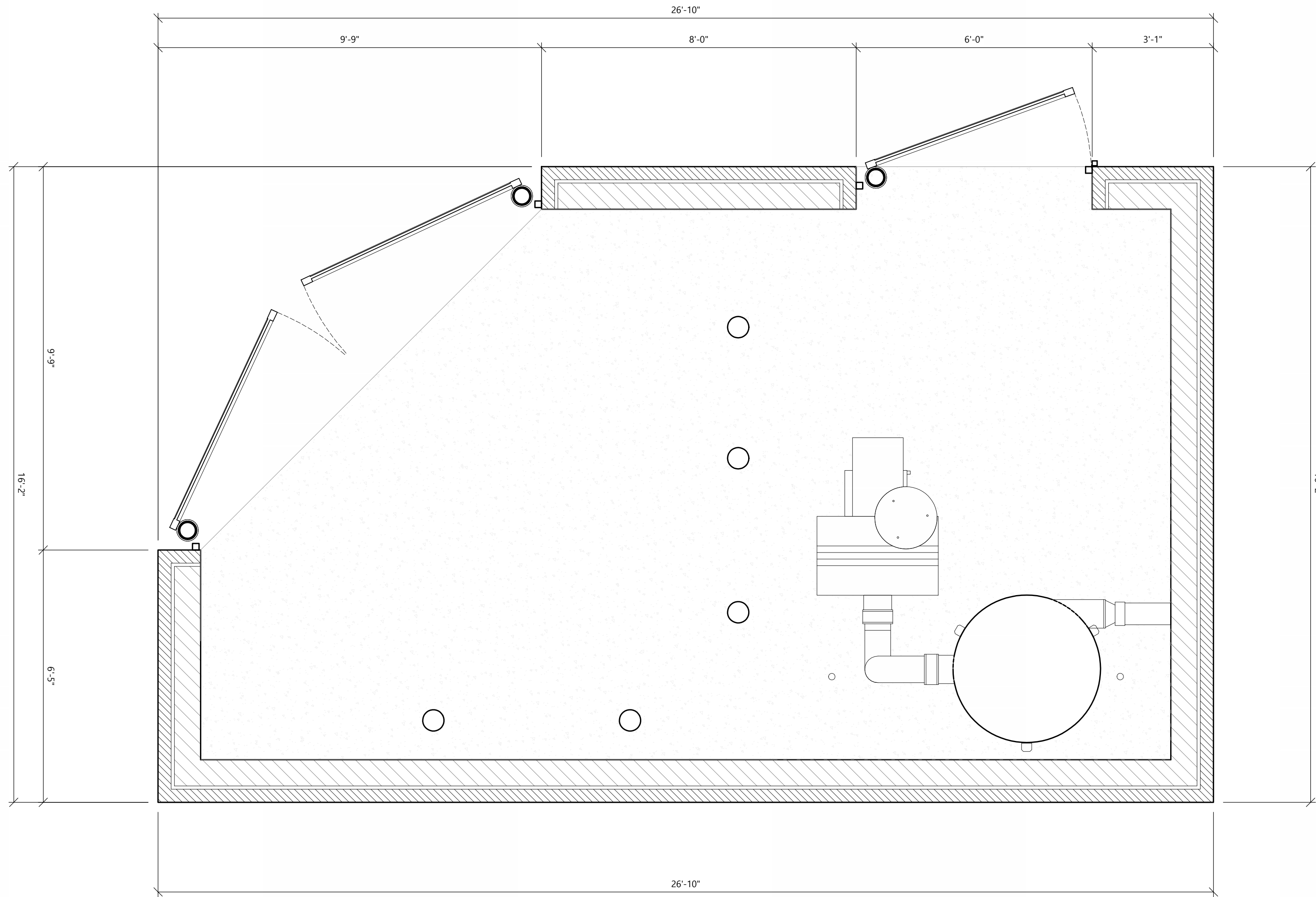
JULY 17, 2025

JULY 17, 2025

JOB NUMBER
250037000

SHEET NUMBER

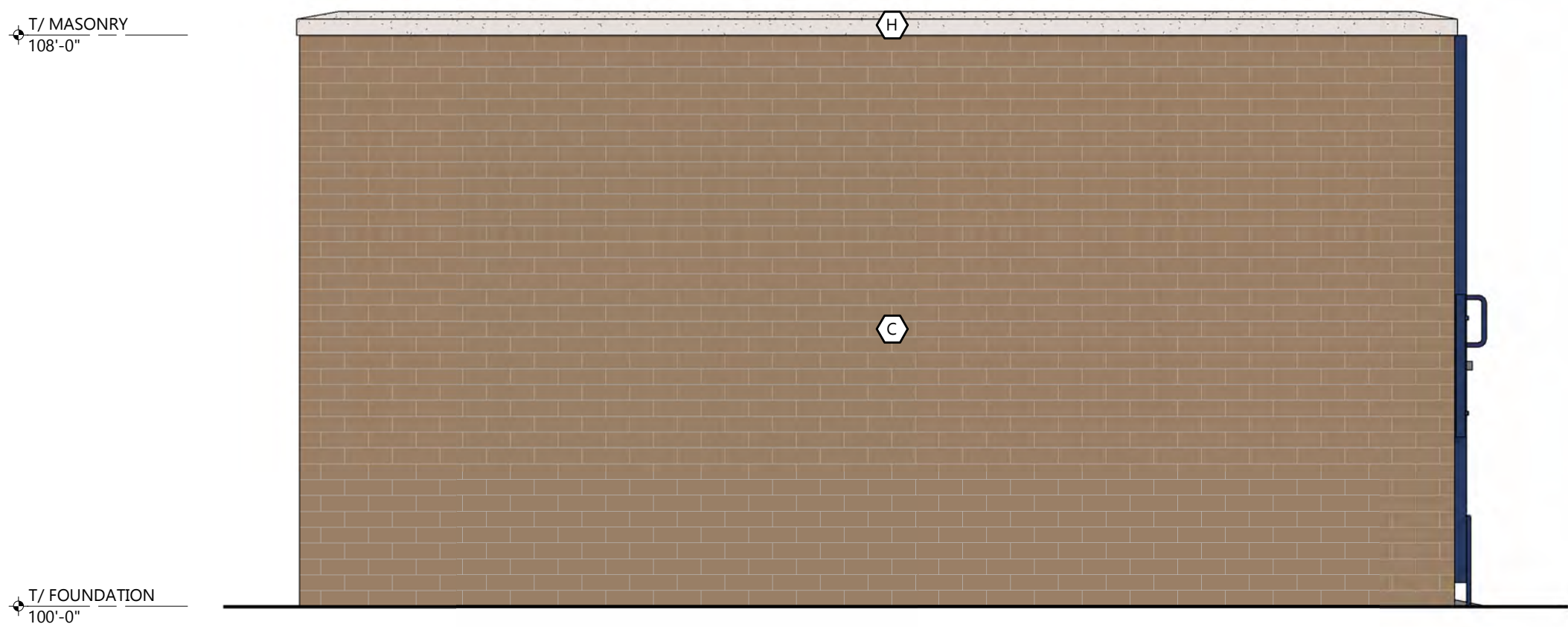
PRE-3



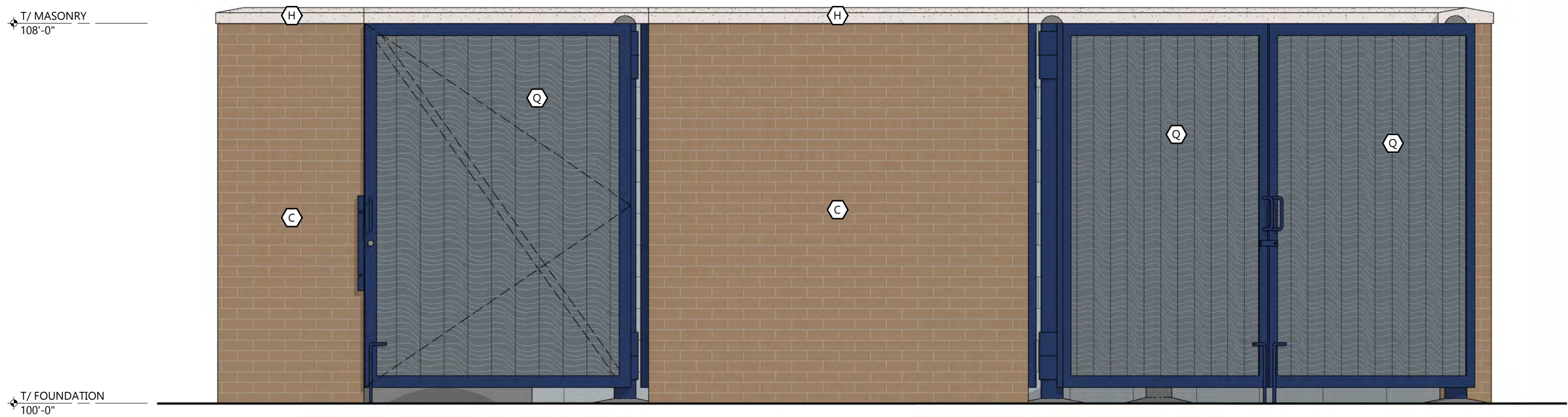
ENCLOSURE PLAN
SCALE: 1/2" = 1'-0"

EXTERIOR MATERIAL KEY	
	PREFINISHED ALUMINUM BATTS MFR: LUMAULT STYLE: MOSAIC 1x6 BATTS COLOR: HAZELNUT BROWN
	STONE VENEER MFR: EL DORADO STONE STYLE: VANTAGE 30 (6"H x 30"L x 1"D) COLOR: WHITE ELM w/ MATCHING MORTAR JOINT
	BRICK VENEER (RUNNING BOND) MFR: BELDEN BRICK STYLE: MODULAR (3 5/8" x 2 1/4" x 7 5/8") COLOR: TUMBLEWEED VELOUR (w/ GRAY MORTAR)
	BRICK VENEER (STACKED BOND & SOLDIER) MFR: BELDEN BRICK STYLE: MODULAR (3 5/8" x 2 1/4" x 7 5/8") COLOR: SEAL BROWN VELOUR (w/ GRAY MORTAR)
	EIFS TEXTURE: SAND COLOR: PT-9 (IN THE NAVY)
	NOT USED
	NOT USED
	PRECAST STONE SILL COLOR TO MATCH STONE VENEER
	NOT USED
	PREFINISHED STANDING SEAM METAL ROOF PANEL MFR: CTMS (OR EQUAL) STYLE: LARGE BATTEN 24 GA COLOR: PT-9 (IN THE NAVY)
	PREFINISHED METAL TRIM AND ACCESSORIES MFR: CTMS (OR EQUAL) COLOR: PT-9 (IN THE NAVY)
	ALUMINUM STOREFRONT SYSTEM GLAZING: CLEAR FRAME: DARK BRONZE
	CONCRETE STEM WALL TEXTURE: HAND RUB COLOR TO MATCH PT-10
	TREX DECK BOARD COLOR TO MATCH PT-3

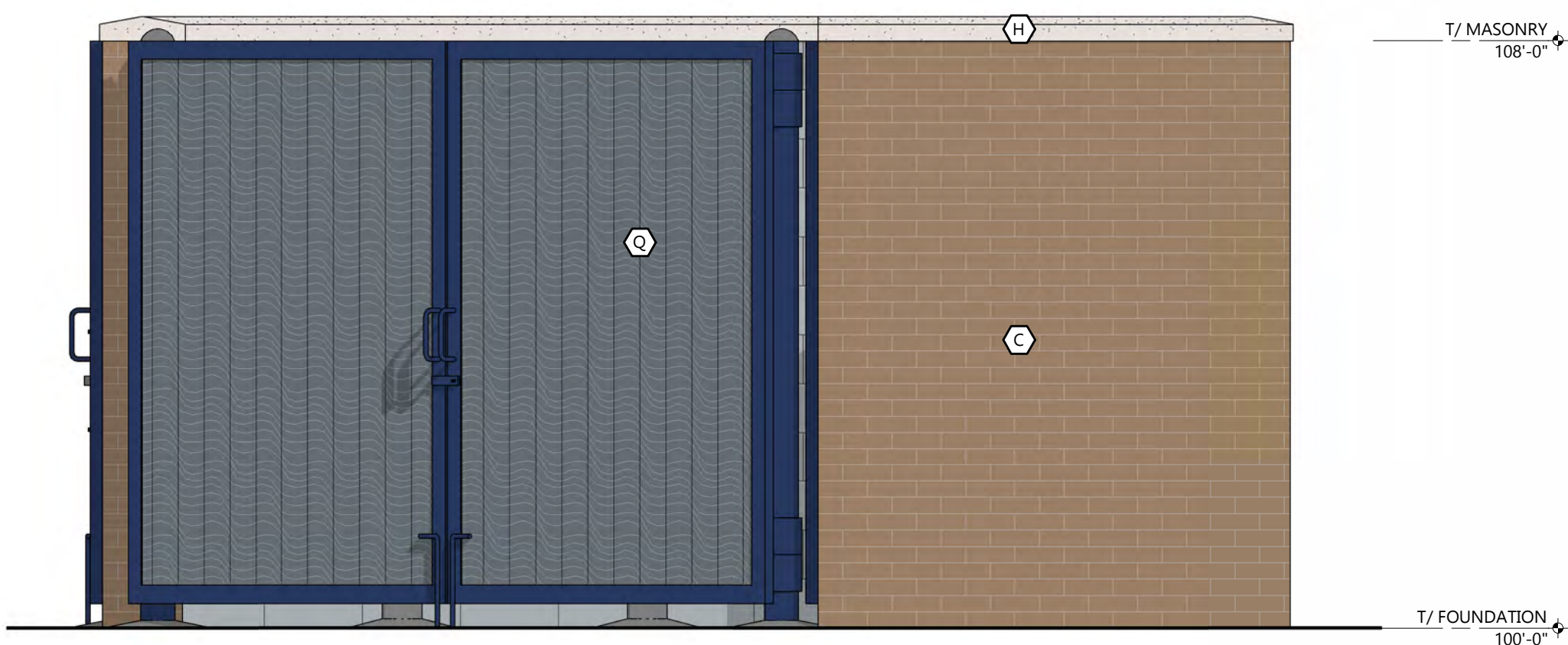
- GENERAL NOTES
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 - APPLY CLEAR WATERPROOF SEALER TO ALL EXPOSED STONE VENEER AND CMU.
 - METAL ROOF COLOR IS A CUSTOM COLOR. NO ALTERNATE WILL BE ACCEPTED.
 - SEE ROOM FINISH PLAN FOR PAINT COLORS AND SHEENS.



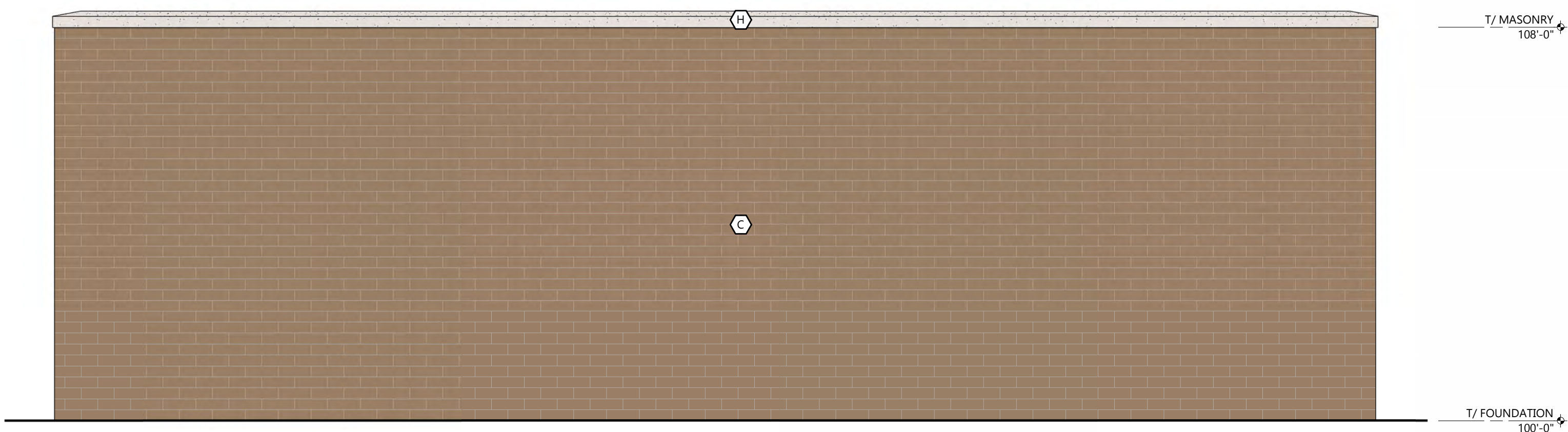
ELEVATION - LEFT
SCALE: 1/2" = 1'-0"



ELEVATION - FRONT
SCALE: 1/2" = 1'-0"



ELEVATION - RIGHT
SCALE: 1/2" = 1'-0"



ELEVATION - REAR
SCALE: 1/2" = 1'-0"

PRELIMINARY DUMPSTER & VACUUM ENCLOSURE

PROJECT INFORMATION

PROPOSED CAR WASH FOR:
MISTER CAR WASH - MN 2606 CEDAR
18000 CEDAR AVE • LAKEVILLE, MN 55024

(130L - V2.1 - ZONE 1)

PROFESSIONAL SEAL

PRELIMINARY DATES

JULY 17, 2025

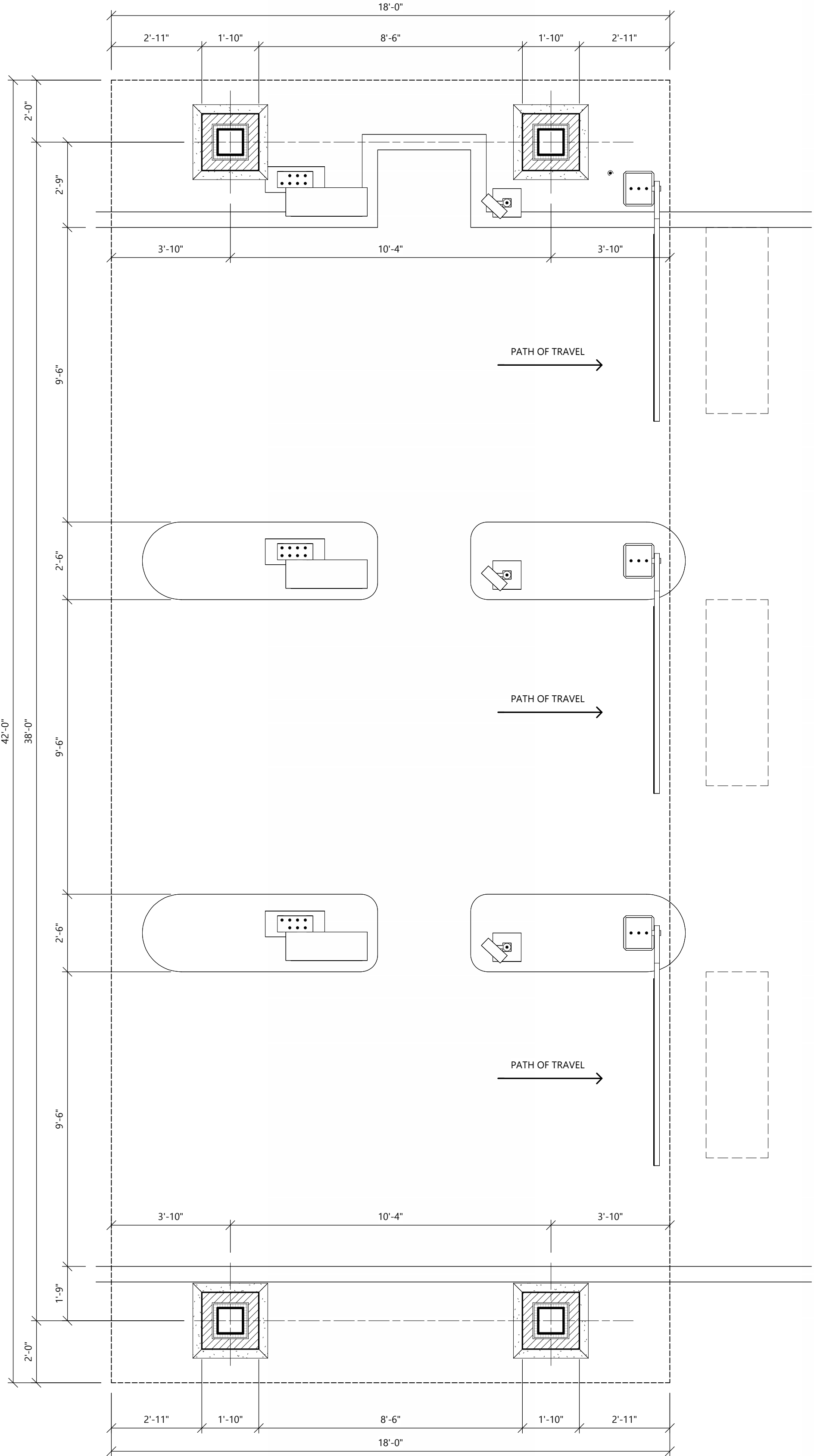
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JOB NUMBER

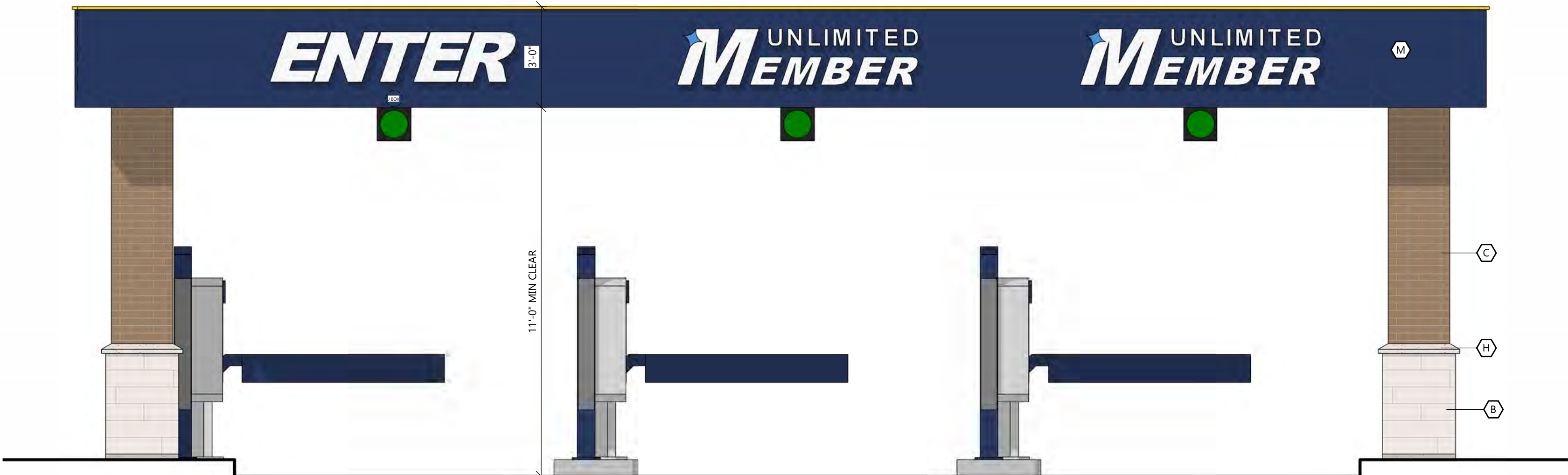
250037000

SHEET NUMBER

PRE-4



POS CANOPY PLAN
SCALE: 3/8" = 1'-0"



POS CANOPY ELEVATION
SCALE: 3/8" = 1'-0"

EXTERIOR MATERIAL KEY

	PREFINISHED ALUMINUM BATTENS MFR: LUMA-BUILT STYLE: MOSAIC 1x6 BATTENS COLOR: HAZELNUT BROWN
	STONE VENEER MFR: EL DORADO STONE STYLE: VANTAGE 30 (6"H x 30"L x 1"D) COLOR: WHITE ELM w/ MATCHING MORTAR JOINT
	BRICK VENEER (RUNNING BOND) MFR: BELDEN BRICK STYLE: MODULAR (3 5/8" x 2 1/4" x 7 5/8") COLOR: TUMBLEWEED VELOUR (w/ GRAY MORTAR)
	BRICK VENEER (STACKED BOND & SOLDIER) MFR: BELDEN BRICK STYLE: MODULAR (3 5/8" x 2 1/4" x 7 5/8") COLOR: SEAL BROWN VELOUR (w/ GRAY MORTAR)
	EIFS TEXTURE: SAND COLOR: PT-9 (IN THE NAVY)
	NOT USED
	NOT USED
	PRECAST STONE SILL COLOR TO MATCH STONE VENEER
	NOT USED
	PREFINISHED STANDING SEAM METAL ROOF PANEL MFR: CTMS (OR EQUAL) STYLE: LARGE BATTEN 24 GA COLOR: PT-9 (IN THE NAVY)
	PREFINISHED METAL TRIM AND ACCESSORIES MFR: CTMS (OR EQUAL) COLOR: PT-9 (IN THE NAVY)
	ALUMINUM STOREFRONT SYSTEM GLAZING: CLEAR FRAME: DARK BRONZE
	CONCRETE STEM WALL TEXTURE: HAND RUB COLOR TO MATCH PT-10
	TREX DECK BOARD COLOR TO MATCH PT-3

GENERAL NOTES

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PROJECT INFORMATION

PROPOSED CAR WASH FOR:
MISTER CAR WASH - MN 2606 CEDAR
18000 CEDAR AVE • LAKEVILLE, MN 55024

(130L - V2.1 - ZONE 1)

PROFESSIONAL SEAL

PRELIMINARY DATES

JULY 17, 2025

NOT FOR CONSTRUCTION

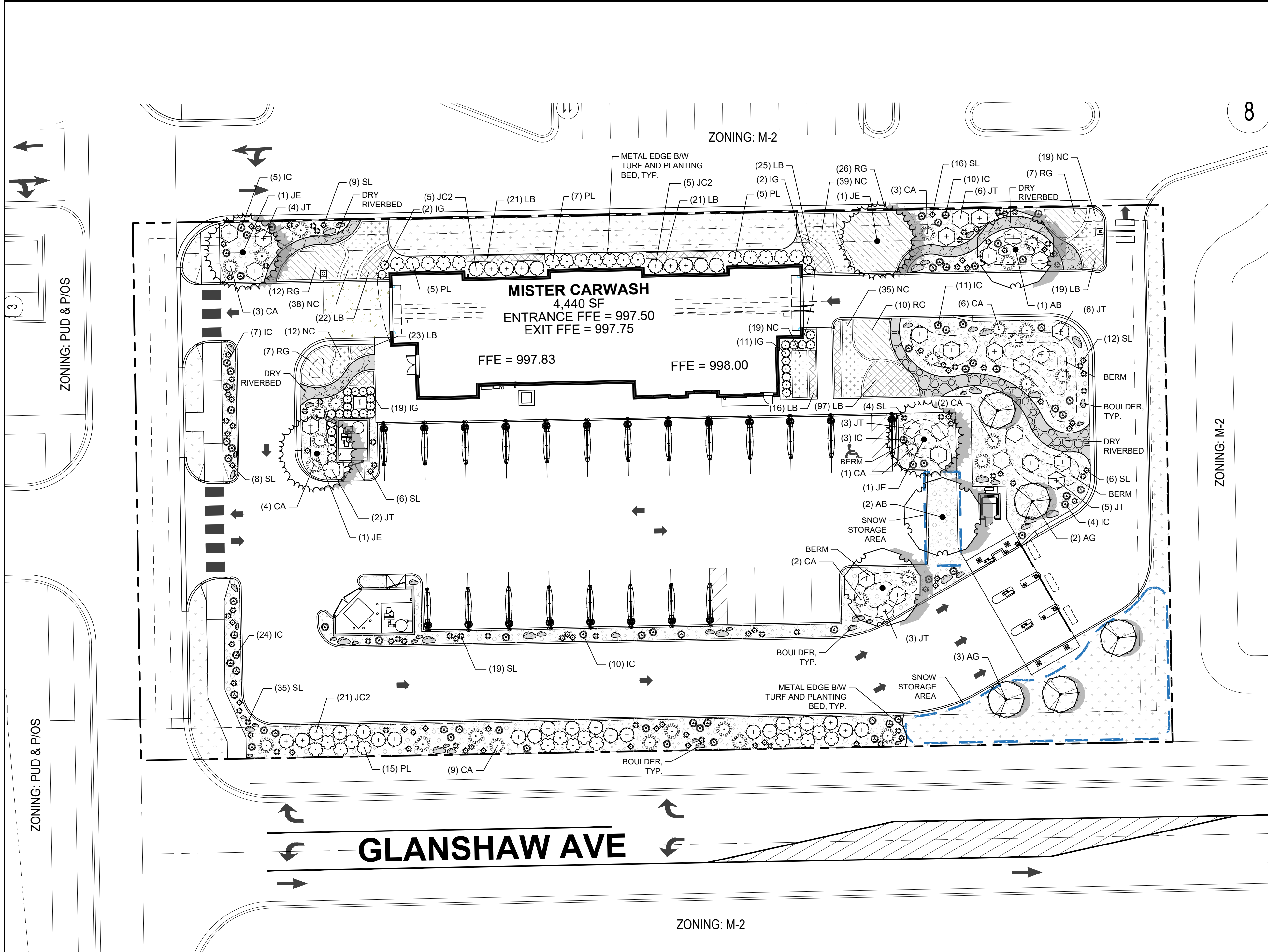
JOB NUMBER

250037000

SHEET NUMBER

PRE-6

PRELIMINARY POS CANOPY



GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN) IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS. "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- b. CONSTRUCT AND MAINTAIN FINISH GRASSES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. CONTRACTOR SHALL PROVIDE AND INSTALL SOLID SOD IN ALL RIGHT-OF-WAYS AND PARKWAYS (UNLESS NOT ALLOWED BY THE LOCAL JURISDICTION) AND SHALL PROVIDE WATERING AND MAINTENANCE UNTIL THE TURF IS ESTABLISHED AND HAS BEEN ACCEPTED BY OWNER.
6. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
7. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING, CURBS, WATER, STORM, OR SANITARY SEWER UTILITIES. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF NATIVE ROCK BASED MULCH (DO NOT USE DECOMPOSED GRANITE, LAVA ROCK, WHITE OR RED ROCK OR SMOOTH RIVER ROCK), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PROVIDE WEED BARRIER UNDER ALL ROCK AND GROUND COVER PER MISTER LANDSCAPE DESIGN GUIDELINES UNDER SECTION 3.4 MULCH SPECIFICATIONS

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

PLANTING & IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

LANDSCAPE CALCULATIONS

JURISDICTION: CITY OF LAKEVILLE, MN
ZONING: M-2: MIXED USE CEDAR CORRIDOR DISTRICT

SITE AREA: 56,611 SF

REQUIRED LANDSCAPING SHALL INCLUDE PLANTINGS AT THE PERIMETER, OFF STREET PARKING LANDSCAPING, AND INTERIOR LANDSCAPE PLANTINGS.

THE LANDSCAPE PLAN MUST SHOW SOME FORM OF DESIGNED SITE AMENITIES (I.E., COMPOSITION OF PLANT MATERIALS, AND/OR CREATIVE GRADING, DECORATIVE LIGHTING, EXTERIOR SCULPTURE, ETC.) WHICH ARE LARGELY INTENDED FOR AESTHETIC PURPOSES.

ALL GROUND AREA UNDER THE BUILDING ROOF OVERHANG MUST BE TREATED WITH A DECORATIVE MULCH AND/OR FOUNDATION PLANTING.

OFF STREET PARKING AREAS

PERIMETER LANDSCAPE: ALL OFF STREET PARKING AREAS WITH 5 OR MORE PARKING SPACES SHALL BE SCREENED FROM VIEW

TREES REQUIRED: 7 TREES (1 TREE / 40 LF)

TREES PROVIDED: 7 TREES*

* THREE TREES PLACED ADJ. CAR WASH LANE DUE TO SPACE CONSTRAINTS

BUFFER YARD

N/A - ADJACENT LOTS HAVE COMPATIBLE ZONING

NO EXISTING TREES ON SITE

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	MIN. SIZE
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TREES

	AB	3	Acer x freemanii 'Bairston' Matador™ Freeman Maple	Cont. or B&B	2.5' Cal.
	AG	5	Amelanchier x g. 'Autumn Brilliance' Autumn Brilliance Apple Serviceberry	Cont. or B&B	3-5 canes, 6' ht.
	JE	4	Juniperus virginiana Eastern Redcedar	Cont. or B&B	2.5' Cal.

SHRUBS / PERENNIALS / ORNAMENTAL GRASSES

	CA	30	Clethra alnifolia 'Hummingbird' Summersweet	Cont.	18"-24" ht.
	IG	34	Ilex glabra 'Shamrock' Inkberry	Cont.	18"-24" ht.
	IC	74	Iris sibirica 'Caesar's Brother' Caesar's Brother Siberian Iris	Cont.	1 gal., full
	JC2	31	Juniperus chinensis 'Armstrongii' Armstrong Juniper	Cont.	18"-24" ht.
	JT	29	Juniperus h. 'Turquoise Spreader' Turquoise Spreader Juniper	Cont.	18"-24" spd.
	PL	32	Physocarpus opulifolius 'Little Devil' Dwarf Ninebark	Cont.	18"-24" ht.
	SL	115	Schizachyrium scoparium Little Bluestem	Cont.	1 gal., full

GROUNDCOVERS

	LB	244	Liriope muscari 'Big Blue' Big Blue Lilyturf	Cont.	1 gal., full
	NC	162	Nepeta x faassenii 'Cat's Meow' Cat's Meow Catmint	Cont.	3 gal., full
	RG	62	Rhus aromatica 'Gro-Low' Gro-Low Fragrant Sumac	Cont.	18"-24" spd.

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	REMARKS
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TURF

	RTF	RTF® Sod Rhizomatous Tall Fescue	Sod	
--	-----	----------------------------------	-----	--

ROCK / STONE

	SM	3/4"-1" Red Limestone Stone Mulch	6" compacted depth over weed fabric; steel edged	
	RR	6"-12" Natural Granite Fieldstone Boulders	Buried 1/3 to 1/2 of ht over landscape fabric.	
	RR	Dry Riverbed Rock		

42"-48" DIA. FIELDSTONE BOULDER (NATURAL GRANITE) - BURY 1/3 TO 1/2 OF HEIGHT (TYP.)

24"-30" DIA. FIELDSTONE BOULDER (NATURAL GRANITE) - BURY 1/3 TO 1/2 OF HEIGHT (TYP.)

12"-18" DIA. FIELDSTONE BOULDER (NATURAL GRANITE) - BURY 1/3 TO 1/2 OF HEIGHT (TYP.)

NOTE: A LOCAL EQUIVALENT TO FIELDSTONE BOULDERS MAY BE USED WITH OWNER'S AND LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.

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LANDSCAPE ARCHITECTURE
LAND PLANNING, IRRIGATION DESIGN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the state of Minnesota.
Signature: *Sharon M. Stachecki*
Name: Sharon M Stachecki
Date: 8/13/2025 License Number: 62606

SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

PROJECT

MISTER CAR WASH
LAKEVILLE

LAKEVILLE MINNESOTA

DATE	ISSUE SCHEDULE DESCRIPTION	BY

DATE	REVISION SCHEDULE DESCRIPTION	BY

PROJECT NO.	25-32359
FILE NAME	MISTER CAR WASH - LAKEVILLE MN - LP
DRAWN BY	SMS
DESIGNED BY	SMS
REVIEWED BY	SS

TITLE

LANDSCAPE
PLANTING PLAN

SHEET

LP-1

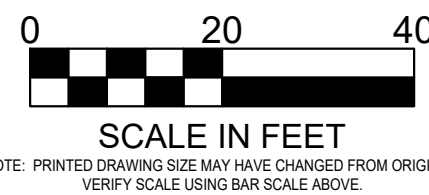


EXHIBIT F

CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA

**MISTER CAR WASH CONDITIONAL USE PERMIT
FINDINGS OF FACT AND RECOMMENDATION**

On October 16, 2025, the Lakeville Planning Commission met at its regularly scheduled meeting to consider the application of Mister Car Wash for a conditional use permit to allow a commercial car wash at Lot 7, Block 1, Marketplace at Cedar. The Planning Commission conducted a public hearing on the conditional use permit application preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The subject property is located in Comprehensive Planning District 5, which guides the property for Corridor Mixed Use.
2. The subject site is zoned M-2, Mixed Use Cedar Corridor District.
3. Legal description of the property will be Lot 7, Block 1, Marketplace At Cedar, upon the recording of the Marketplace At Cedar final plat:
4. Chapter 4 of the City of Lakeville Zoning Ordinance provides that a conditional use permit may not be issued unless certain criteria are satisfied. The criteria and our findings regarding them are:
 - a. **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.**

Finding: The proposed commercial car wash facility is consistent with the Comprehensive Plan's guided commercial land use and the M-2, Mixed Use Cedar Corridor zoning of the property.

- b. **The proposed use is or will be compatible with present and future land uses of the area.**

Finding: The proposed commercial car wash facility will be compatible with the present and future commercial land uses in the surrounding area.
 - c. **The proposed use conforms to all performance standards contained in the Zoning Ordinance and the City Code.**

Finding: The commercial car wash facility will conform to the performance standards contained in the Zoning Ordinance.

- d. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

Finding: The property is served with City sanitary sewer and water. The proposed commercial car wash facility will not overburden the City's service capacity.

- e. Traffic generated by the proposed use is within capabilities of streets serving the property.

Finding: The traffic generated by the proposed commercial car wash facility will not overburden the streets serving the property.

5. The report dated October 8, 2025 and prepared by Heather Botten, Senior Planner is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the conditional use permit conditioned upon compliance with the planning report prepared by Heather Botten, Senior Planner, dated October 8, 2025.

DATED: October 16, 2025

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair



Memorandum

To: Planning Commission
From: Tina Goodroad, Community Development Director
Date: October 9, 2025
Subject: Packet Material for the October 16, 2025 Planning Commission Meeting
Agenda Item: Southwest Study Area AUAR by Artemis Development Company, LLC

BACKGROUND

Artemis Land Holdings, LLC (proposer) received approval of a comprehensive plan amendment and rezoning at the September 2, 2025, City Council meeting. The proposer has begun the Alternative Urban Areawide Review process with the preparation of a scoping document. The AUAR area encompasses an area totaling 390.4 acres in southwest Lakeville.

Proposed Scenarios

As required under the AUAR process, two development scenarios are proposed for evaluation:

- **Scenario 1** reflects the existing land use guidance as adopted in the City's 2040 Comprehensive Plan.
- **Scenario 2** assumes full municipal service availability and proposes a mix of residential and commercial uses consistent with the recently approved Comprehensive Plan Amendment. Within Scenario 2, approximately 29.02 acres are identified for potential residential or school development and will be evaluated as Subareas 2a and 2b respectively.

Next Steps

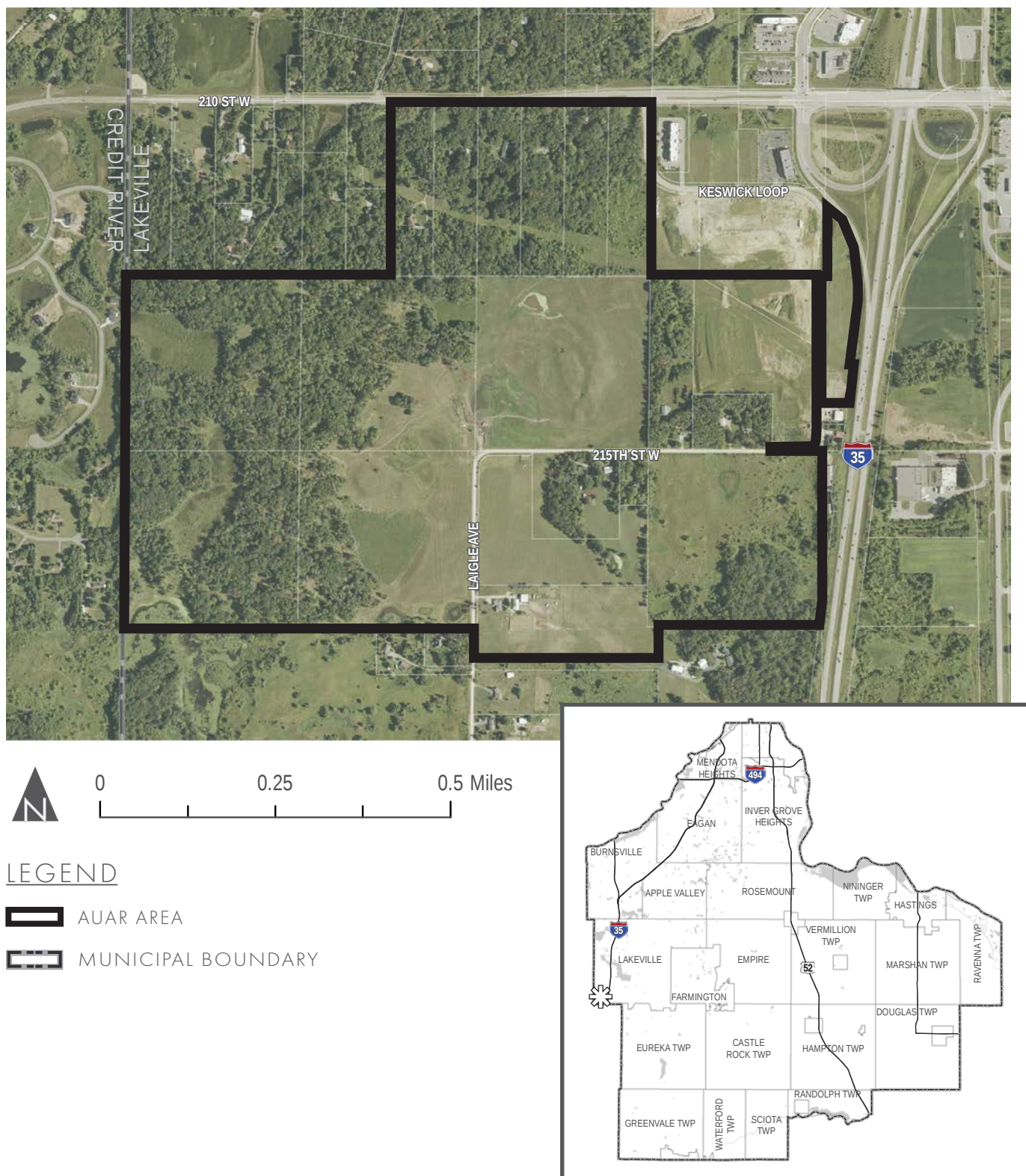
City staff is currently reviewing the scoping document prior to its anticipated publication on October 21, 2025, for the required 30-day public comment period. Staff is requesting Planning Commission review and support for the proposed development scenarios prior to publication.

Notification will be made on the City's website regarding the public comment period with a link to the scoping document.

EXHIBITS

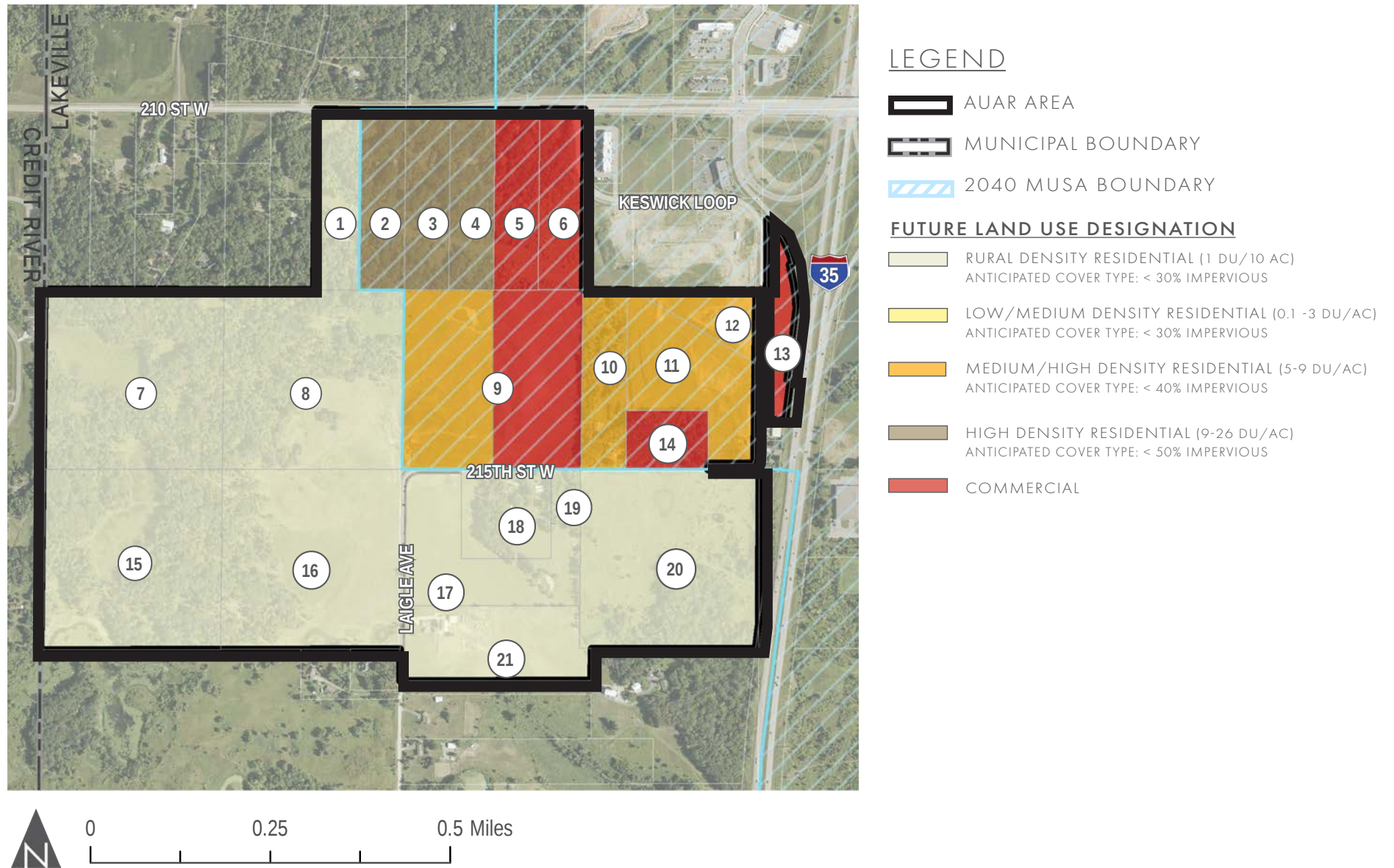
- A. AUAR Area
- B. Scenario 1
- C. Scenario 2
- D. Concept plan

FIGURE 2. AUAR AREA



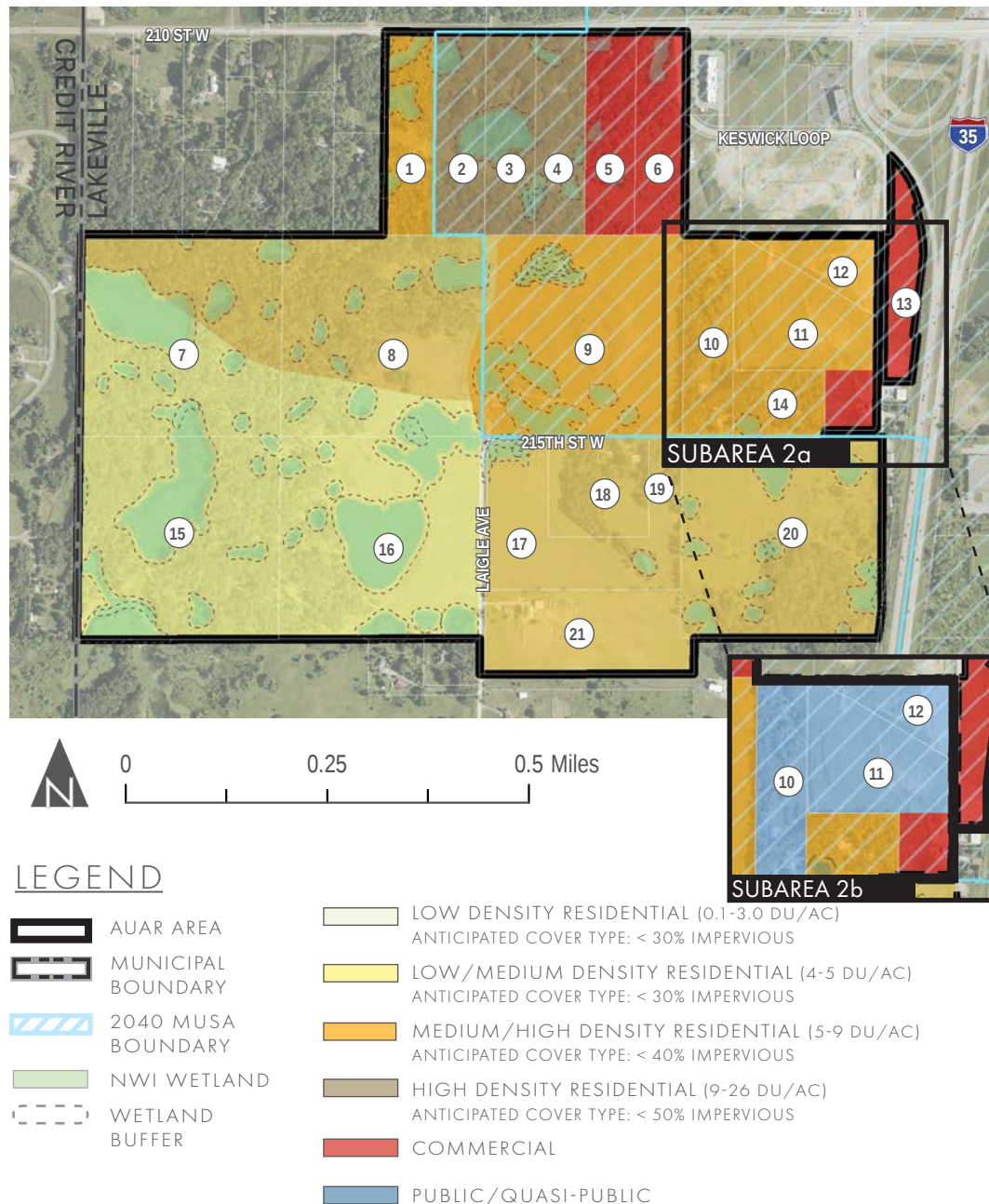
Source: Metropolitan Council, MNGEO

FIGURE 4. SCENARIO 1 - 2040 COMPREHENSIVE PLAN



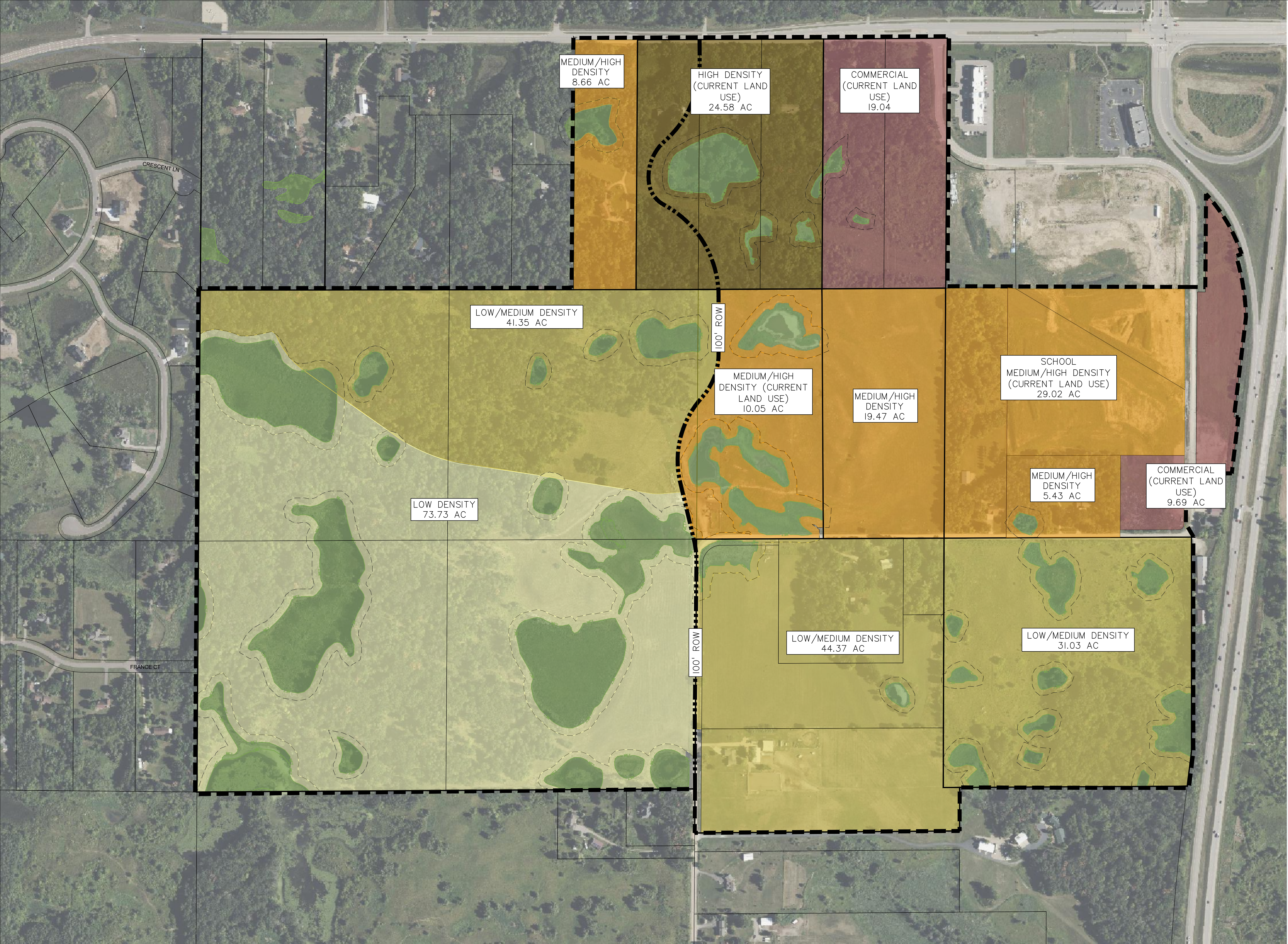
Source: Metropolitan Council, MNGEO

FIGURE 5. SCENARIO 2 (SUBAREA 2a & 2b)



PARCEL KEY	LAND USE	GROSS ACRES
1	MEDIUM/HIGH DENSITY	10.0
2	HIGH DENSITY	10.0
3	HIGH DENSITY	9.9
4	HIGH DENSITY	9.9
5	COMMERCIAL	9.9
6	COMMERCIAL	9.9
7	LOW DENSITY	24.7
	LOW/MEDIUM DENSITY	15.4
8	LOW DENSITY	9.7
	LOW/MEDIUM DENSITY	29.5
	MEDIUM/HIGH DENSITY	0.8
9	MEDIUM/HIGH DENSITY	39.7
10	SCENARIO 2A: MEDIUM/HIGH DENSITY	10
	SCENARIO 2B: PUBLIC/QUASI-PUBLIC	
11	SCENARIO 2A: MEDIUM/HIGH DENSITY	13.5
	SCENARIO 2B: PUBLIC/QUASI-PUBLIC	
	COMMERCIAL	
12	SCENARIO 2A: MEDIUM/HIGH DENSITY	5.6
	SCENARIO 2B: PUBLIC/QUASI-PUBLIC	
13	COMMERCIAL	6.6
14	MEDIUM/HIGH DENSITY	6.0
15	LOW DENSITY	40.2
16	LOW DENSITY	40.1
17	LOW/MEDIUM DENSITY	17.1
18	LOW/MEDIUM DENSITY	10
19	LOW/MEDIUM DENSITY	2.0
20	LOW/MEDIUM DENSITY	39.7
21	LOW/MEDIUM DENSITY	16.6

Source: Metropolitan Council, MNGEO, NWI



LEGEND

PROPERTY LINE

ROW

LOW DENSITY - 0.1-3 UNITS/ACRE

LOW/MEDIUM DENSITY - 4-5 UNITS/ACRE

MEDIUM/HIGH DENSITY - 5-9 UNITS/ACRE

HIGH DENSITY - 9-26 UNITS/ACRE

COMMERCIAL

WETLANDS

RIGHT-OF-WAY

RESIDENTIAL GROSS AREA (LESS WETLANDS AND BUFFERS):

LOW DENSITY:	73.73 AC
LOW/MEDIUM DENSITY:	116.75 AC
MEDIUM/HIGH DENSITY:	43.61 AC
HIGH DENSITY:	24.58 AC
TOTAL:	258.67 AC

SCHOOL/COMMERCIAL GROSS AREA (LESS WETLANDS AND BUFFERS):

SCHOOL MEDIUM/HIGH DENSITY:	29.02 AC
COMMERCIAL:	28.73 AC
TOTAL:	57.75 AC

= REVISED 2040 MUSA STAGING PLAN
REVISED EXPANSION AREA "A" (BEFORE 2028)



Memorandum

FYI

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: October 10, 2025
Subject: Future and Continued Planning Commission Agenda Items
Summary of City Council Actions on Planning Commission Items

The following is a list of possible agenda items to be considered at upcoming Planning Commission meetings:

- Andrew & Merrideth Strohbehn – CUP for accessory storage building

The following items were approved by the City Council at the September 15, 2025 City Council meeting.

- Amelia Meadows 2nd Addition final plat
- Marketplace At Cedar final plat
- Chart House CUP and variance
- Launch Park Fourth Addition preliminary and final plat
- Spirit of Brandtjen Farm Commercial 7th Addition preliminary/final plat and easement vacation.