



AGENDA PLANNING COMMISSION MEETING

November 20, 2025 - 6:00 PM
City Hall Council Chambers

Members of the public can participate in person at Lakeville City Hall, 20195 Holyoke Avenue. Members of the public may join the meeting via [Teams Meeting](#), Meeting ID: 232 395 676 881, Passcode: Ud3c7QB2, or by calling Toll Number 1-323-433-2142; Conference ID: 856 313 272#. The Chair will allow for public comments and questions at the appropriate time.

The City Council is provided background information for agenda items in advance by staff and appointed commissions, committees, and boards. Decisions are based on this information, as well as City policy, practices, input from constituents, and a council member's personal judgment.

1. Call to order and flag pledge
2. Roll Call
3. Approval of Minutes
 - a. November 6, 2025 Planning Commission minutes
4. Announcements
5. Public Hearing
 - a. Kyla Crossing 2nd Addition
Consider the application of Topaz, LLC for the following, located at the northwest corner of Ipava Avenue and Kenwood Trail (CSAH 50):
 - 1) Preliminary Plat of an 18 lot subdivision to be known as Kyla Crossing 2nd Addition
 - 2) Zoning Map amendment to rezone property from RM-2, Medium Density Residential District to RST-2, Single and Two Family Residential District
 - 3) Comprehensive Plan amendment to re-guide property from Medium/High Density Residential District to Low Density Residential District
 - b. Dakota Waste Solutions
Consider the application of Dakota Waste Solutions, LLC for the following, located at the southeast corner of 215th Street and Kaparia Avenue:
 - 1) Preliminary plat of a two lot, one outlot subdivision to be known as Dakota Waste Solutions
 - 2) Zoning Map amendment to rezone property from I-1, Light Industrial District to PUD, Planned Unit Development District
 - 3) Planned unit development (PUD) Development Stage plan approval for a recycling and composting facility - including source separate organic waste composting and wood processing and recycling capabilities

Planning Commission Meeting Agenda
November 20, 2025

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6. Staff Notices

- a. The City Council meeting at which the above items may be considered will be held on December 1, 2025.
- b. The next Planning Commission meeting is scheduled for December 4, 2025.
- c. Planning Manager's memo

7. Adjourn

**CITY OF LAKEVILLE
PLANNING COMMISSION MEETING MINUTES
November 6, 2025**

Chair Zimmer called the meeting to order at 6:00 p.m. in the Council Chambers at City Hall. The Pledge of Allegiance to the flag was given.

Members Present: Chair Christine Zimmer, Vice Chair Scott Einck, Pat Kaluza, John Swaney, Jason Swenson, Amanda Tinsley, Mark Traffas, Ex-Officio Jeff Hansen

Members Absent: None

Staff Present: Kris Jenson, Planning Manager; Heather Botten, Senior Planner; Dawn Erickson, Community Development Recorder.

3. Approval of the Meeting Minutes

The October 16, 2025 Planning Commission meeting minutes were approved as presented.

4. Announcements

Planning Manager Kris Jenson stated there were no announcements.

5a. Andrew Strohbehn

Chair Zimmer opened the public hearing to consider the application of Andrew Strohbehn for a conditional use permit to allow the construction of a detached accessory building greater than the gross floor area of the principal structure, located at 16415 Klamath Trail.

Andrew Strohbehn introduced the project, indicating that he has a need for the proposed size of the building to store personal and recreational vehicles and equipment. The structure will not be used for commercial or home occupation purposes.

Ms. Botten presented the staff report. The property is 11.49 acres in area and the lot is zoned RA, Rural/Agricultural District. The applicant is proposing to construct a 3,500+/- square foot detached accessory building. The attached garage is 1,485 square feet for a total of about 5,000 gross square feet of accessory buildings.

According to Dakota County GIS the finished square footage of the home is 2,840 square feet. City code allows accessory buildings to exceed the size of the principal structure by CUP. The total allowable combined accessory building square footage in the RA District is 8,712 square feet.

Chair Zimmer opened the hearing to the public for comment.

There was no public comment.

Motion was made by Kaluza, seconded by Tinsley to close the public hearing at 6:05 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Chair Zimmer asked for comments from the Planning Commission.

- Commissioner Traffas asked if the city forester reviewed this and if the tree preservation ordinance applied to this situation. Ms. Botten stated she would have the City Forester look at it prior to the City Council meeting.

Motion was made by Kaluza, seconded by Swenson to recommend to City Council approval of the conditional use permit to allow the combination of accessory buildings to exceed the gross floor area of the principal structure in the R/A, Rural/Agricultural District located at 16415 Klamath Trail and approval of the findings of fact dated November 6, 2025, subject to the following stipulations:

1. The accessory building shall be constructed in the location identified on the site plan approved with the conditional use permit.
2. Exterior building materials shall conform with the standards and criteria in section 11-17-9 of the Zoning Ordinance.
3. The detached accessory building shall be kept, used, and maintained in a manner that is compatible with the existing single-family home on the property and shall not present a hazard to the public health, safety and general welfare.
4. Sanitary sewer service shall not be provided to the detached accessory building, and the detached accessory building shall not be used as a dwelling.
5. No home occupation shall be conducted within any attached or detached accessory building on the property. No attached or detached accessory building on the property shall be used for the operation of any commercial business or storage of commercial equipment.
6. A building permit application shall be submitted to and approved by the Building Inspections Department prior to commencing construction.

Ayes: Traffas, Kaluza, Zimmer, Einck, Swaney, Swenson, Tinsley

Nays: 0

5b. Muslim American Society of Minnesota

Chair Zimmer opened the public hearing to consider the application of the Muslim American Society of Minnesota for a conditional use permit for a religious institution use to be located within an existing building at 8670 210th Street.

Muneeb Ahmed introduced the project. Mr. Ahmed stated he has been a resident of Lakeville for seven years and that the Lakeville Masjid will be a place for worship that will serve families and contribute positively to the city.

Ms. Jenson presented the staff report. Lakeville Masjid (mosque) is proposed to occupy the entire 5,244 square foot, two story building. The subject property is zoned O-R, Office Residential Transition District, which allows religious institutions by conditional use permit.

The mosque proposes prayer space for up to 143 attendees, with expected peak attendance to be around 125 people. The Zoning Ordinance requires one space per three seats of design capacity of the main assembly, which in this case is based on the rug layout within two prayer rooms in the lower level. Forty-eight parking spaces are required and the existing parking on site has 75 spaces, in excess of Zoning Ordinance requirements.

The applicant submitted a narrative that indicates that prayer services are held five times per day, with expected attendance of up to 20 people. The most heavily attended services are two prayer services on Fridays, held at noon and at 1:30 p.m., where attendance is expected to be upwards of 125 people. Ms. Jenson noted a correction to the narrative; while the nearby Grace Community Bible Church did give permission on one occasion for the mosque community to use their parking lot for an event, there is no agreement in place – formal or informal. Ms. Jenson also noted that she had received a question prior to the meeting as to whether there would be a call to prayer that is broadcast outside the building, and the applicant has indicated that the call to prayer would only be broadcast inside the building, not outside.

There is a shared parking easement for the site with the City of Lakeville, to allow up to 31 parking spaces for use by those using the adjacent outdoor ice rinks. The easement does not grant the City exclusive use of the spaces. The peak time of use for the rinks are evenings and weekends from late December through mid-February. The applicants are aware of the easement and do not anticipate any conflicts between the mosque attendees and rink users for parking spaces, given the different peak times for use.

Chair Zimmer opened the hearing to the public for comment.

The following people spoke in support of the CUP:

- *Mariam Abubakar, 20849 India Circle*
- *Saif Ali, 16771 Jacksonville Court*
- *Asha Ali, 7750 183rd Street West*
- *Sharafat Ali, 16771 Jacksonville Court*
- *Mohammed Nesro, 7682 207th Street West*
- *Jamal Syed, 18327 Ironstone Way*
- *Maeda Muneeb, 16097 Kennard Court*
- *Hibo Qanyare, 7072 205th Street West*

Additional public comment:

- *Mike White, 20675 Hollins Avenue, asked for a delay because he only received the postcard notification four days ago.*
- *Jeff Rich, Senior Pastor Grace Community Bible Church, wanted to clarify that there is not an agreement for overflow parking with the church.*

Motion was made by Kaluza, seconded by Swaney to close the public hearing at 6:31 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Chair Zimmer asked for comments from the Planning Commission.

- Commissioner Kaluza asked for a review of the notification process and what the requirements are in the ordinance and statutes by Ms. Jenson. Ms. Jenson explained that state law requires the public hearing notification be published in the City’s official newspaper at least 10 days in advance of the public hearing. State law also required that the city mail notification of the public hearing to all property owners within 350 feet of the subject property and that the Zoning Ordinance requires notification to all property owners within 500 feet. The postcards for the notice were mailed on October 23, 2025. State law also notes that a public hearing is not invalid if a property owner does not receive a public notice. Ms. Jenson stated it is unfortunate if the postcards were not delivered in a timely manner but they are mailed well in advance of that notification requirement for the public hearings.
- Commissioner Kaluza inquired about religious holidays where there may be a larger attendance than usual and how that situation is handled. Mr. Ahmed stated Masjid service is on Friday, and there are multiple sessions for Friday prayer, which is how they manage in other places. He also shared there are two major holidays – Eid al-Fitr and Eid al-Adha – for which they would combine with other congregations and lease space for the event. The covered rink at Hasse Arena was used earlier this year for such an event.
- Chair Zimmer asked if the parking lot is full, what is the solution. Mr. Ahmed said they have volunteer parking staff who would not allow any more people in the lot if the parking is full. Chair Zimmer inquired during the winter ice season if the parking spots are filled by people at the ice rinks would cars be towed. Mr. Ahmed stated he doesn’t think the situation will happen and they would leave those 30 spots for people for the rink and just fill the other spots. If it happens, they will not have the cars towed.
- Commissioner Swaney asked if there would be a traffic study done for this situation. Ms. Jenson stated this is not a situation where a traffic study would be considered necessary.
- Commissioner Swenson stated that the Planning Commission sees plenty of religious institutions come forward typically that have the same parking requirements in place and this proposal meets the parking requirements.

Motion was made by Swenson, seconded by Tinsley to recommend to City Council approval of a conditional use permit to allow a religious institution within an existing building in the O-R, Office Residential Transition District, and approval of the findings of fact dated November 6, 2025, subject to the following stipulations:

1. The maximum total capacity of the two prayer rooms shall not exceed 225 persons.
2. The floor plan shall be consistent with the plan and narrative described in the application and approved by the City Council to ensure compliance with Zoning Ordinance requirements.

3. A building permit shall be issued prior to commencing interior alterations on the building interior that require a permit.
4. Signs require a sign permit to be issued prior to installation and must meet Zoning Ordinance requirements.
5. Parking shall not occur on any public street.
6. The use and site shall be in compliance with any federal, state or county law or regulation that is applicable and any related permits shall be obtained and documented to the city.

Ayes: Kaluza, Zimmer, Einck, Swaney, Swenson, Tinsley, Traffas

Nays: 0

There being no further business, the meeting was adjourned at 6:43 p.m.

Respectfully submitted,

Dawn Erickson, Community Development Recorder



Memorandum

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: November 10, 2025
Subject: Packet Material for the November 20, 2025 Planning Commission Meeting
Agenda Item: Kyla Crossing 2nd Addition

1. Preliminary plat of 18 single-family lots
2. Zoning Map Amendment to rezone property from RM-2, Medium Density Residential District to RST-2, Single and Two Family Residential District
3. Comprehensive Plan Amendment to re-guide property from Medium/High Density Residential District to Low Density Residential District.

Action Deadline: January 2, 2026

BACKGROUND

Representatives of Topaz, LLC have applied for a preliminary plat, Zoning Map amendment, and Comprehensive Plan Amendment to allow the development of 18 single family home lots on 20 acres to be known as Kyla Crossing 2nd Addition. The Kyla Crossing 2nd Addition preliminary plat is located at the northwest intersection of Kenwood Trail (CSAH 50) and Ipava Avenue.

The Kyla Crossing 2nd Addition preliminary plat plans have been distributed to Engineering Division and Parks and Recreation Department staff, and the Parks, Recreation and Natural Resources Committee.

EXHIBITS

- A. Location Map
- B. Zoning Map
- C. Comprehensive Plan amendment
- D. Preliminary Plat
- E. Existing Conditions
- F. Site Plan
- G. Grading & Drainage Plan

- H. Tree Preservation Plan
- I. Overall Utility Plan
- J. Landscape Plan
- K. Plat Commission Letter dated October 17, 2025

PLANNING ANALYSIS

ZONING MAP AMENDMENT

The Kyla Crossing 2nd Addition preliminary plat area is currently zoned RM-2, Medium Density Residential District (Exhibit B). The Developer has applied to amend the Zoning Map to change the property to RST-2, Single and Two-Family Residential District to develop the site with single family homes. Doing so requires an amendment to the Comprehensive Land Use plan (see below).

COMPREHENSIVE PLAN AMENDMENT

The subject site is guided Medium/High Density Residential, which anticipates attached townhome development at a density of 5.0 to 9.0 units per acre. The land use designation is a holdover from the 2030 Land Use Plan and was unable to be changed as part of the 2040 Land Use Plan due to an agreement with then-property owner George Warweg. Mr. Warweg sold land to the City, which allowed for the eventual expansion of Antlers Park, but as part of that agreement, the City agreed to not change the land use designations of all of Mr. Warweg's parcels, of which the subject property was one. The agreement was in effect until 2023, meaning no changes could be made during the 2040 Comprehensive Plan update. Last fall, Mr. Warweg passed away and his estate is now divesting the properties. The proposed plat has a density of 3.0 units per acre, so the land use designation is proposed to be changed to Low Density Residential, which requires a density of 0.1 to 3.0 units per acre.

Due to the number of units in the development and the proximity of the plat to neighboring jurisdictions, the comprehensive plan amendment meets the criteria for administrative review by the Metropolitan Council. Staff has contacted the local sector representative and will submit a complete application following City Council review.

PRELIMINARY PLAT

Existing Conditions. The development site consists of one parcel, which has been used for agricultural purposes.

Consistency with the Comprehensive Plan. The Kyla Crossing 2nd Addition property is located in Planning District 4 of the 2040 Comprehensive Plan. The area surrounding the subject site include Low/Medium Density Residential, Public and Quasi-Public, and Medium Density Residential. The proposed change to Low Density Residential is consistent with the surrounding land uses.

Adjacent Land Uses. The adjacent land uses and zoning are as follows:

- North – Single family homes (RS-4)
- East – Ipava Avenue, Ames Arena (P/OS)
- South – Kenwood Trail (CSAH 50), Railroad tracks, undeveloped property (RM-1)
- West – Kenwood Trail (CSAH 50), single-family homes (RS-4)

Consistency with the Capital Improvement Plan (CIP). City streets, sanitary sewer and water improvements for the area of Kyla Crossing 2nd Addition will be financed and constructed by the Developer. The development costs associated with the Kyla Crossing 2nd Addition development are not programmed in the 2025– 2029 CIP.

Premature Subdivision Criteria. A preliminary plat may be deemed premature if any of the criteria listed in Chapter 10-2-4-1 of the Subdivision Ordinance exist. Eligible criteria pertain to a lack of adequate: drainage, water, streets, sanitary sewer, and public service capacity (police and fire protection). The other pertinent criteria pertain to inconsistencies with the City Comprehensive Land Use and Capital Improvement Plans (discussed above). Staff review of the Kyla Crossing 2nd Addition preliminary plat against these criteria finds that it is not a premature subdivision.

MUSA. The Kyla Crossing 2nd Addition preliminary plat area is located within the current MUSA.

Density. The Kyla Crossing 2nd Addition preliminary plat consists of 18 single-family home lots on 7.64 acres. This results in a gross density of 2.35 units per acre. Excluding arterial street right-of-way and outlots the net density is 3.0 units per acre.

Lot Requirements. The following minimum requirements for single family home lots in the RST-2 District pertain to the Kyla Crossing 2nd Addition preliminary plat:

	Lot Area	Lot Width
Interior Lot	7,500 SF	55 feet
Corner Lot (Buffer Yard)	9,520 SF	70 feet

The proposed lots shown on the Kyla Crossing 2nd Addition preliminary plat range from 8,450 square feet to 16,844 square feet and each has sufficient area to accommodate the single-family homes.

Lot Setbacks. The following minimum setbacks for single family homes in the RST-2 District pertain to the Kyla Crossing 2nd Addition preliminary plat:

Front Yard	Rear Yard	Side Yard	
		Interior	ROW
25 ft garage face 20 ft building	30 feet	7 feet	20 feet, 30 feet (buffer yard)

The proposed lots shown on the Kyla Crossing 2nd Addition preliminary plat have sufficient area to accommodate a single-family home.

Maximum Building Coverage. Single family home lots in the RST-2 District are subject to a maximum building coverage of 40% of the lot.

Garage Area. The minimum width of each garage must be 22 feet while the minimum area of the garage is 480 square feet, to comply with the requirements of Section 11-18-7.D. All calculations are based on interior dimensions.

Outlots. There are three outlots totaling 1.49 acres in the Kyla Crossing 2nd Addition preliminary plat. The use of the proposed outlots will be as follows:

Outlot A is a 1.27 acre outlot consisting of a stormwater management basin that will be deeded to the City with the final plat.

Outlot B is a 0.15 acre outlot consisting of a stormwater management basin that will be deeded to the City with the final plat.

Outlot C is a 0.07 acre outlot consisting of a stormwater management basin that will be deeded to the City with the final plat.

Landscaping. Lot 9, Block 1 and Lot 9, Block 2 are required to have side yard buffer landscaping as they are adjacent to Ipava Avenue. Balsam Fir and Norway Spruce are proposed to be planted in a staggered row to provide the required landscape buffer. While Lots 1-9, Block 2 do not directly abut Kenwood Trail, the Developer has opted to include landscaping along the rear line of these lots to serve as a buffer to Kenwood Trail. However, the landscaping in the area of Lots 1-3, Block 2 is shown to be planted within Outlot B rather than at the rear of those lots. Prior to City Council consideration, the landscape plan must be revised to remove plantings within Outlot B and located them on Lots 1-3, Block 2. The plan also shows a front yard tree for each lot, as required by the Zoning Ordinance, but the proposed location of each tree is within the perimeter drainage and utility easement of the lot. While the locations of front yard trees are determined at the time of planting based on the home's location on the lot, underground utilities, etc, the locations of the front yard trees as shown on the landscape plan must be revised to be outside of the easements prior to City Council consideration of the preliminary plat.

Signs. At this time, a location for a monument sign is not shown on the preliminary plat. If planned, a monument sign must located within an outlot or on private property.

Streets. The following is a summary of streets proposed with the Kyla Crossing 2nd Addition preliminary plat. Additional detailed information is outlined in the Engineering Division memorandum dated November 10, 2025.

Kenwood Trail (CSAH 50) – Kenwood Trail is southwest of and adjacent to the property and is classified as a minor arterial County Highway in the Comprehensive Transportation Plan. Kenwood Trail is a four-lane divided urban roadway with a center

median. The Developer is dedicating 31 feet of north half right of way as required by the current Dakota County Plat Needs Map. Kenwood Trail bituminous trails on both sides of the street.

Ipava Avenue – Ipava Avenue is east of and adjacent to the property and is designated as a major collector in the City’s Transportation Plan. Adjacent to the plat the street is a four-lane divided urban roadway with a parkway design. No additional right of way for Ipava Avenue is required to be dedicated with the Kyla Crossing 2nd Addition preliminary plat. Driveway access from Lot 9, Block 1 and Lot 9, Block 2 to Ipava Avenue is prohibited.

Iris Way – Iris Way will be a 32-foot-wide local street within a 60-foot-wide right-of-way that is extended from its current terminus in the Kyla Crossing development. The five-foot-wide concrete sidewalk along the north side of the street will be extended to connect to the trail along Ipava Avenue. The existing temporary cul-de-sac at the end of Iris Way will be removed and the area restored at the time Iris Way is extended.

All streets meet the minimum width and design requirements of the Subdivision Ordinance.

Sidewalks/Trails. The Developer will construct a five-foot-wide concrete sidewalk along one side of Iris Way. No trails are proposed to be constructed with the development. Additional information regarding sidewalk and trail construction is included in the Engineering Memo.

Plat Commission. The Dakota County Plat Commission reviewed the preliminary plat at their October 8, 2025 meeting and approved the preliminary plat.

Phasing. Kyla Crossing 2nd Addition will be developed in one phase.

Grading, Drainage, Erosion Control, and Utilities. Proposed grading, drainage, erosion control, and utilities for the Kyla Crossing 2nd Addition preliminary plat is shown on the grading, drainage and erosion control and utility plans. All existing and new local utilities shall be placed underground.

Grading, drainage, erosion control, and utilities details are outlined in the November 10, 2025 engineering report prepared by Grace Ellis, Graduate Engineer and Mac Cafferty, Environmental Resources Manager. The Engineering Division recommends approval of the preliminary plat.

Tree Preservation. A tree preservation plan was submitted by the Developer that identifies 828 diameter inches of significant trees on site. The tree preservation plan proposes to remove 152 inches (18.4%), which is below the 40% removal threshold for residential developments. Tree replacements calculations are not required for this site. Six lots and one outlot will have at least one tree to be saved. All ‘save’ trees that are damaged or removed during construction must be replaced per the requirements of the tree preservation ordinance.

Wetlands. A wetland delineation was completed for the site and has determined that there are no wetlands on the subject site.

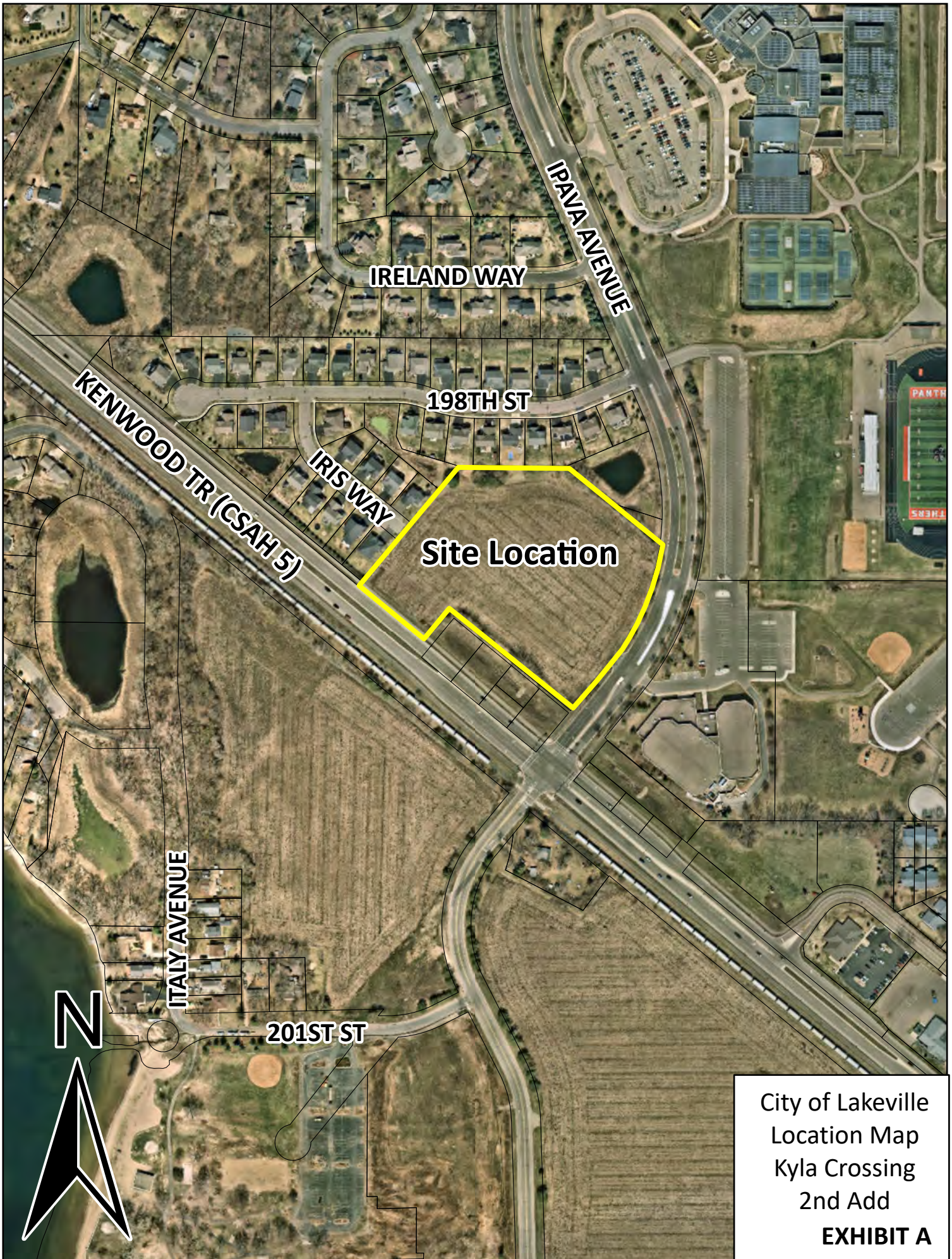
Park Dedication. The 2015 Parks, Trails, and Open Space Plan does not identify a park location in this area. The park dedication requirement will be satisfied through park dedication fees to be paid with the final plat. The Parks, Recreation and Natural Resources Committee will review the preliminary plat at their November 19, 2025 meeting. Their comments will be forwarded to the Planning Commission at the public hearing.

RECOMMENDATION

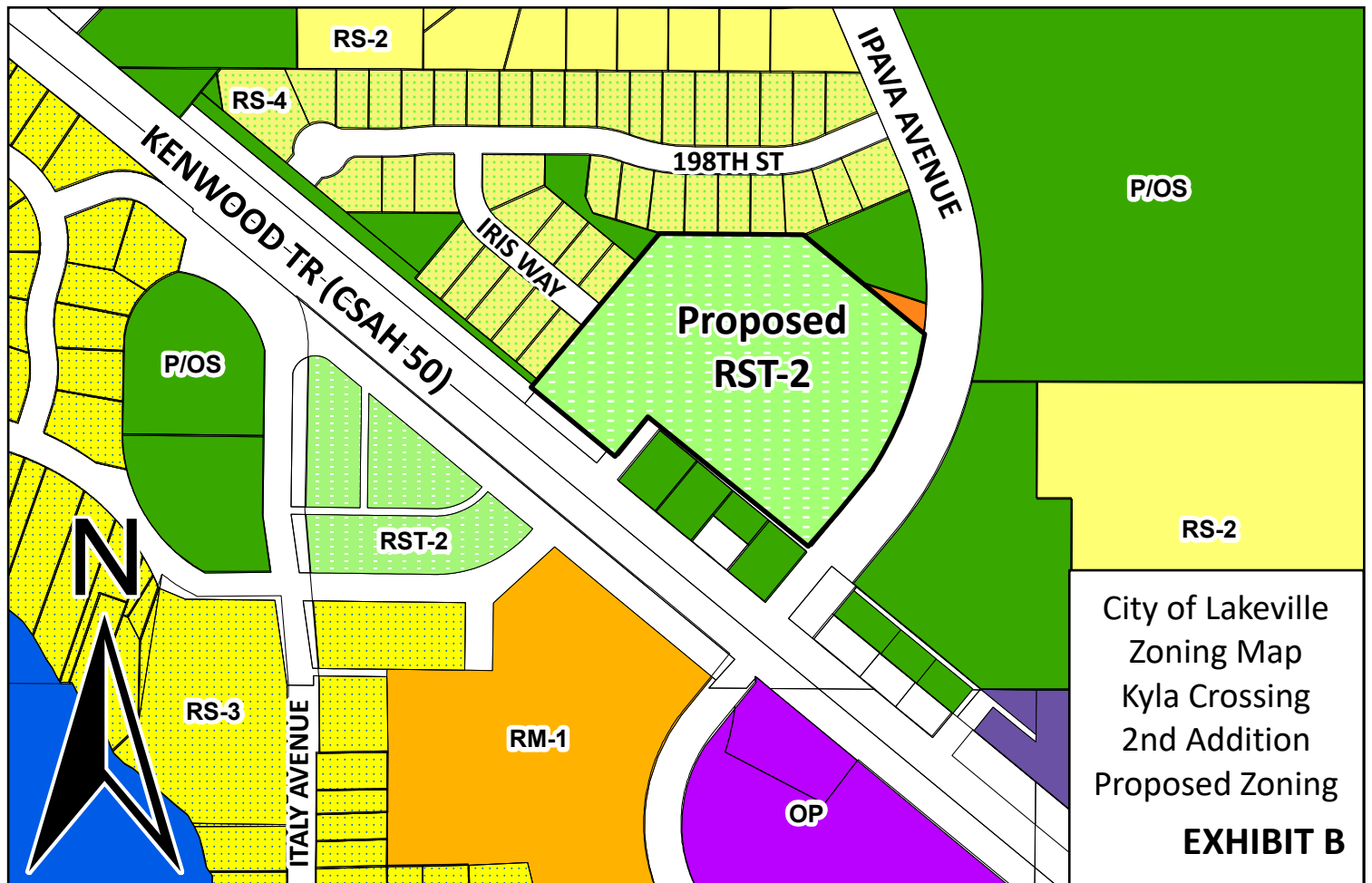
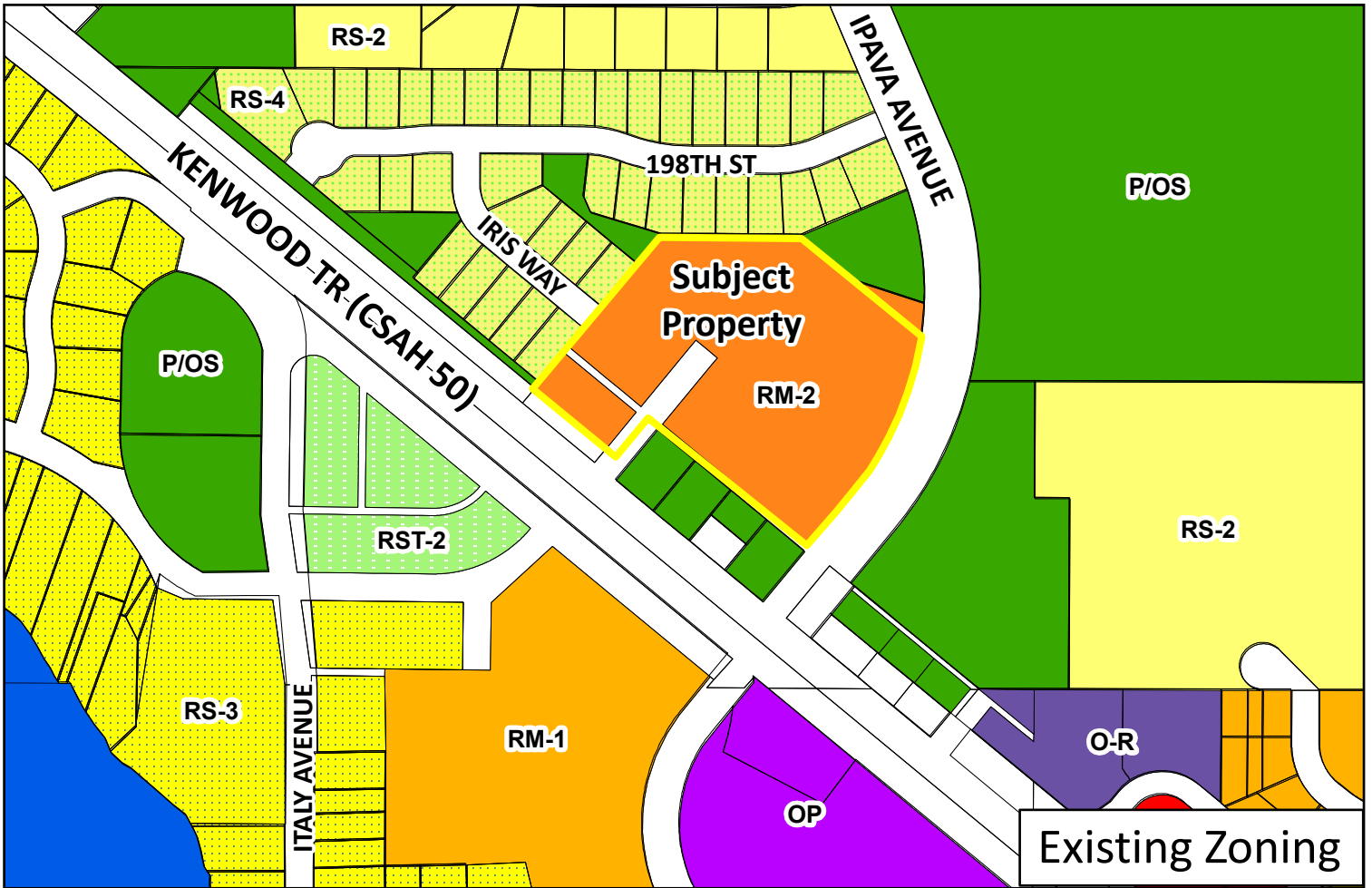
Community Development Department staff recommends approval of the Kyla Crossing 2nd Addition preliminary plat, Zoning Map amendment, and Comprehensive Plan amendment, subject to the following stipulations:

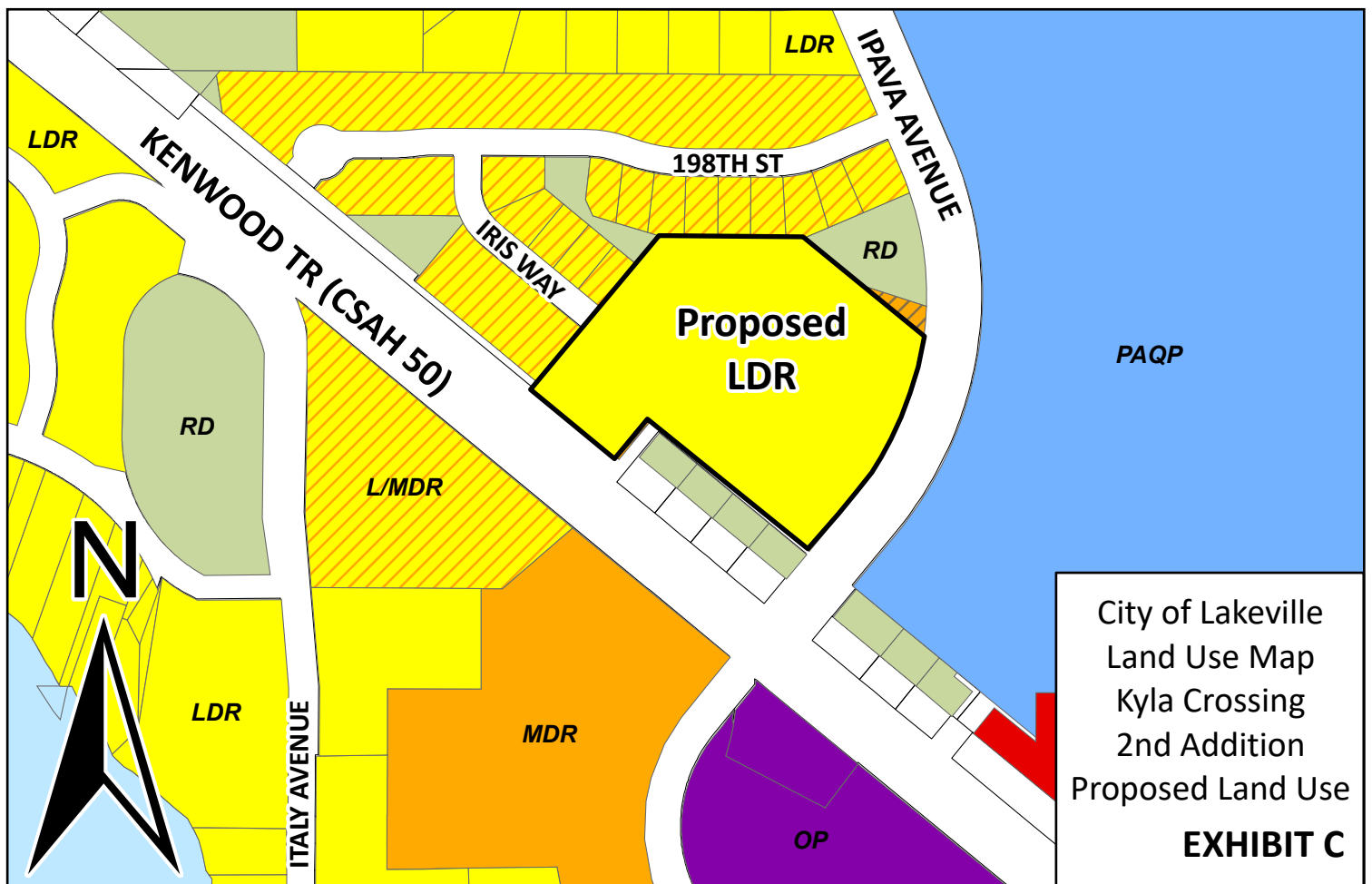
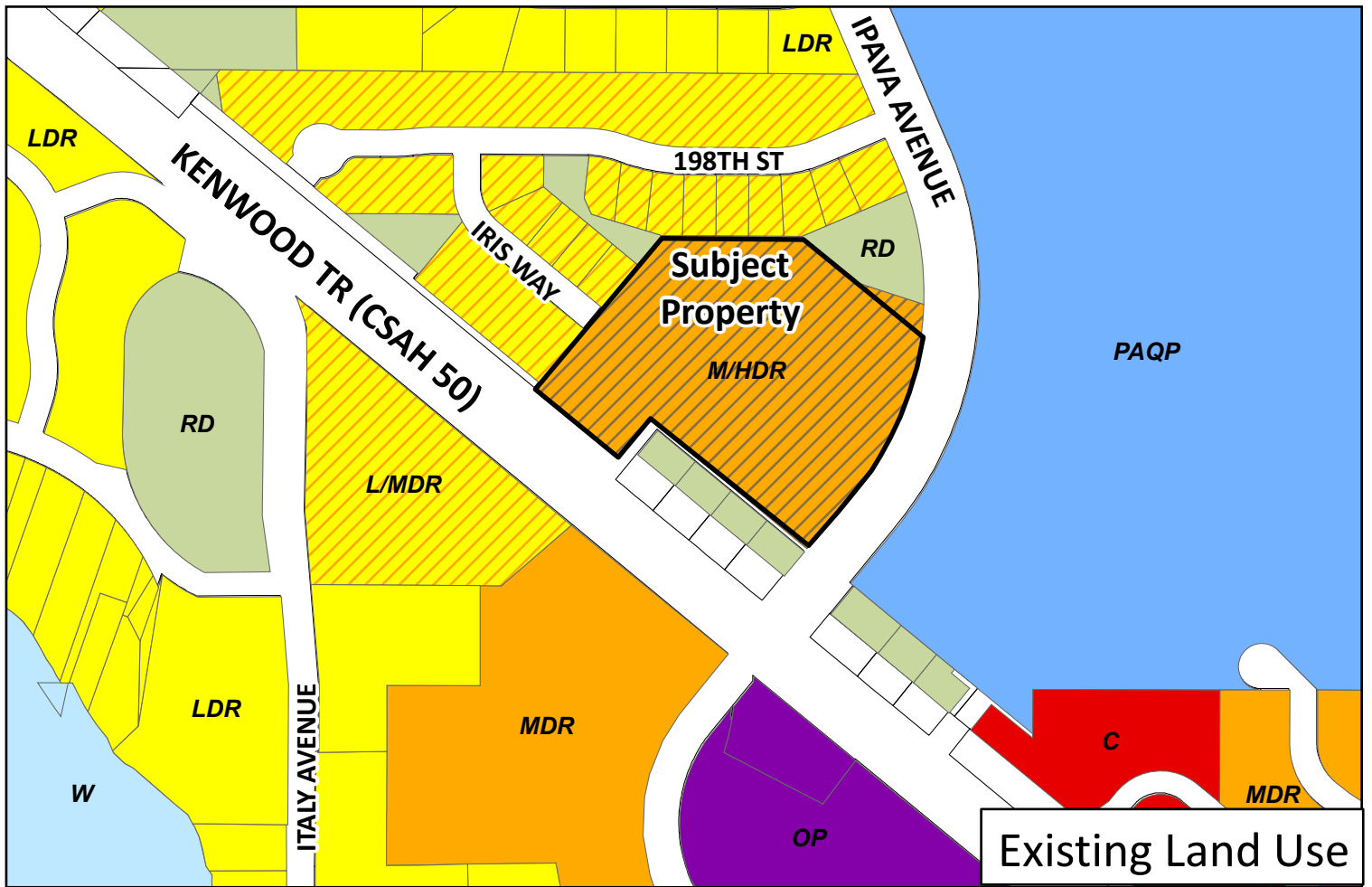
1. Implementation of the recommendations listed in the November 10, 2025 engineering report.
2. The Comprehensive Plan Amendment is subject to review and approval by Metropolitan Council.
3. Park dedication shall be satisfied with a cash contribution paid with the final plat.
4. The Developer shall construct five-foot-wide concrete sidewalks as shown on the preliminary plat plans.
5. Outlots A, B, and C shall be deeded to the City with the final plat.
6. Driveway access from Lot 9, Block 1 and Lot 9, Block 2 to Ipava Avenue is prohibited.
7. All new local utilities shall be placed underground.
8. Prior to City Council consideration of the preliminary plat, the landscape plan must be revised to remove proposed trees from Outlot B and to revise the locations of the front yard tree to be outside of the drainage and utility easement.

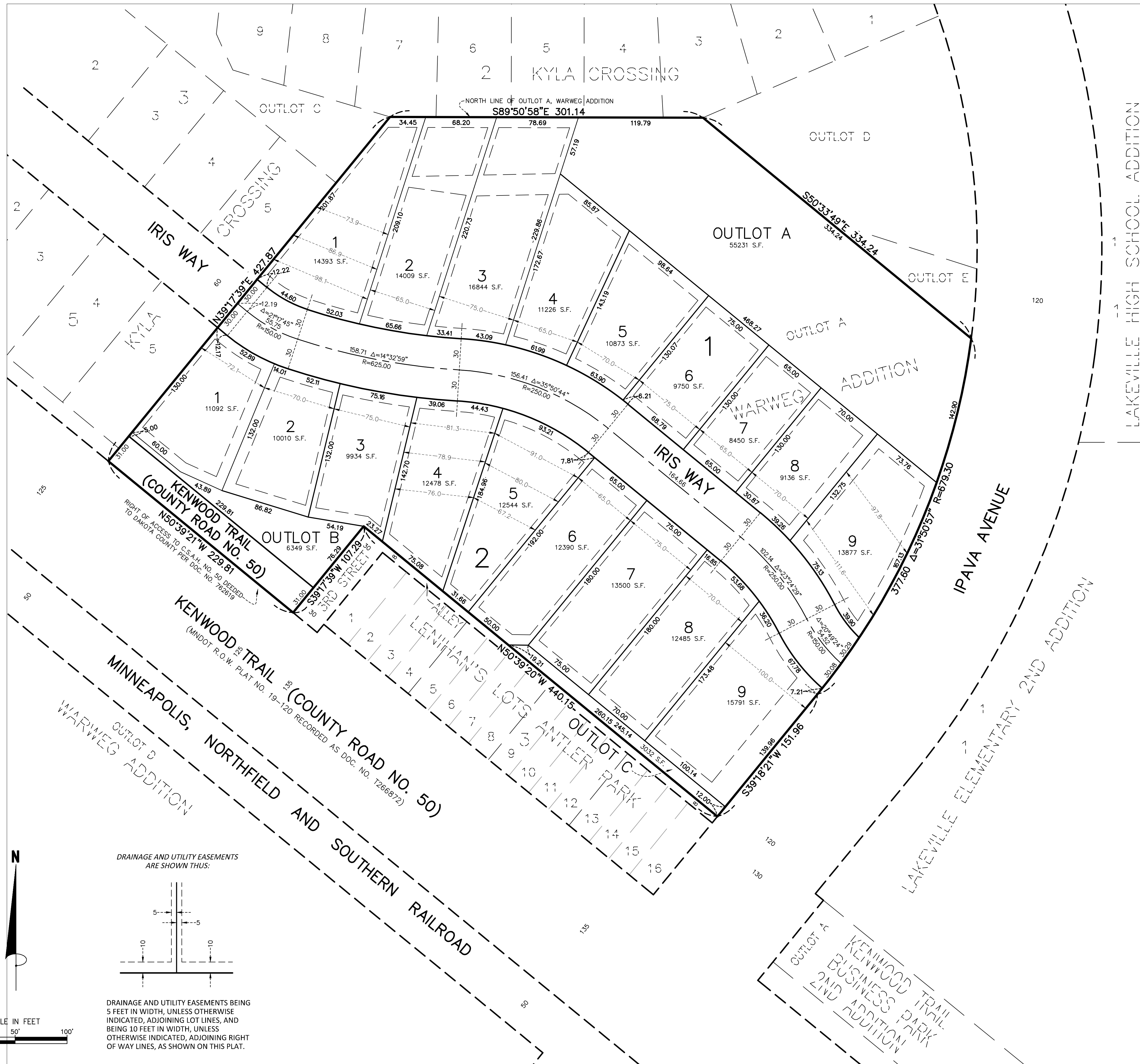
Findings of fact for the Zoning Map Amendment and the Comprehensive Plan Amendment are attached for your consideration.



City of Lakeville
Location Map
Kyla Crossing
2nd Add
EXHIBIT A







PROPERTY DESCRIPTION
 Outlot A, WARWEG ADDITION, Dakota County, Minnesota.

SITE DATA	
LOTS	18 LOTS
TOTAL SITE AREA	7.639 AC.
LOT AREA	5.023 AC.
OUTLOT AREA	1.483 AC.
RIGHT OF WAY AREA (SUBDIVISION)	1.133 AC. (0.970 AC.)
(KENWOOD TRAIL)	(0.163 AC.)
GROSS DENSITY	2.4 LOTS/AC
NET DENSITY:	
GROSS AREA	7.639 AC.
LESS OUTLOTS	-1.483 AC.
LESS KENWOOD TRAIL	-0.163 AC.
NET AREA	5.993 AC.
NET DENSITY	3.0 LOTS/AC

EXISTING ZONING IS RM-2 (MEDIUM DENSITY RESIDENTIAL)
 PROPOSED ZONING IS RST-2 (SINGLE-FAMILY RESIDENTIAL)

MINIMUM STANDARDS PER CITY ZONING CODE

MIN. LOT WIDTH - INTERIOR	55 FT.
MIN. LOT WIDTH - CORNER	70 FT.
MIN. LOT WIDTH - CORNER (IPA VA AVE.)	90 FT.
MIN. LOT AREA - INTERIOR	7,500 S.F.
MIN. LOT AREA - CORNER	9,520 S.F.

SETBACKS (MINIMUMS)

FRONT YARD (HOUSE)	20'
FRONT YARD (GARAGE)	25'
SIDE YARD (HOUSE & GARAGE)	7'
CORNER LOT SIDE STREET	20'
CORNER LOT ABUTTING IPA VA AVE.	30'
REAR YARD	30'
REAR YARD ABUTTING KENWOOD TRAIL	50'
REAR YARD FOR ANY OPEN AND UNCOVERED TERRACES, STEPS, DECKS, AND STOOPS	20'

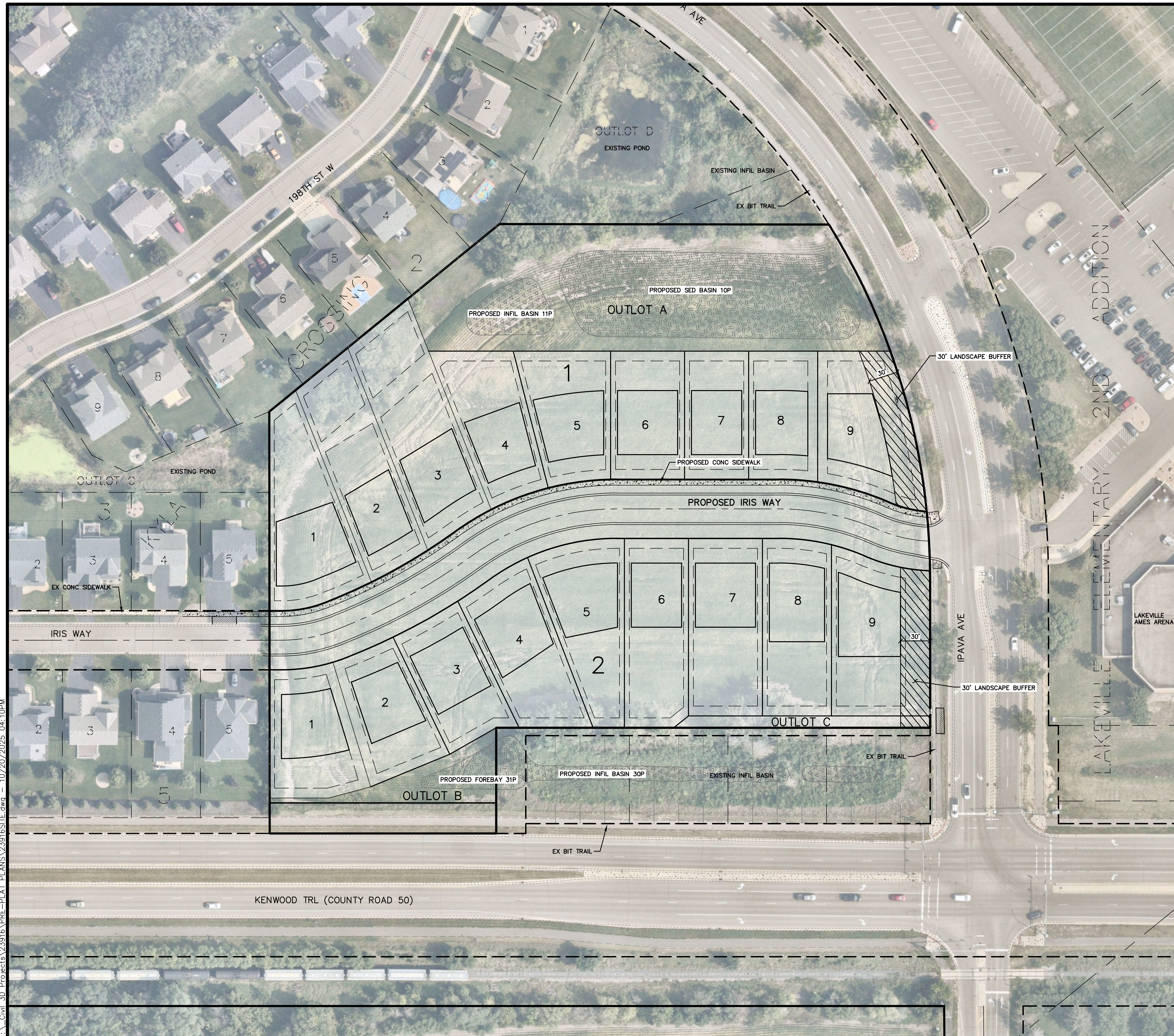
MAXIMUM BUILDING COVERAGE 40%

James R. Hill, Inc.
 PLANNERS / ENGINEERS / SURVEYORS
 2999 WEST C.R. 42, SUITE 100, BURNSVILLE, MN 55306
 PHONE: 952.890.6044
 mhampston@jrhinc.com
 www.jrhinc.com

KYLA CROSSING SECOND ADDITION
 LAKEVILLE, MINNESOTA
PRELIMINARY PLAT
 FOR
TOPAZ, LLC
 3000 COUNTY ROAD 42 WEST, SUITE 302, BURNSVILLE, MN 55337

DRAWN BY	PLM
DATE	8/8/2025
REVISIONS	
A 10/17/25: CITY COMMENTS	
CAD FILE	23916pp.dwg
PROJECT NO.	23916-00
SHEET 1 OF 1	

EXHIBIT D



LEGEND

- EXISTING CURB & GUTTER
- EXISTING FENCE
- EXISTING SIGN
- EXISTING ASPHALT
- EXISTING CONCRETE
- PROPOSED CURB & GUTTER
- PROPOSED CONCRETE
- PROPOSED ASPHALT SURFACE
- PROPOSED SEDIMENT BASIN
- PROPOSED INFILTRATION BASIN
- BSL BSL BSL BUILDING SETBACK LINE

SITE DATA

LOTS	18 LOTS
TOTAL SITE AREA	7.639 AC.
LOT AREA	5.023 AC.
OUTLOT AREA	1.483 AC.
RIGHT OF WAY AREA	1.133 AC.
(SUBDIVISION)	(0.970 AC.)
(KENWOOD TRAIL)	(0.163 AC.)
GROSS DENSITY	2.4 LOTS/AC
NET DENSITY:	
GROSS AREA	7.639 AC.
LESS OUTLOTS	-1.483 AC.
LESS KENWOOD TRAIL	-0.163 AC.
NET AREA	5.993 AC.
NET DENSITY	3.0 LOTS/AC

EXISTING ZONING IS RM-2 (MEDIUM DENSITY RESIDENTIAL)
 PROPOSED ZONING IS RST-2 (SINGLE-FAMILY RESIDENTIAL)

MINIMUM STANDARDS PER CITY ZONING CODE

MIN. LOT WIDTH - INTERIOR	55 FT.
MIN. LOT WIDTH - CORNER	70 FT.
MIN. LOT WIDTH - CORNER (IPAVA AVE.)	90 FT.
MIN. LOT AREA - INTERIOR	7,500 S.F.
MIN. LOT AREA - CORNER	9,520 S.F.

SETBACKS (MINIMUMS)

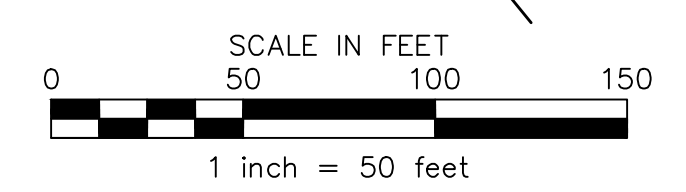
FRONT YARD (HOUSE)	20'
FRONT YARD (GARAGE)	25'
SIDE YARD (HOUSE & GARAGE)	7'
CORNER LOT SIDE STREET	20'
CORNER LOT ABUTTING IPAVA AVE.	30'
REAR YARD	30'
REAR YARD ABUTTING KENWOOD TRAIL	50'
REAR YARD FOR ANY OPEN AND UNCOVERED TERRACES, STEPS, DECKS, AND STOOPS	20'

MAXIMUM BUILDING COVERAGE 40%

EXHIBIT F



Know what's below.
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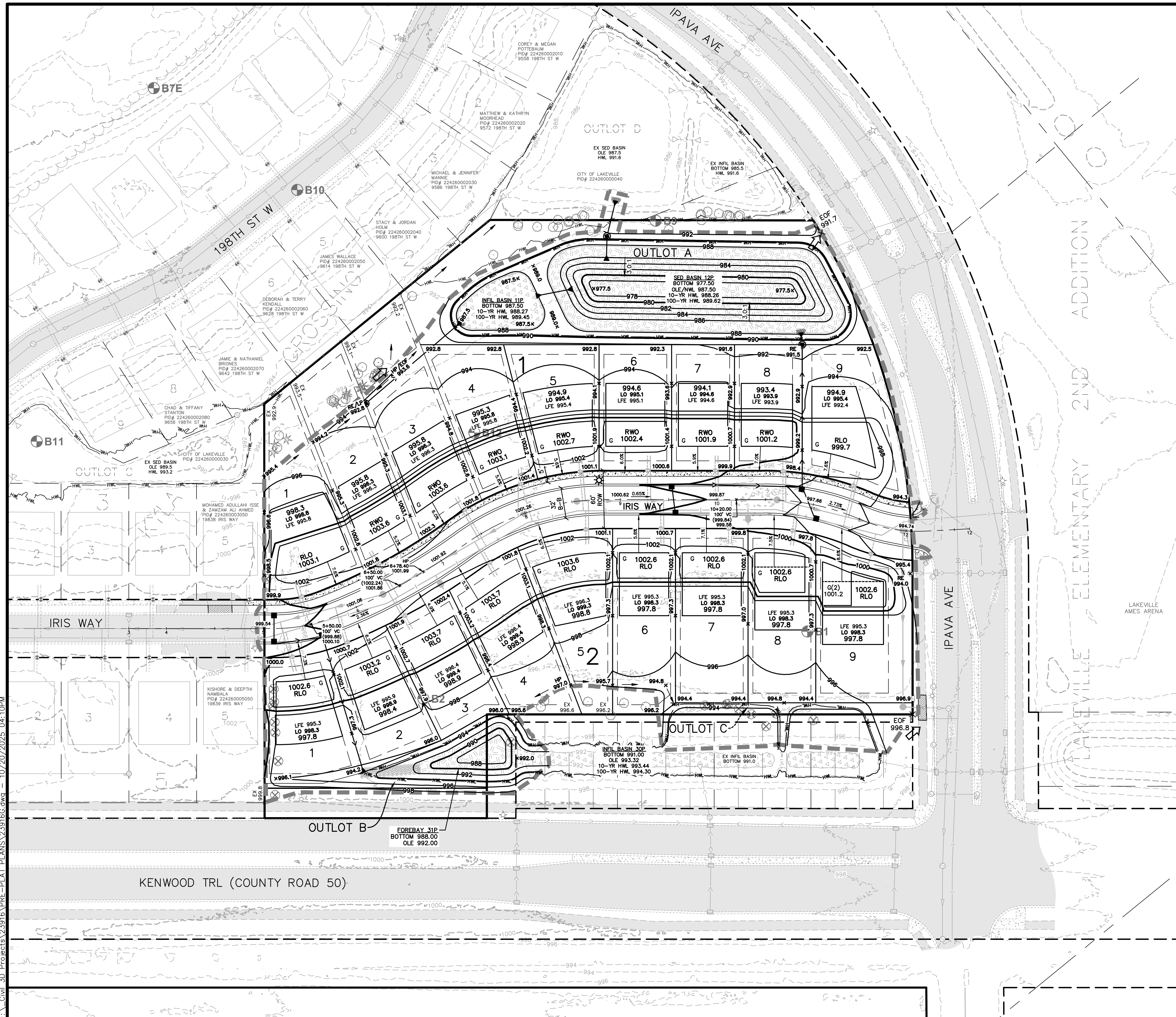


James R. Hill, Inc.
 PLANNERS / ENGINEERS / SURVEYORS
 2999 W. Cty. Rd. 42, Suite 100, Burnsville, MN 55306
 PHONE: (952)890-6044 FAX: (952)890-6244

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Paul J. DeBorja
 Date: 08/04/2025 Reg. No. 22709

KYLA CROSSING SECOND ADDITION
 LAKEVILLE, MINNESOTA
SITE PLAN
 FOR
TOPAZ, LLC
 3000 COUNTY ROAD 42 WEST, SUITE 302, BURNSVILLE, MN 55337

DRAWN BY	JSO
DATE	08/28/2025
REVISIONS	
10/17/2025	CITY COMMENTS
CAD FILE	23916SITE
PROJECT NO.	23916
	1.3



LEGEND

	EXISTING WATERMAIN
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING UNDERGROUND GAS
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND FIBER OPTIC
	EXISTING OVERHEAD POWER LINE
	EXISTING LIGHT POLE
	EXISTING MANHOLE (ELECTRIC)
	EXISTING TRANSFORMER
	EXISTING TELEPHONE PEDESTAL
	EXISTING TV PEDESTAL
	EXISTING VAULT
	EXISTING CURB & GUTTER
	EXISTING FENCE
	EXISTING CONTOUR
	EXISTING SIGN
	EXISTING TREELINE/TREES
	EXISTING SOIL BORING LOCATION
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED WATERMAIN
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY SERVICE
	PROPOSED WATER SERVICE
	PROPOSED STORM SEWER
	PROPOSED CURB & GUTTER
	PROPOSED CONTOUR
	PROPOSED GRADING LIMITS
	PROPOSED EMERGENCY OVERTFLOW
	PROPOSED CONCRETE
	PROPOSED BITUMINOUS SURFACE
	PROPOSED SEDIMENT BASIN
	PROPOSED INFILTRATION BASIN

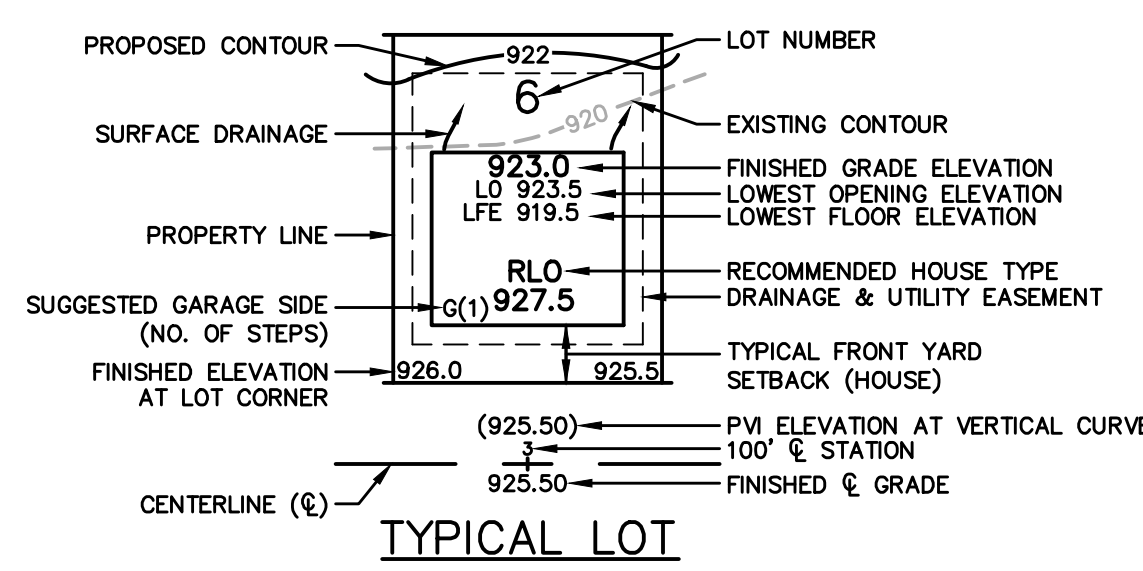
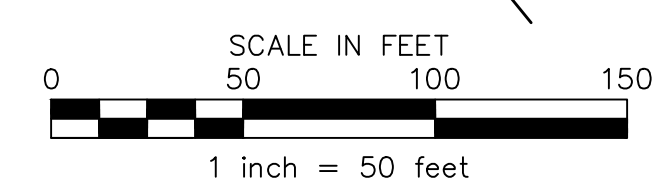


EXHIBIT G

- ### BENCHMARKS
- #1 TNH, IRIS WAY R-O-W IN FRONT OF LOT 5, BLOCK 5 KYLA CROSSING
ELEV=1002.32
 - #2 EX SSMH 31 RIM, IPAVA AVE 155' NE OF KENWOOD TRL/IPAVA INTERSECTION
ELEV=995.83



James R. Hill, Inc.
 PLANNERS / ENGINEERS / SURVEYORS
 2999 W. Ctr. Rd. 42, Suite 100, Burnsville, MN 55306
 PHONE: (952)890-6044 FAX: (952)890-6244

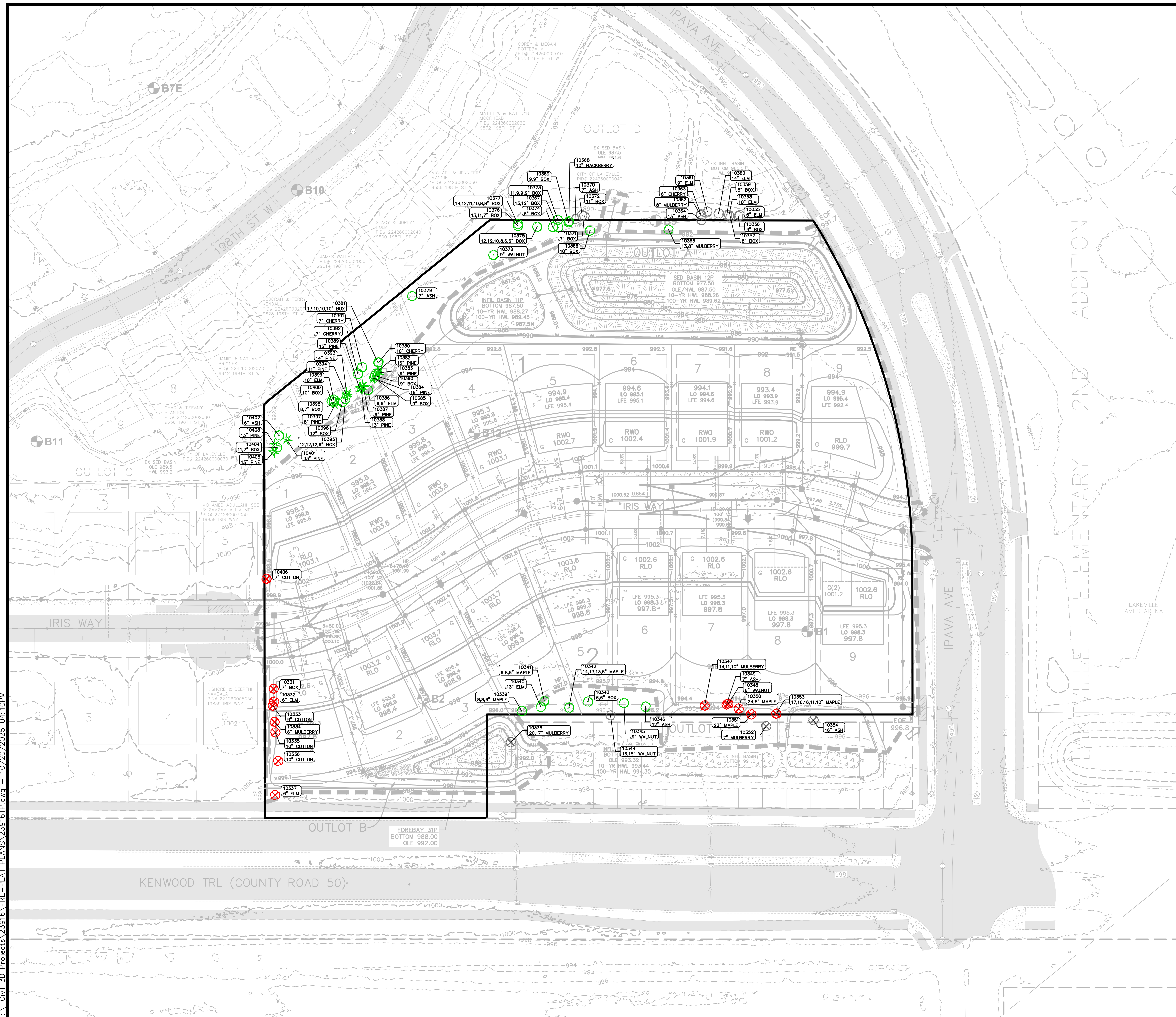
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Date: 08/04/2025 Reg. No. 22709

KYLA CROSSING SECOND ADDITION
 LAKEVILLE, MINNESOTA
GRADING & DRAINAGE PLAN
 FOR
TOPAZ, LLC
 3000 COUNTY ROAD 42 WEST, SUITE 302, BURNSVILLE, MN 55337

DRAWN BY JSO
DATE 08/28/2025
REVISIONS
10/17/2025 CITY COMMENTS
CAD FILE 23916G
PROJECT NO. 23916
2.0

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LEGEND

- EXISTING TREE
- REMOVE TREE
- EXISTING TREE (OFF-SITE)
- GRADING/DISTURBANCE LIMITS

- NOTES**
1. TREE DATA PROVIDED BY MIDWEST NATURAL RESOURCES ON 7/10/2024.
 2. EXISTING TAGGED TREES THAT ARE OUTSIDE OF THE PROPERTY BOUNDARY (OFF-SITE) ARE NOT INCLUDED IN THE TREE CALCULATIONS. TREES REMOVED OFF-SITE ARE INCLUDED. SEE TREE PRESERVATION SPREADSHEET PREPARED BY JAMES R. HILL FOR MORE INFO.
 3. THIS DRAWING IS INTENDED TO BE VIEWED IN COLOR.

James R. Hill, Inc.
 PLANNERS / ENGINEERS / SURVEYORS
 2999 W. Cty. Rd. 42, Suite 100, Burnsville, MN 55306
 PHONE: (952)890-6044 FAX: (952)890-6244

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Date: 08/04/2025 Reg. No. 22709

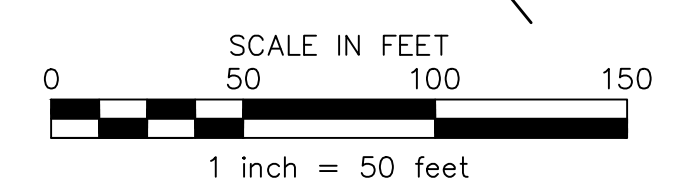
KYLA CROSSING SECOND ADDITION
 LAKEVILLE, MINNESOTA
TREE PRESERVATION PLAN
 FOR
TOPAZ, LLC
 3000 COUNTY ROAD 42 WEST, SUITE 302, BURNSVILLE, MN 55337

DRAWN BY JSO
DATE 08/28/2025
REVISIONS
10/17/2025 CITY COMMENTS
CAD FILE 23916TP
PROJECT NO. 23916
2.1

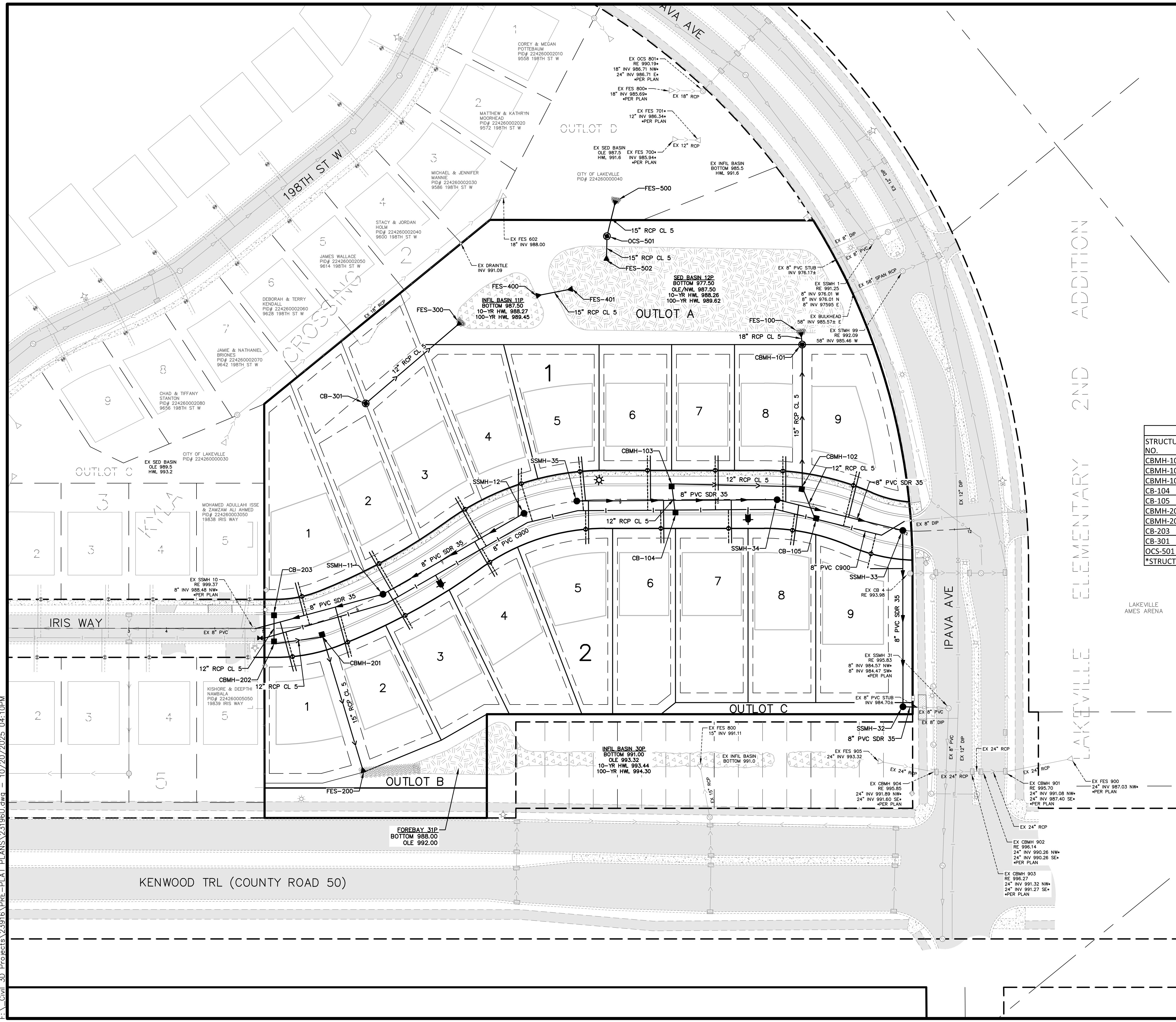
EXHIBIT H



Know what's below.
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LEGEND

	EXISTING WATERMAIN
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING UNDERGROUND GAS
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND FIBER OPTIC
	EXISTING OVERHEAD POWER LINE
	EXISTING LIGHT POLE
	EXISTING MANHOLE (ELECTRIC)
	EXISTING TRANSFORMER
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	EXISTING FENCE
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	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED WATERMAIN
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY SERVICE
	PROPOSED WATER SERVICE
	PROPOSED STORM SEWER
	PROPOSED CURB & GUTTER
	PROPOSED CONCRETE
	PROPOSED BITUMINOUS SURFACE
	PROPOSED SEDIMENT BASIN
	PROPOSED INFILTRATION BASIN

STORM SEWER SCHEDULE

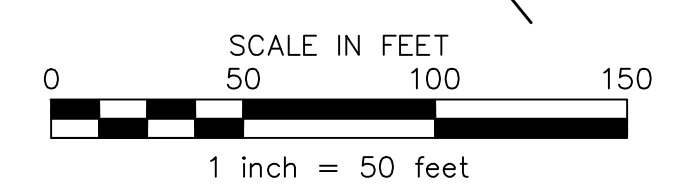
STRUCTURE NO.	TYPE	BUILD HEIGHT (FEET)	STRUCTURE SIZE	NEENAH CASTING
CBMH-101	CATCH BASIN MANHOLE	3.94	48" ø	R-4342
CBMH-102*	CATCH BASIN MANHOLE	8.85	48" ø	R-3067V
CBMH-103	CATCH BASIN MANHOLE	3.69	48" ø	R-3067V
CB-104	CATCH BASIN	3.50	24"x36"	R-3067V
CB-105	CATCH BASIN	3.50	24"x36"	R-3067V
CBMH-201*	CATCH BASIN MANHOLE	9.17	48" ø	R-3067V
CBMH-202	CATCH BASIN MANHOLE	3.66	48" ø	R-3067V
CB-203	CATCH BASIN	3.50	24"x36"	R-3067V
CB-301	CATCH BASIN	3.50	27" ø	R-4342
OCS-501	OUTLET CONTROL STRUCTURE	6.00	48" ø	SEE DETAIL

*STRUCTURE INCLUDES 4-FOOT SUMP

EXHIBIT I



Know what's below.
Call before you dig.



James R. Hill, Inc.
PLANNERS / ENGINEERS / SURVEYORS
2999 W. Cty. Rd. 42, Suite 100, Burnsville, MN 55306
PHONE: (952)890-6044 FAX: (952)890-6244

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Date: 08/04/2025 Reg. No. 22709

KYLA CROSSING SECOND ADDITION
LAKEVILLE, MINNESOTA
OVERALL UTILITY PLAN
FOR
TOPAZ, LLC
3000 COUNTY ROAD 42 WEST, SUITE 302, BURNSVILLE, MN 55337

DRAWN BY
JSO
DATE
08/28/2025
REVISIONS
10/17/2025 CITY COMMENTS
CAD FILE
23196U
PROJECT NO.
23916
3.0



Dakota County Surveyor's Office

Western Service Center • 14955 Galaxie Avenue • Apple Valley, MN 55124
952.891-7087 • Fax 952.891-7127 • www.co.dakota.mn.us

October 17, 2025

City of Lakeville
20195 Holyoke Ave.
Lakeville, MN 55044

Re: **KYLA CROSSING 2ND ADDITION**

The Dakota County Plat Commission met on October 8, 2025, to consider the preliminary plat of the above referenced plat. The plat is adjacent to CSAH 50 (Kenwood Tr.) and is therefore subject to the Dakota County Contiguous Plat Ordinance.

The proposed site includes 18 single family lots. Access to the site is from Iris Way via Ipava Avenue with no access to CSAH 50. The right-of-way needs for a future 4-lane divided roadway are 75 feet of half right of way. The plat should dedicate additional right of way along CSAH 50, which includes 31-foot strip from the southwesterly line of Outlot B. Restricted access should be shown along all of CSAH 50. A quit claim deed for restricted access to Dakota County is required with the recording of the plat mylars.

The Plat Commission has approved the preliminary and final plat, provided that the described conditions are met, and will recommend approval to the County Board of Commissioners on November 4, 2025

Traffic volumes on CSAH 50 are 15,100 ADT and are anticipated to be 18,100 ADT by the year 2040. These traffic volumes indicate that current Minnesota noise standards for residential units could be exceeded for the proposed plat. Residential developments along County highways commonly result in noise complaints. In order for noise levels from the highway to meet acceptable levels for adjacent residential units, substantial building setbacks, buffer areas, and other noise mitigation elements should be incorporated into this development.

No work shall commence in the County right of way until a permit is obtained from the County Transportation Department and no permit will be issued until the plat has been filed with the County Recorder's Office. The Plat Commission does not review or approve the actual engineering design of proposed accesses or other improvements to be made in the right of way. Nothing herein is intended to restrict or limit Dakota County's rights with regards to Dakota County rights of way or property. The Plat Commission highly recommends early contact with the Transportation Department to discuss the permitting process which reviews the design and may require construction of highway improvements, including, but not limited to, turn lanes, drainage features, limitations on intersecting street widths, medians, etc. Please contact TJ Bentley regarding permitting questions at (952) 891-7115 or Todd Tollefson regarding Plat Commission or Plat Ordinance questions at (952) 891-7070.

Sincerely,

A handwritten signature in black ink that reads "Todd B. Tollefson".

Todd B. Tollefson
Secretary, Plat Commission

c: Bill Ryan, Ryan Real Estate and Rick Osberg, MN Hill

EXHIBIT K

CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA

ZONING MAP AMENDMENT
FINDINGS OF FACT AND RECOMMENDATION
TOPAZ PROPERTIES, LLC

On November 20, 2025 the Lakeville Planning Commission met at its regularly scheduled meeting to consider the application of Topaz Properties, LLC for an amendment to the Zoning Map to rezone property from RM-2, Medium Density Residential District to RST-2, Single and Two Family Residential District. The Planning Commission conducted a public hearing on the application preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The subject property is guided for Medium/High Density Residential land use by the 2040 Comprehensive Plan. Topaz Properties, LLC has applied for an amendment to the 2040 Land Use Plan to change the guided land use to Low Density Residential.
2. The subject property is zoned RM-2, Medium Density Residential District. Topaz Properties, LLC has applied for an amendment to the Zoning Map to change the zoning of the property to RST-2, Single and Two Family Residential District.
3. The legal description of the property is:

Outlot A, Warweg Addition

4. Section 11-3-3.E of the City of Lakeville Zoning Ordinance provides that the Planning Commission shall consider possible effects of the proposed amendment. Its judgment shall be based upon, but not limited to, the following factors:
 - a. **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.**

Finding: The property is located in Planning District No. 4 of the 2040 Comprehensive Land Use Plan. The proposed Zoning Map amendment will meet policies outlined in Planning District No. 4. Furthermore, Envision Lakeville establishes a set of community values that guide development and implementation of the 2040 Comprehensive Plan, including providing housing options for people of all ages and stages of life.

- b. **The proposed use is or will be compatible with present and future land uses of the area.**

Finding: The subject site is at the northwest corner of Ipava Avenue and Kenwood Trail, adjacent to a single-family neighborhood. The proposed single-family development is consistent with the present and future land uses in the area.

- c. **The proposed use conforms to all performance standards contained in the Zoning Ordinance and the City Code.**

Finding: The proposed single-family development complies with the requirements of the Zoning Ordinance, Subdivision Ordinance, and City Code.

- d. **The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.**

Finding: The subject site is within the MUSA and is served within the existing public service capacity for the development. The proposed use will not overburden the City's service capacity.

- e. **Traffic generated by the proposed use is within capabilities of streets serving the property.**

Finding: The subject site is accessed by Ipava Avenue and Iris Way, which can serve the proposed development. The streets accessing the property have adequate capacity to accommodate traffic generated by the proposed development.

- 5. The planning report dated November 10, 2025 prepared by Kris Jenson, Planning Manager, is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the Zoning Map amendment, subject to Metropolitan Council approval of the Comprehensive Plan Amendment.

DATED: November 20, 2025

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair

CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA

2040 COMPREHENSIVE PLAN AMENDMENT
FINDINGS OF FACT AND RECOMMENDATION
TOPAZ PROPERTIES, LLC

On November 20, 2025 the Lakeville Planning Commission met at its regularly scheduled meeting to consider the application of Topaz Properties, LLC to consider an amendment to the 2040 Land Use Plan map of the 2040 Comprehensive Plan. The Planning Commission conducted a public hearing on the application preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The subject property is guided for Medium/High Density land uses in the 2040 Comprehensive Land Use Plan. Topaz Properties, LLC has applied for an amendment to the 2040 Comprehensive Land Use Plan to change the guided land use to Low Density Residential.
2. The legal description of the property is:

Outlot A, Warweg Addition

3. The 2040 Comprehensive Plan provides that the Planning Commission shall consider possible effects of the proposed amendment with its judgment to be based upon, but not limited to, the following factors:
 - a. **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.**

Finding: The property is located in Planning District No. 4 of the 2040 Comprehensive Land Use Plan. The proposed comprehensive plan amendment will meet policies outlined in Planning District No. 4. Furthermore, Envision Lakeville establishes a set of community values that guide development and implementation of the 2040 Comprehensive Plan, including providing housing options for people of all ages and stages of life.

- b. **The proposed use is or will be compatible with present and future land uses of the area.**

Finding: The proposed single family, low density residential use is compatible with the single-family residential character of the abutting neighborhood.

- c. **The proposed use conforms to all performance standards contained in the Zoning Ordinance and the City Code.**

Finding: The proposed low density residential land use and site improvements illustrated on the civil plans are consistent with the zoning and subdivision ordinances.

- d. **The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.**

Finding: The subject site is within the MUSA and will be served by existing sanitary sewer and water services. The proposed 18-lot, single family development is not considered premature and will not overburden the City's service capacity..

- e. **Traffic generated by the proposed use is within capabilities of streets serving the property.**

Finding: The subject site is accessed by Ipava Avenue and Iris Way, which can serve the proposed development. The streets accessing the property have adequate capacity to accommodate traffic generated by the proposed use.

- 5. The planning report dated November 10, 2025 prepared by Kris Jenson, Planning Manager is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the Comprehensive Plan amendment subject to the approval of the Metropolitan Council.

DATED: November 20, 2025

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair



Memorandum

To: Kris Jenson, Planning Manager

From: Grace Ellis, Graduate Engineer
McKenzie L. Cafferty, Environmental Resources Manager
Joe Masiarchin, Parks and Recreation Director

Copy: Zach Johnson, City Engineer
Tina Goodroad, Community Development Director
Julie Stahl, Finance Director
Dave Mathews, Building Official

Date: November 10, 2025

Subject: Kyla Crossing 2nd Addition

- Preliminary Plat Review
- Preliminary Grading and Erosion Control Plan Review
- Preliminary Utility Plan Review
- Preliminary Tree Preservation Review

BACKGROUND

Topaz, LLC has submitted a preliminary plat named Kyla Crossing 2nd Addition. The proposed subdivision is located north of and adjacent to Kenwood Trail (CSAH 50) and west of and adjacent to Ipava Avenue. The parent parcels consist of Outlot A, Warweg Addition and is zoned RM-2 (Medium Density Residential) and is proposed to be zoned RST-2 (Single and Two-Family Residential).

The preliminary plat consists of eighteen (18) single-family lots within two (2) blocks, and three (3) outlots on 7.64 acres.

The outlots created with the preliminary plat shall have the following use:

- Outlot A: Stormwater management basin; to be deeded to the City (1.27 acres)
- Outlot B: Stormwater management basin; to be deeded to the City (0.15 acres)
- Outlot C: Stormwater management basin; to be deeded to the City (0.07 acres)

The proposed development will be completed by:

Developer: Topaz, LLC
Engineer/Surveyor: James R. Hill, Inc.

SITE CONDITIONS

The Kyla Crossing 2nd Addition site consists of undeveloped agricultural land. The parent parcel generally drains south to north.

STREET AND SUBDIVISION LAYOUT

Kenwood Trail (CSAH 50)

Kyla Crossing 2nd Addition is located north of and adjacent to Kenwood Trail, a minor arterial County highway, as identified in the City's Transportation Plan. Kenwood Trail is currently constructed as a four-lane divided urban roadway with a center median. The current Dakota County Plat Review Needs Map indicates a half right-of-way requirement of 75-feet and designates this roadway as a four-lane divided urban roadway over its entire length adjacent to the plat. The Developer is dedicating the necessary right-of-way as shown on the preliminary plat. The preliminary plat was reviewed and recommended for approval by the Dakota County Plat Commission at their October 8, 2025 meeting upon meeting the described conditions in the plat commission letter.

Ipava Avenue

Kyla Crossing 2nd Addition is located west of and adjacent to Ipava Avenue, a major collector roadway, as identified in the City's Transportation Plan. Ipava Avenue is currently constructed as a four-lane divided urban roadway with a center median adjacent to the plat. Ipava Avenue has the necessary right-of-way adjacent to the plat area and no additional right-of-way dedication is needed.

The Developer is proposing one full access intersection to Ipava Avenue with the development improvements.

Iris Way (Local Road)

Development of Kyla Crossing 2nd Addition includes the construction of Iris Way, a local roadway. Iris Way is designed as a 32-foot wide urban roadway with a five-foot sidewalk along one side of the street. The Developer is dedicating 60-feet of right-of-way. Iris Way will provide a connection and access to Ipava Avenue.

CONSTRUCTION ACCESS

Construction traffic access and egress for grading, utility and street construction will be from Ipava Avenue. Access to the existing adjacent local roadways shall not be permitted for the construction.

PARKS, TRAILS AND SIDEWALKS

The City's Parks, Trails and Open Space Plan does not designate a park within Kyla Crossing 2nd Addition. The Park Dedication requirement has not been collected on the parent parcel and shall be satisfied through a cash contribution with the final plat.

Development of Kyla Crossing 2nd Addition includes the construction of public sidewalks. Five-foot wide concrete sidewalks, with pedestrian curb ramps, will be installed along one side of all local streets.

UTILITIES

SANITARY SEWER

Kyla Crossing 2nd Addition is located within subdistricts ML-70000 and ML-70215 of the Lake Marion sanitary sewer district as identified in the City's Sanitary Sewer Comprehensive Plan.

Development of Kyla Crossing 2nd Addition includes the extension of public sanitary sewer. 8-inch sanitary sewer will be constructed within the subdivision. The wastewater from the development will be conveyed via existing trunk sanitary sewer to the Empire Wastewater Treatment Facility monitored by meter M649.

The Sanitary Sewer Availability Charge has not been collected on the parent parcel and shall be paid with the final plat. The fee will be based on the current rate in effect at the time of final plat approval.

WATERMAIN

Development of Kyla Crossing 2nd Addition includes the extension of public watermain. 8-inch watermain will be extended within the development to provide water service to the subdivision.

DRAINAGE AND GRADING

Kyla Crossing 2nd Addition is located within subdistrict SC-080 of the South Creek stormwater district as identified in the City's Water and Natural Resources Management Plan.

Development of Kyla Crossing 2nd Addition includes the construction of two and expansion of one publicly owned and maintained stormwater management basins to collect and treat the stormwater runoff generated from the site. The northern two basins outlet to the existing basin north of the platted area. The southern basin will expand the existing basin that collects runoff from Kenwood Trail.

The stormwater management basins will be located within Outlots A and B which will be deeded to the City with the final plat. The stormwater basin design shall be shown as consistent with City requirements prior to recording of the final plat.

The final grading plan shall identify all fill lots in which the building footings will be placed on fill material. The grading specifications shall also indicate that all embankments meet FHA/HUD 79G specifications. The Developer shall certify to the City that all lots with footings placed on fill material are appropriately constructed. Building permits will not be issued until a soils report and an as-built certified grading plan have been submitted and approved by City staff.

Kyla Crossing 2nd Addition contains more than one acre of site disturbance. A National Pollution Discharge Elimination System General Stormwater Permit for construction activity is required from the Minnesota Pollution Control Agency for areas exceeding one acre being disturbed by grading. A copy of the Notice of Stormwater Permit Coverage must be submitted to the City upon receipt from the MPCA.

STORM SEWER

Development of Kyla Crossing 2nd Addition includes the construction of public storm sewer systems. Storm sewer will be installed within the subdivision to collect and convey stormwater runoff generated from within the public right-of-way and lots to the public stormwater management basins located within Outlots A and B.

Draintile construction is required in areas of non-granular soils within Kyla Crossing 2nd Addition for the street sub-cuts and lots. Any additional draintile construction, including perimeter draintile required for building footings, which is deemed necessary during construction shall be the developer's responsibility to install and finance.

The Storm Sewer Charge has not been collected on the parent parcels and must be paid with the Kyla Crossing 2nd Addition final plat.

RESIDENTIAL BUFFER YARD REQUIREMENTS

Kenwood Trail is a minor arterial and Ipava Avenue is a major collector roadway as identified in the City's Transportation Plan. A buffer yard containing earth berms and/or plantings of a sufficient density to provide a visual screen and a reasonable buffer a minimum of ten feet in height shall be provided adjacent to Ipava Avenue consistent with the Zoning Ordinance. None of the lots in Block 2 are directly adjacent to Kenwood Trail, so buffer yard plantings are not required, though the landscape plan shows proposed plantings at the rear of Lots 4-9, Block 2 and Outlot B. Trees intended for buffer purposes within Outlot B must be relocated to the rear of Lots 1-3, Block 2. A certified as-built grading plan of the buffer yard berm must be submitted and approved by City staff prior to the installation of any buffer yard plantings.

FEMA FLOODPLAIN ANALYSIS

Kyla Crossing 2nd Addition is shown on the Flood Insurance Rate Map (Map No. 27037C0192E) as Zone X by the Federal Emergency Management Agency (FEMA). Based on this designation, there are no areas in the plat located within a Special Flood Hazard Area (SFHA), as determined by FEMA.

WETLANDS

A wetland delineation was completed for the site. The Notice of Application was sent out September 12, 2025. Based on the onsite review, information provided in the wetland application for the areas outlined in the report, the application has been determined to be acceptable for use in implementing the Wetland Conservation Act and no wetlands were found to be located in the project boundaries.

TREE PRESERVATION

The Tree Preservation Plan for Kyla Crossing 2nd Addition identifies a total of 828 diameter inches of significant trees on the site. Of these, 152 inches of significant trees are proposed to be removed. This is a proposed removal rate of 18.4%, below the 40% removal threshold for the site. The replacement tree calculation is not required for this project.

Plans show six individual lots with at least one tree to be saved, and one outlot with at least one tree to be saved.

Tree protection measures are to be installed prior to, and maintained throughout, construction. The removal of trees marked to be saved will require replacement planting as defined in the tree preservation ordinance.

EROSION CONTROL

The Developer is responsible for obtaining an MPCA Construction Permit for the site prior to construction. The permit requires that all erosion and sediment BMPs be clearly outlined in a site's SWPPP. Changes made throughout construction must be documented in the SWPPP.

Additional erosion control measures may be required during construction as deemed necessary by City staff. Any additional measures required shall be installed and maintained by the developer.

RECOMMENDATION

Engineering recommends approval of the preliminary plat, grading and erosion control plan, and utility plan for Kyla Crossing 2nd Addition, subject to the requirements and stipulations within this report.



Memorandum

To: Planning Commission
From: Tina Goodroad, Community Development Director
Heather Botten, Senior Planner
Date: November 13, 2025
Subject: Packet Material for the November 20, 2025 Planning Commission Meeting
Agenda Item: Dakota Waste Solutions:

1. Zoning Map Amendment (Rezoning) from I-1, Light Industrial to PUD, Planned Unit Development
2. Preliminary plat of a two lot, one outlot subdivision to be known as Dakota Waste Solutions
3. Planned Unit Development (PUD) Development Stage plan approval for a recycling and composting facility – including source-separated organic waste composting and wood processing and recycling capabilities

Application Action Deadline: January 20, 2026

BACKGROUND

Representatives from Dakota Waste Solutions, LLC have submitted applications for a rezoning from I-1, Light Industrial District to PUD, Planned Unit Development District, preliminary plat for a two lot, one outlot subdivision and preliminary PUD development stage plan for the development to be known as Dakota Waste Solutions. A final PUD plan, final plat and related agreements will be required before development activities begin.

The proposed development is located at the southeast corner of 215th Street and Kaparia Avenue. The site is 39.89 acres in area, including right-of-way, and currently used for agricultural purposes and semi-trailer storage in the northeast corner. Two natural gas pipelines cross diagonally through the northern part of the property. Dakota Waste Solutions is proposing an approximately 32-acre recycling and composting facility that will include source-separated organic material (SSOM). The proposed recycling uses will be moved from the property immediately north of 215th

Street to this site and operated within structures and under more formal review and approvals than exist today. A detailed PUD narrative is provided describing the specific uses.

The goal of the proposed development is to be a “zero-waste processing facility”. While some materials that enter the site will ultimately be discarded, the intent of the facility is to process all the materials that are brought to the site into useful products. This will ease the burden on landfills as many tons of materials that would otherwise be disposed of in a landfill will now be re-used after some processing at the facility.

The site contains food and yard waste processing facilities. Food waste that will be brought to this site will be sorted at the source and will be limited to certain types of material listed in the attached PUD ordinance. The list includes, but not limited to, items such as fruits, vegetables, garden waste, and cooked meat. The City and Minnesota Pollution Control Agency (MPCA) shall be notified a minimum of 30 days prior to any change to the list of accepted materials at this facility.

The Dakota Waste Solutions preliminary plat and PUD development plans have been reviewed by Community Development, Engineering, Environment Resources Division, and the City Forester, as well as Barr Engineering for stormwater review. In addition to needing approval from the city, the Dakota Waste Solution facility shall obtain and maintain a Dakota County License for a Solid Waste Composting Facility and MPCA permits, including any required permit(s) for a Source-Separated Organic Material Compost Facility.

EXHIBITS

- A. Location Map
- B. Zoning Map
- C. Applicant Narrative
- D. Preliminary Plat
- E. Existing Conditions
- F. Site Plan
- G. Grading and Drainage Plan
- H. Landscape Plan
- I. Lighting Photometric Plan
- J. Planned Unit Development Ordinance for Dakota Waste Solutions

STAFF ANALYSIS

ZONING MAP AMENDMENT

The developer is requesting a zoning map amendment to rezone the property from I-1, Light Industrial to PUD, Planned Unit Development District with the underlying zoning of I-1 District uses and standards.

The purpose of a PUD district is to provide comprehensive procedures and standards intended to allow flexibility in the development that would not be possible under a conventional zoning district. This PUD District provides enhanced environmental management, flexibility in site design and structure types, and ensures compatibility with surrounding land uses through specific performance standards and conditions for the unique compost and recycling use proposed on the property.

The rezoning will allow consistent site development similar to the uses listed within the underlying I-1 District. Findings of fact for consideration of the zoning map amendment are attached to the planning report.

PRELIMINARY PLAT AND PUD DEVELOPMENT STAGE PLAN REVIEW

The site will be platted into two lots and one outlot. Lot 1 will be 20.2 acres and used for the composting processes and will contain the stormwater retention pond and filtration basin. Lot 2 is 5.7 acres and will be for the wood processing area. The one outlot is 11.6 acres and contains the stream and wetlands on the south portion of the property.

Comprehensive Plan Consistency. The property is currently guided for Warehouse/Light Industrial land uses in Planning District No. 6 of the Comprehensive Land Use Plan. A comprehensive plan amendment to adjust the staging on this property from Expansion Area B to current Municipal Urban Service Area (MUSA) was approved by the City Council on August 18, 2025 and approved by the Metropolitan Council on November 12, 2025. The proposed preliminary plat and PUD Development Stage Plan is consistent with the recommended goals and objectives of the comprehensive plan.

Surrounding Land Uses, Zoning, and Comprehensive Plan Designation

Direction	Existing Use	Land Use Designation	Zoning
North	Existing Dunham Brothers Wood Chipping site	Office Park	OP, Office Park
South	Vacant/Agricultural – Poplar Grove Farms	Warehouse/Light Industrial	I-1, Light Industrial
East	Vacant/Agricultural – Olam Holdings	Warehouse/Light Industrial, Office Park	OP, Office Park and I-1, Light Industrial
West	Industrial Businesses	Warehouse/Light Industrial	I-1, Light Industrial

Existing Site Conditions. The site is currently undeveloped and historically used for agricultural production of row crops.

Lots/Blocks. The Dakota Waste Solutions plat proposes two lots and one outlot. The outlot is undevelopable and will be deeded to the City for protection of the stream. Both lots within the plat exceed the minimum lot area and width requirements in the underlying I-1 District as to be required by the PUD ordinance.

	Minimum Required	Lot 1	Lot 2
Lot Area	30,000 SF	20.2 acres	5.7 acres
Lot Width	100 feet	+1,000 feet	+200 feet

Setbacks. The minimum building setback requirements within the I-1 District to be required by the PUD ordinance and the applicable setbacks for structures proposed by the PUD Development Stage Plan are:

	Minimum Required	Lot 1	Lot 2
Front	40 feet	61 feet	100 feet
Side	10 feet	10+ feet	175 feet
Side	10 feet/30 feet abutting ROW	185+ feet	41 feet
Rear	30 feet	170 feet	30+ feet

Streets/Access. No new streets or pedestrian facilities are to be constructed with the proposed preliminary plat. The site will have two access points. One access will be located on the northeast corner of the site from 215th Street and will primarily be used for trucks bringing recycling and compost materials to the site and for trucks leaving with completed compost materials. There will be a truck scale installed at this access to measure the amount of product entering and leaving the site. The other access will be on the west side of the site from Kaparia Avenue and will be used by the trucks bringing wood materials to the site for recycling or away from the site for deliveries.

The city is proposing to reconstruct 215th Street adjacent to the plat, along with construction of sanitary sewer and watermain during the 2026 construction season. The half right-of-way requirement of 40-feet for the minor collector roadway is shown as being dedicated on the preliminary plat.

Parking/Drive Aisles. The setback requirements for parking lots and drive aisles is 15 feet abutting right-of-way and five feet from interior lot lines. The proposed parking and drive aisles comply with the minimum setback requirements. The proposed site plan has drive areas that cross over internal property boundaries, a cross-access agreement will be required with the final plat.

The proposed use does not have minimum parking requirements listed in city code. The site plan demonstrates parking in three different areas of the site for a total of 45 parking spaces in addition

to 38 trailer spaces. Based on the applicant's need and type of use staff recommends the proposed number of parking spaces is sufficient.

All truck queuing shall occur on-site with no truck parking, standing, or queuing allowed within the public right-of-way.

Building Materials. The exterior building materials of all structures, with the exception of those approved with the final PUD shall comply with City Code Section 11-17-9. The applicant is requesting flexibility from the exterior building material requirements to allow three hoop structures with the PUD ordinance and PUD Development stage plan approval. Hoop structures are conditionally allowed within other zoning districts based on the criteria outlined below and are compatible with industrial uses in the area. Hoop structures may be allowed subject to the applicant demonstrating the following criteria set forth in Section 11-17-9.G of the Zoning Ordinance are met:

- a. *The proposed building maintains the quality in design and materials intended by this title.*
- b. *The proposed building design and materials are compatible and in harmony with other structures within the district.*
- c. *The justification for deviation from the requirements of this section shall not be based on economic considerations.*

The proposed hoop structures are specific to the proposed uses of the property to be allowed under the PUD ordinance. The applicant's request meets the above criteria as the structures will be made from durable, fire-rated fabric and steel framing systems and will comply with all applicable building and fire codes. The justification for deviating from the requirements is not based on economic considerations, it is due to the nature of the business and use of the structures.

Building Height. The maximum building height of any structure is 50-feet, consistent with the underlying I-1 District standards.

Odor. All food waste processing, de-packaging, and composting initiation shall occur within a structure equipped with an odor mitigation system. The composting and processing buildings maintain a negative pressure inside the building, such that all of the internal air is directed and filtered via a biological filter system to reduce odors before being emitted outdoors. No composting activities shall occur outside, and no compost shall be stored outside until the curing phase.

Mechanical Equipment. Any roof-mounted mechanical equipment must be screened if greater than three feet in height. Ground-mounted mechanical equipment must be screened with landscaping and/or fencing.

Outside Storage. Outdoor storage within the I-1 District is allowed as an accessory use and will likewise be allowed within the PUD ordinance subject to the following conditions:

1. The outdoor storage area occupies space other than a required front yard setback or side yard setback area on a corner lot except in the I-1 and I-2 districts the outdoor storage area may occupy the side yard of a corner lot or the rear yard of a double frontage lot abutting a public right of way for those streets not classified as major collector or arterial.
2. The outdoor storage area shall be fenced, screened and/or landscaped according to a plan in compliance with Section 11-21-9 of the Zoning Ordinance and subject to the approval of the zoning administrator.
3. The outdoor storage area is surfaced with asphalt, concrete or pavers with perimeter concrete curb, unless the city engineer exempts all or portions of the curb for stormwater management purposes.
4. The property stored shall not include any waste, except as provided in Section 11-16-29 of [the Zoning Ordinance].

The outdoor storage proposed with the PUD Development Stage Plan complies with the above criteria. The outdoor storage areas exceed any front yard setback requirements. The site is fenced and screened around the perimeter of the development and all outside storage areas are asphalt or concrete. The location of outdoor storage shall be limited only to the areas designated on the approved site plan.

Landscaping. For screening purposes, the site will utilize earthen berms along the north and west boundaries that are six feet tall and 40-feet wide. These berms will be planted with native plants and trees to provide additional screening. The landscape plan proposes a mix of deciduous and ornamental trees and shrubs around the north and west street frontages with the exception of the area within the gas line easement. Trees and shrubs are also provided for screening along the northeast part of the property and sporadically around the southern part of the development. The City Forester has reviewed and approved the landscape plan dated October 16, 2025.

Landscaping on site must be installed per the approved plan. The Developer must provide a security with the final plat to guarantee installation of the landscaping. Construction of the berm is required at the time of site grading and installation of plantings is to be completed prior to issuance of a Certificate of Occupancy. Prior to a final landscape inspection, an as-built landscape plan must be submitted to the city.

Signs. No signs are proposed or approved with the application. Any signs to be installed upon the property are to comply with the requirements applicable for uses within the I-1 District as provided for by the PUD Ordinance. All signs require approval of a sign permit prior to installation.

Fencing. An eight-foot, black vinyl chain link fence is proposed around the perimeter of Lots 1 and 2, Block 1. A building permit is required for any fence seven feet in height or greater. Gates accessing the site shall be set back a sufficient distance so as not to cause congestion in the public street, subject to approval of the City Engineer.

Exterior Lighting. Parking lot lighting is scattered around the site and is proposed to be mounted at a height of 30-feet, complying with code requirements. No light source or combination thereof which casts light on a public street shall exceed one foot-candle meter reading as measured at the right of way or property line. All building mounted lighting must face downward onto the structure. A photometric lighting plan for the proposed exterior lighting has been submitted and complies with the Zoning Ordinance.

Tree Preservation. A total of 93 significant trees were inventoried along the eastern edge of the property. The tree preservation plan indicates the removal of four trees and preservation of 89 trees. Additionally, the southern portion of the property is wooded, though this area is outside the construction limits it is to be protected during construction.

Grading, Drainage, Erosion Control, and Utilities. Grading, drainage and erosion control plans have been submitted with the preliminary plat. City Engineering and Environmental Resources have reviewed the civil plan set.

The stormwater runoff from the impervious areas will be collected and treated in a two-stage pond system and discharged to the West Branch South Creek in accordance with the stormwater regulation set by the city, the watershed jurisdiction, and MPCA.

The collected leachate will be used to keep the compost moisture content in check and excess leachate will be discharged to the city sanitary collection system.

A copy of the engineering report dated November 13, 2025 is attached for your review. The Engineering Division recommends approval of the preliminary plat subject to the stipulations outlined in the report.

Stormwater Maintenance Agreement. A Stormwater Maintenance Agreement will be required with the final plat for maintenance of the stormwater system on site.

Wetlands. There are wetlands on the south side of the property that require a 25-foot buffer. The site drains from northwest to southeast towards West Branch South Creek. A 50-foot buffer is required from the creek, which contains the floodplain area. The floodplain and wetlands will be preserved, and the stormwater ponding and filtration system will be located along the south edge of the development.

Park Dedication. The Comprehensive Parks, Trails, and Open Space Plan does not identify any future park land needs in the area of the plat. Park dedication will be satisfied at the time of final plat with a cash fee determined by the most recent fee schedule for industrial zoned property.

Phasing Plan. Site development, construction, and operation of the proposed facility is to be undertaken in accordance with the following timeline:

- April 2026: Begin construction of compost and food processing facility and wood processing facility.

- September 2026: Start food processing and composting.
- June 2027: Move wood processing facility from the properties immediately north at 10831 215th Street (PIDs 220360007013 and 220360006019) to the subject property and begin cleanup of food processing, composting, wood processing and related outdoor storage on north properties (PIDs 220360007013 and 220360006019).
- September 30, 2028: All wood processing, food processing, composting and all related outdoor storage and activities removed and cleaned-up on north properties (PIDs 220360007013 and 220360006019).

Final Plat/PUD Final Plan. Upon approval of a preliminary plat and PUD development stage plan for the proposed development, the developer must proceed to make application for final plat and PUD final plan approval in accordance with Section 10-2-4 of the Subdivision Ordinance and Section 11-96-15 of the Zoning Ordinance, respectively. The applications for final plat and PUD final plat approvals must be submitted within one year from the date the City Council approves the preliminary plat and PUD development stage plan or the approvals are void.

PUD Development Contract. The developer is required by Section 11-96-23.E of the Zoning Ordinance to enter into a development contract with the City prior to approval of the final plat and PUD development plan. The development contract will be drafted by the City Attorney to outline any terms specific to the PUD District and PUD development stage plan, provide for financial securities for completion of public and private improvements, and ensure completion of the development in accordance with city approvals. The development contract is to be subject to approval of the City Council.

RECOMMENDATION

Community Development Department staff recommend approval of the following requests:

- Approval of the zoning map amendment (rezoning) of the property from I-1, Light Industrial to PUD, Planned Unit Development based on the attached findings of fact and subject to the recording of the final plat and final PUD Development Plan for Dakota Waste Solutions.
- Approval of a preliminary plat for a two-lot subdivision to be known as Dakota Waste Solutions subject to the following stipulations:
 1. All written and graphic materials officially submitted to the city shall be considered as a formal agreement between the developer and the city; once approved by the City Council, no changes, modifications, or alterations shall be made to any use, structure, plan, detail, specification, or standards without prior approval of the Zoning Administrator.

2. An agreement for shared driveway access to Lots 1 and 2, Block 1 shall be established in conjunction with the recording of the final plat, subject to review and approval of the Zoning Administrator.
 3. All grading, drainage, wetland, and erosion control issues and plans shall be subject to review and approval of the City Engineer, including implementation of the recommendations listed in the November 13, 2025 engineering report.
 4. Execution of a Stormwater Maintenance Agreement shall be required between the Developer and the city for the maintenance of the stormwater system, subject to review and approval of the City Engineer.
 5. Outlot A shall be deeded to the City for stormwater management purposes.
 6. Park dedication requirements shall be satisfied by payment of a cash fee in lieu of land dedication at the time of final plat approval based on the fee schedule then in effect.
 7. The preliminary plat and PUD development stage plan shall be valid for one year from the date of City Council approval unless extended as provided for by the Subdivision Ordinance and Zoning Ordinance; prior to expiration of the preliminary plat and PUD development stage plan, the developer shall submit applications for final plat and PUD final plan approval in accordance with the provisions of the Subdivision Ordinance and Zoning Ordinance.
- Approval of a preliminary Planned Unit Development (PUD) Development Stage plan for a recycling and composting facility – including source-separated organic waste composting and wood processing and recycling capabilities subject to the following stipulations:
 1. All written and graphic materials officially submitted to the city shall be considered as a formal agreement between the developer and the city; once approved by the City Council, no changes, modifications, or alterations shall be made to any use, structure, plan, detail, specification, or standards without prior approval of the Zoning Administrator.
 2. Lots 1 and 2, Block 1 shall comply with the PUD ordinance as approved by the City Council for the development and operation of the source-separated organics processing facility.
 3. Applicant shall comply with all applicable current and future Federal, State, County, and City laws, ordinances, rules, regulations, licenses and permits including, but not limited to, those of the Minnesota Pollution Control Agency (MPCA), County, and other regulations applicable to operations at the organic recycling facility.
 4. The facility operations shall be available for inspections by authorized City inspectors within normal company working hours upon reasonable advance notice to the Applicant.

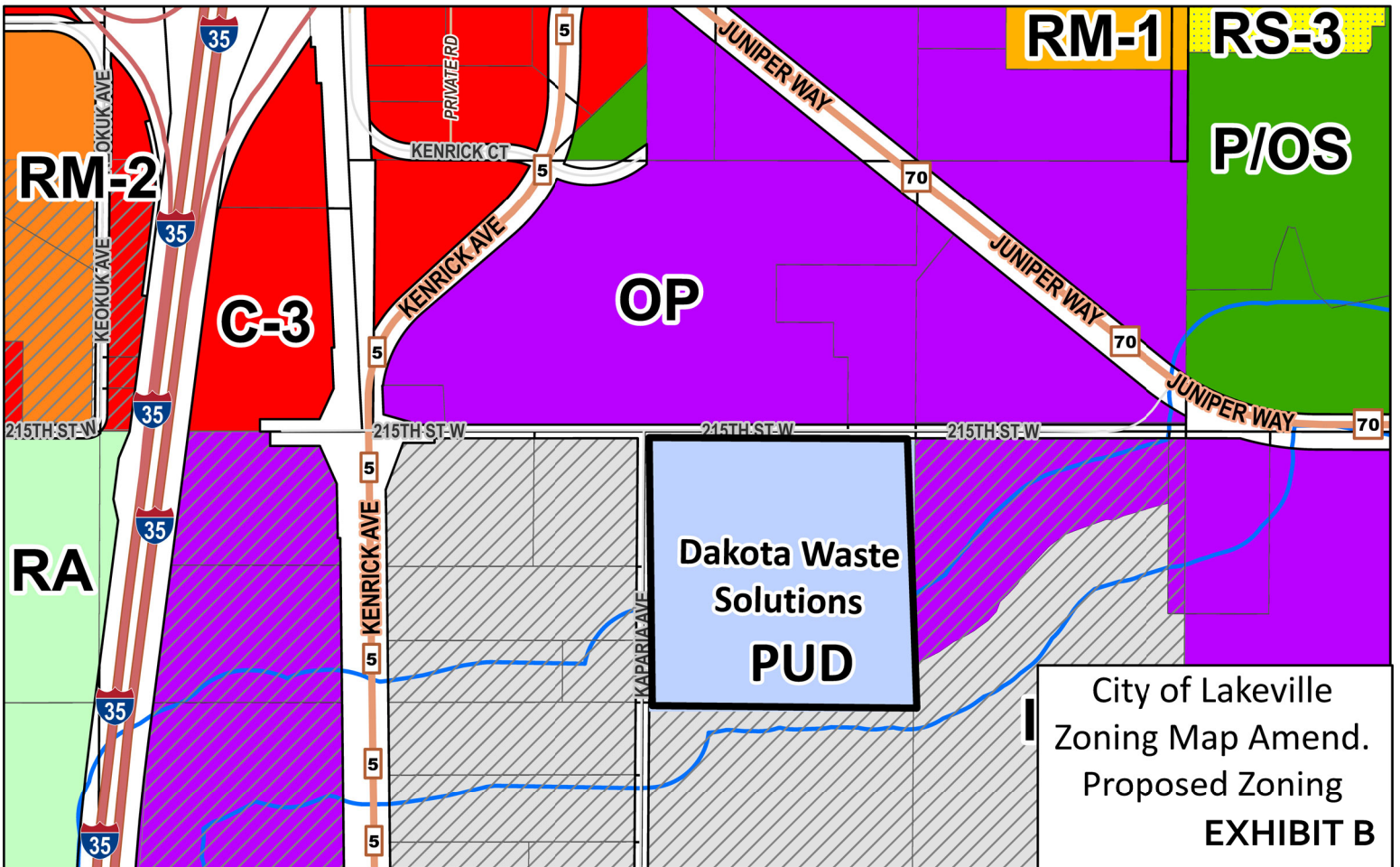
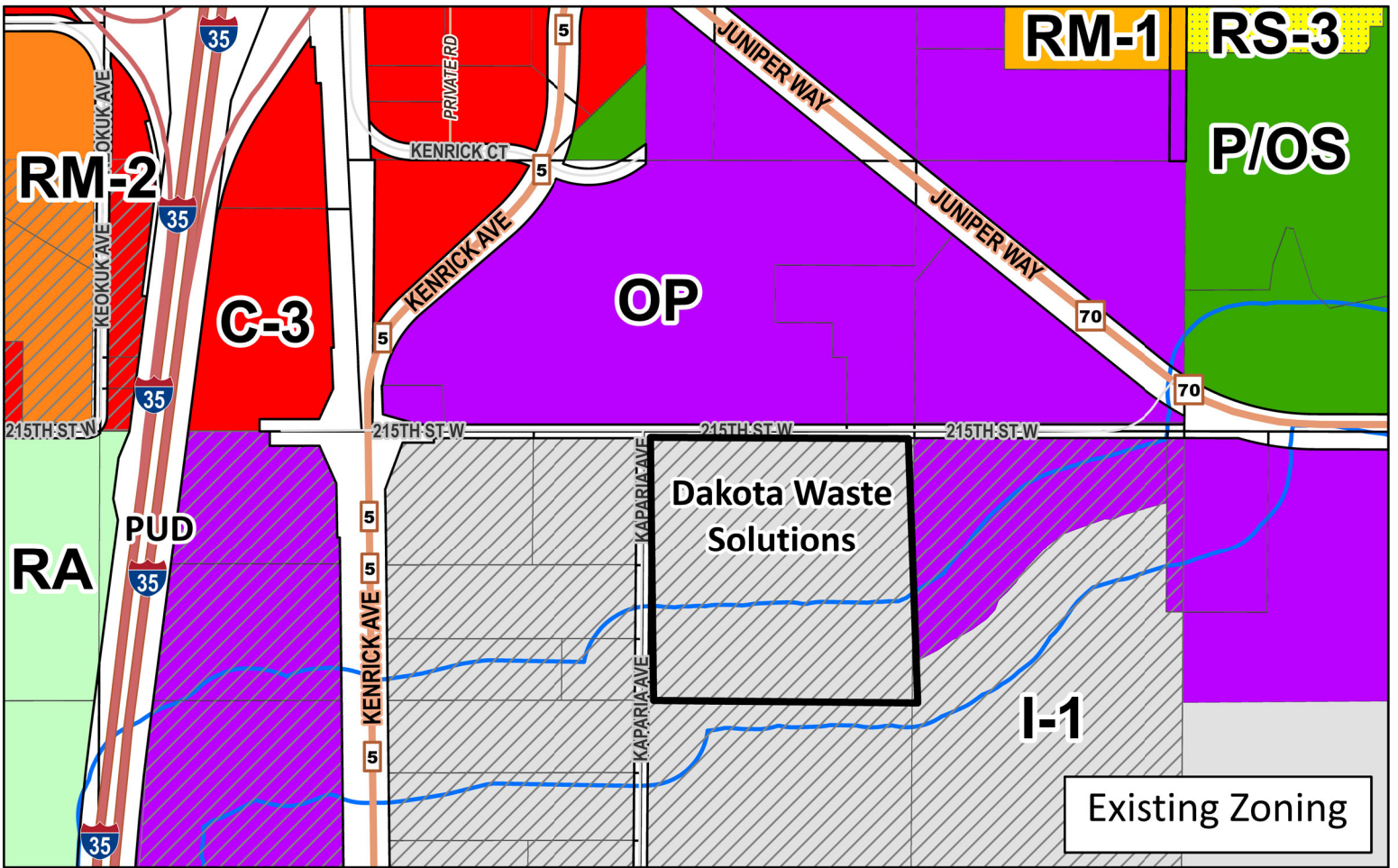
5. Plans for the type and construction of any permanent structures, including exterior materials, height, and use of hoop sheds as allowed by the PUD ordinance. shall be subject to Planning Commission review and City Council approval as part of the PUD final plan.
6. Any building mechanical equipment shall be screened as required by Section 11-21-13 of the Zoning Ordinance, subject to approval of the Zoning Administrator.
7. Landscaping shall be installed in accordance with the approved landscape plan, subject to review and approval of the City Forester.
8. The Developer shall provide a security in an amount determined by the City Forester with the final plat and PUD final plat to guarantee installation of the landscaping.
9. Construction of the screening berm shall begin at the time of site grading and installation of all plantings shall be completed prior to issuance of a Certificate of Occupancy.
10. Prior to a final landscape inspection by the City Forester, an as-built landscape plan must be submitted to the city.
11. Exterior lighting shall comply with Section 11-16-17 of the Zoning Ordinance.
12. Any signs installed upon the property shall comply with Chapter 23 of the Zoning Ordinance and shall require a sign permit approved by the Zoning Administrator prior to placement.
13. All fences shall comply with Section 11-21-5 of the Zoning Ordinance, including issuance of a fence permit or building permit prior to construction, as applicable.
14. All grading, drainage, wetland, and erosion control issues and plans shall be subject to review and approval of the City Engineer, including implementation of the recommendations listed in the November 13, 2025 engineering report.
15. Execution of a Stormwater Maintenance Agreement shall be required between the Developer and the city for the maintenance of the stormwater system, subject to review and approval of the City Engineer.
16. The site and buildings shall be developed in accordance with the following schedule:
 - a. April 2026: Begin construction of compost and food processing facility and wood processing facility.
 - b. September 2026: Start food processing and composting.
 - c. June 2027:
 - (1) Move wood processing use from PID 220360007013 and PID 220360006019 to the subject property.
 - (2) Begin cleanup of food processing, composting, wood processing, and all related outdoor storage on PID 220360007013 and PID 220360006019.

- d. September 30, 2028: All wood processing, food processing, composting and all related outdoor storage and other activities shall have been removed and the site restored on PID 220360007013 and PID 220360006019).
- 17. Applicant shall enter into a PUD Development Contract and related agreements with the City subject to review by the City Attorney and approval of the City Council prior to approval of a final plat or PUD final plan.
- 18. The preliminary plat and PUD development stage plan shall be valid for one year from the date of City Council approval unless extended as provided for by the Subdivision Ordinance and Zoning Ordinance; prior to expiration of the preliminary plat and PUD development stage plan, the developer shall submit applications for final plat and PUD final plan approval in accordance with the provisions of the Subdivision Ordinance and Zoning Ordinance.



Dakota Waste Solutions

City of Lakeville
Location Map
EXHIBIT A



PLANNED UNIT DEVELOPMENT MEMORANDUM

To: City of Lakeville
From: Mike Brandt, P.E.
Kimley-Horn and Associates, Inc.
Date: July 2, 2025
Subject: PUD for Dakota Waste Solutions Source-Separated Organic Material Composting Facility, Lakeville, MN

Dakota Waste Solutions is requesting that their property on the southeast corner of 215th Street West and Kaparia Avenue be considered for a Planned Unit Development. The intent of this document is to describe the rules governing the proposed PUD, where they deviate from the current zoning rules, and why the proposed use for this property adheres to the City of Lakeville’s development goals. It will describe the existing conditions of the site, the allowed uses for the proposed development, and the utilities to be installed on the site. This PUD Memo should be used in conjunction with the SSOM Compost Facility Permit governed by the Minnesota Pollution Control Agency (MPCA) for the complete rules governing the proposed development.

PROPOSED DEVELOPMENT OVERVIEW

Dakota Waste Solutions is proposing to construct a wood recycling and source-separated organic material (SSOM) composting facility on their property located on the southeast corner of 215th Street West and Kaparia Avenue. The development will initially consist of four buildings, a truck weighing area with scale house, a trailer parking area, areas to store composting components and materials, an area to distribute finished materials, and stormwater management features. Three of the four buildings will be of hoop shed construction, and consist of the following uses:

- Two (2) Wood Recycling Buildings (15,000 SF / building)
- An In-vessel Composting Building (21,225 SF)

The other building is the Processing Building (21,225 SF), used to facilitate food storage / truck deliveries, de-packaging, mixing, and composting start-up processes.

The other areas on the site include a Finished Compost Storage area (15,750 SF), the Yard Waste and Wood Chip Storage Area (21,800 SF), and the Composting Curing Area (11,200 SF)

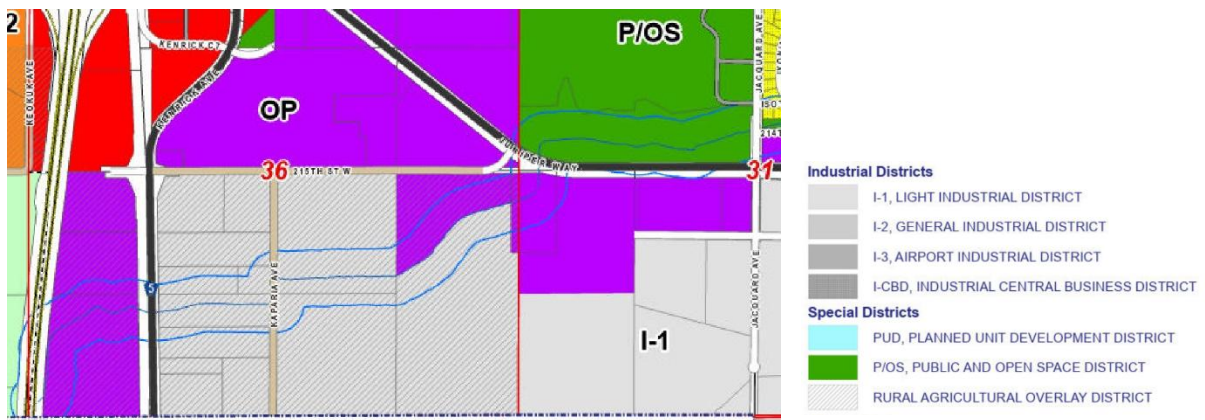
The property will also be developed for future expansion, reserving room for more in-vessel composting area and two other future buildings.

EXISTING PROPERTY

The property is located on the southeast corner of 215th Street W and Kaparia Avenue. The properties to the west and north are currently used for industrial purposes, while the properties to the east and south are currently agricultural fields. The property is 39.89 acres in size and is currently used for agricultural purposes. Two natural gas pipelines cross diagonally through the northeast corner of the property. The site also contains culverts to allow for stormwater drainage and has overhead electric and fiber utilities on the west and north sides of the property. The southern portion of the property is not developable due to two wetlands and a protected stream, a part of the West Branch South Creek, that crosses west to east through the property.

Existing Zoning

The property is currently zoned as I-1, Light Industrial District with a Rural Agricultural Overlay District. The permitted uses for a Light Industrial District are as follows:



The purpose of the I-1 district is to provide for the establishment of warehousing and light industrial development. The overall character of the I-1 district is intended to have an office/warehouse character, thus industrial uses allowed in this district shall be limited to those which can compatibly exist adjacent to both lower intensity business uses and high intensity manufacturing uses.

Title 11, Chapter 86, Section 1

The Rural Agricultural Overlay zoning prohibits urban uses on this property until sanitary and water utility services are available for the property.

The properties to the north and east of the site are zoned as OP, Office Park District. The properties to the west and the south are zoned as I-1, Light Industrial District.

2040 Land Use Plan

The City of Lakeville has determined that the property will be used for Warehouse / Light Industrial purposes in the 2040 Land Use Plan. This is consistent with the current zoning of the site. The zoning for the properties to the north, east, south, and west are unchanged from their current zoning in the 2040 Land Use Plan.

PROPOSED DEVELOPMENT

Dakota Waste Solutions is proposing an approximately 32 acre recycling and composting facility that will include source-separated organic waste composting and wood processing and recycling capabilities. Each of the buildings on the site are critical to the recycling and composting processes on the site. The wood recycling and processing facility will be located on the northwestern corner of the site and will consist of two 15,000 SF hoop sheds. Yard waste will be collected and stored on the SE portion of the site on a 21,800 SF Class V pad. Food materials will be collected at the center of the property in the 21,225 SF Processing Building.

The site will have access from 215th Street W from the north and from Kaparia Avenue from the west. A truck scale will be located at the northern entrance of the property. Landscaped berms will be installed along the perimeter of the site that borders the City's Right-Of-Way for screening purposes. A small stormwater management area will be located on the northeast portion of the site, and the primary stormwater management area will be located on the southeast portion of the site.

Proposed Use

The intended purpose of an I-1 zoning district is to establish warehousing and light industrial development. Properties in this zoning district are intended to have an office/warehouse character with lower intensity business uses and high intensity manufacturing uses. The proposed use for this PUD aligns with this purpose. While the site will not be used for manufacturing in a traditional sense, it will be used to produce goods that will be sold to other businesses. Materials for composting and processing will be brought to the site by trucks operated by the facility owner or their clients. Completed materials will be hauled away from the site on trucks for delivery. Individuals will not be allowed to drop materials at the site, nor purchase finished materials.

The goal of the proposed development is to be a “zero-waste processing facility”. While some materials that enter the site will ultimately be discarded, the intent of the facility is to process all the materials that are brought to the site into useful products. This will ease the burden on landfills as many tons of materials that would otherwise be disposed of in a landfill, will now be re-used after some processing at the facility.

The wood processing and recycling operation will take in trees; scrap lumber from manufacturing facilities that has not been stained, treated, or painted; and used pallets. The wood materials will be grinded into animal bedding and furnace pellets. The wood material that is not suitable for this use will be used in the composting process. Trucks delivering the wood materials will utilize the west access

from Kaparia Avenue. The collection and processing of the wood materials will occur at the two 15,000 SF hoop sheds located on the northwest portion of the site.

Yard waste will be collected and stored on the eastern portion of the site on a 21,800 SF Class V pad. Wood material to be used in the composting process will also be stored here. The yard waste allowed for collection will consist of grass clippings, leaves, garden waste, and tree branches.

Food waste will be collected at the center of the site and will be sorted and separated upon collection. The trucks delivering the food waste will utilize the northern entrance off 215th Street W and will be weighed upon entering and exiting. Please reference the SSOM Permit that is governed by the MPCA, which will be supplied to the City as part of the PUD documentation, for further information on the facility operations regarding food waste. The following food waste will be collected at this facility:

- Fruit and Vegetables (Raw, Canned, and Pre-packaged)
- Yard Waste (grass clippings, leaves, garden waste, and tree branches)
- Cooked Meat (contained in pre-packaged salads) – 5% of total food waste, maximum
- Source Separate Organics (SSO)
- Dairy, cheese, and bread products that are mixed with other grocery products – 5% by weight, maximum
- Manure waste that is mixed with yard waste – 20% by weight, maximum

Materials that will not be accepted at this facility include:

- Raw meat and fish
- Milk, ice cream, and cheese
- Bread
- Brewer's yeast
- Manure
- Liquid products
- Used food containers
- Tree stumps
- Large amounts of cardboard
- Paper

This project will be phased over time, but initially the site will be designed to process approximately 15,500 tons of food waste annually, 1,300 tons per month, and up to 65 tons a day. The amount of yard waste required to compost this amount of food waste can vary depending on the food waste quality, amount of wood chips used, and type of yard waste available. It is anticipated that this facility will initially process up to 3,000 tons of yard waste annually. The facility will be initially planned to process 4,800 tons of wood waste annually. Additionally, it is estimate that approximately 4,200 tons of metals, cardboard, and plastics will be recycled from this facility annually.

The ultimate capacity of the site with the future composting expansion areas constructed will be:

- 72,000 tons of food waste annually
- 13,500 tons of yard waste annually
- 22,000 tons of wood waste annually
- 10,000 tons of cardboard, metals, and plastics annually.

Proposed Platting

The site will be platted into two lots and two outlots. One lot will be for the composting processes and will be 16.6 acres. The other lot will be for the wood processing area and will be 5.7 acres. One outlot will contain the stormwater retention pond and filtration basin and will be 5.5 acres. The other outlot will contain the stream and wetlands on the south portion of the site and will be 9.8 acres.

Future Expansion

The site will be designed for future expansion of the composting and recycling capabilities of the site to allow for increasing the amount of material that can be processed onsite. Future uses for the site may also include the sale of completed compost and process wood materials. Individuals will not be allowed to dump materials on the site for processing.

Site Access

The site will have two access points. One access will be located on the northeast corner of the site from 215th Street W and will primarily be used for trucks bringing recycling and compost materials to the Composting Start Up Building and for trucks leaving with completed compost materials. There will be a truck scale installed at this access to measure the amount of product entering and leaving the site.

The other access will be on the west side of the site from Kaparia Avenue and will be used by the trucks bringing wood materials to the site for recycling or away from the site for deliveries.

Parking Requirements

The proposed development is initially not intended to allow individuals to visit and perform business on the site. Therefore, the only parking to be constructed initially is for the employees that will be working on the site. As such, 17 parking stalls will be constructed on the site for employees working at the recycling and composting facility. Additional employee parking will be available in the Trailer Parking Area, where truck drivers can park their vehicles in unused trailer parking spaces or in the parking space of the trailer they are using for their work that day.

The minimum parking area and drive setbacks as described in Title 11, Chapter 19 of the City Code are:

Parking Area and Drive Setbacks	
Setback From	Setback (feet)
Private drives	15
Front yard and side yard abutting a street setback of parking drive to lot line	15
Interior side and rear yard setback of parking to lot line	5

The site will have off-street loading areas for trucks to unload materials brought to the site or to be loaded for distribution of the finished product. The minimum off-street loading area setbacks as described in Title 11, Chapter 20 of the City Code are:

Loading Setback Requirements	
Setback From	Setback (Feet)
Private drives	15
Front yard and side yard abutting a street setback of parking and drive to lot line	15
Interior side and rear yad setback of parking to lot line	5

The proposed PUD will adhere to more strict setbacks than those imposed by the City Code. The following parking area and drive and off-street loading setback requirements:

Parking Area and Drive and Off-Street Loading Setbacks	
Setback From	Setback (feet)
Private drives	67
Front yard and side yard abutting a street setback of parking drive to lot line	67
Interior side and rear yard setback of parking to lot line	40

Building Setbacks and Building Heights

The minimum building setback requirements for structures in I-1 zoning districts are:

Required Minimums		
Lot Width	100 feet	
Setbacks	Front yards	40 feet
	Rear yards	30 feet
	Side yards	10 feet on any one side 30 feet on the side yard abutting a street

The proposed PUD will adhere to more strict building setbacks:

Required Minimums		
Lot Width	100 feet	
Setbacks	Front yards	67 feet
	Rear yards	40 feet
	Side yards	40 feet

The maximum allowed height for any building constructed on this property will be 50 feet, which matches the City Code for I-1 zoning districts.

Building Requirements

The buildings located on the property should be uniform in appearance and must maintain similar design aesthetics to the other buildings on the property.

Landscaping/Fencing/Screening Requirements

Screening and landscaping for this PUD will be more strict than that described Title 11, Chapter 21 of the City of Lakeville Code of Ordinances. The initial development of the site will utilize earthen berms on the two public street facing sides of the site that are 6 feet tall and 40' wide. These berms will be planted with native plants and trees to provide further screening. The trees will be planted per the City requirements, with deciduous trees being spaced 40 feet apart or less and evergreen trees being spaced 15 feet apart or less.

UTILITIES

Stormwater Treatment Requirements

The stream on the south side of the site is part of South Creek. This stream is a sensitive waterbody as it is part of the trout stream system located throughout this region. The stormwater management

system will be designed to minimize the impact to the stream per the direction provided in the Minnesota Stormwater Manual. Part of this protection is maintaining a 50' buffer that prohibits disturbance on either side of the stream. In addition to the 50' stream buffer, two 25' wetland buffers further prohibit development on the south side of the site.

The site will be permitted to meet the requirements of the City of Lakeville and the Vermillion River Watershed Joint Power Organization (VRWJPO). Stormwater will primarily be collected with catch basins around the site and piped to the stormwater management area located on the southeast side of the site. A wet pond will be provided at each inlet that to this stormwater management area that distributes untreated stormwater for pre-treatment. The inlet that enters directly into the filtration basin is from another stormwater feature and will have been pretreated. The stormwater that gets routed to these wet ponds will then flow into a filtration basin, where the water will be filtered and discharged to the stream to the south.

The Trailer Parking Area on the northeast side of the site will surface drain to a stormwater pretreatment area located in between the parking area and the truck weigh station. The stormwater that enters this basin will be routed to the larger stormwater management area in the southeast for treatment.

Water

Water service for the site will be provided from a connection to a new water main to be installed in 215th Street W. A 10" pipe will be routed to the proposed development and will supply fire and domestic water for the property. Domestic and fire water services are to be extended to the various buildings as required. A fire water loop will extend throughout the site with fire hydrants installed at appropriate intervals to provide coverage for each building on the site. Water service stubs will be provided for the two future buildings.

Sanitary Sewer

Sanitary sewer service will be provided from the Processing Building and the in-vessel composting areas. The sanitary main trunk line from the site will connect to a new public sanitary sewer main located in 215th Street W. Sanitary service stubs will be provided for future buildings and composting area expansions.

The sanitary sewer services from the in-vessel composting area will lead to a 5,000 gallon Leachate Collection Tank located near the In-Vessel Composting Hoop Shed. The sanitary services from the Processing Building will be used to collect leachate in a 20,000 gallon underground tank located near the Building as well as provide a typical sanitary service for domestic sanitary services. The leachate from either tank will either be reused in the composting process or disposed of into the sanitary sewer line.

Dry Utilities

Electric, gas, fiber optics, telephone, and other small utilities will be installed onsite to serve the various buildings on the property. The utilities will be buried underground and will extend from the nearest connection point in either 215th Street W or Kaparia Avenue.

We appreciate your consideration of rezoning this property to a PUD. Please contact us with any questions you may have as we welcome your feedback on this matter.

Sincerely,

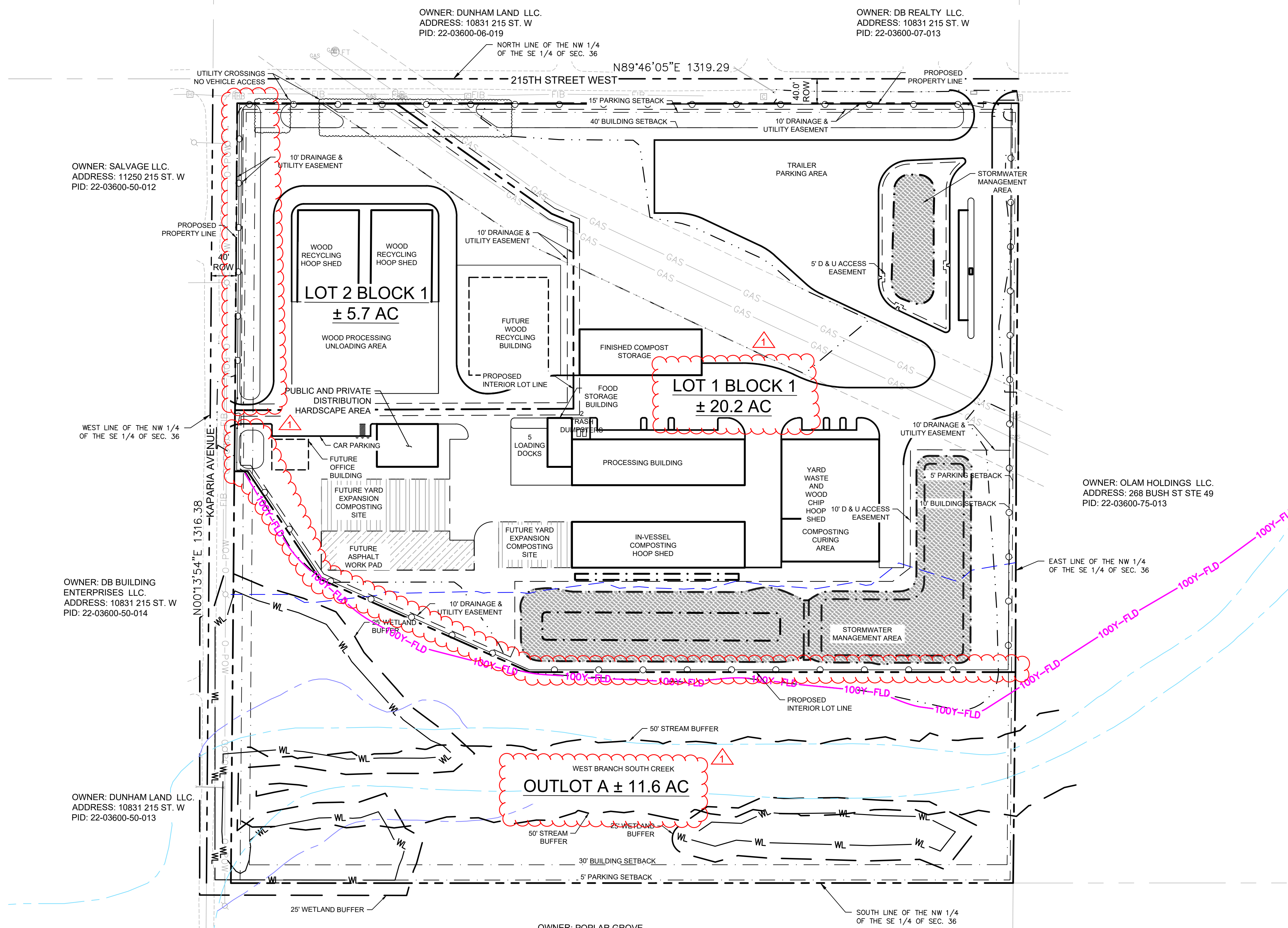


Michael C. Brandt, PE

Associate

Kimley-Horn and Associates.

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LEGEND

---	PROPERTY LINE
- - - -	PROPOSED RIGHT-OF-WAY
- · - · -	PROPERTY SETBACK
- · - · -	PROPOSED EASEMENT
- · - · -	LIMITS OF DISTURBANCE
WL	EXISTING WETLAND
- - - -	WETLAND / STREAM BUFFER
- - - -	FEMA REGULATORY FLOODWAY
- - - -	FEMA AE FLOOD ZONE
○ ○ ○	PROPOSED FENCE

LEGAL DESCRIPTION

THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 114, RANGE 21

EXISTING DEVELOPMENT PROPERTY SUMMARY

DISTURBED AREA	23.9 AC / 1,039,691 SF
EXISTING IMPERVIOUS AREA	0 AC / 0 SF / 0.0%
EXISTING PERVIOUS AREA	23.9 AC / 1,039,691 SF / 100.0%
PROPOSED IMPERVIOUS AREA	10.8 AC / 470,101 SF / 45.2%
PROPOSED PERVIOUS AREA	13.1 AC / 569,590 SF / 54.8%
NET INCREASE IN IMPERVIOUS AREA	10.8 AC / 470,101 SF
AREA OF WETLAND IMPACT	0 AC

PROPERTY SUMMARY

TOTAL PROPOSED PROPERTY AREA	37.5 AC / 1,633,953 SF
LOT 1 BLOCK 1 AREA	20.2 AC / 881,097 SF
LOT 2 BLOCK 1 AREA	5.7 AC / 247,013 SF
OUTLOT A	11.6 AC / 505,843 SF
LOT 1 BLOCK 1 IMPERVIOUS AREA	7.6 AC / 332,667 SF / 38.0%
LOT 1 BLOCK 1 PERVIOUS AREA	12.6 AC / 548,430 SF / 62.0%
LOT 2 BLOCK 1 IMPERVIOUS AREA	2.8 AC / 120,196 SF / 49.0%
LOT 2 BLOCK 1 PERVIOUS AREA	2.9 AC / 126,817 SF / 51.0%
OUTLOT A IMPERVIOUS AREA	0.0 AC / 0 SF / 0.0%
OUTLOT A PERVIOUS AREA	11.6 AC / 505,843 SF / 100.0%
AREA OF WETLAND IMPACT	0 AC

SITE DATA

EXISTING ZONING	LIGHT INDUSTRIAL DISTRICT (I-1), RURAL AGRICULTURAL OVERLAY
PROPOSED ZONING	LIGHT INDUSTRIAL PUD
PROPOSED LAND USE	INDUSTRIAL / RECYCLING
PARKING SETBACKS	FRONT / SIDE (ABUTTING STREET) = 15' SIDE / REAR = 5'
BUILDING SETBACKS	FRONT = 40' SIDE (ABUTTING STREET) = 30' SIDE = 10' REAR = 30'

BUILDING DATA

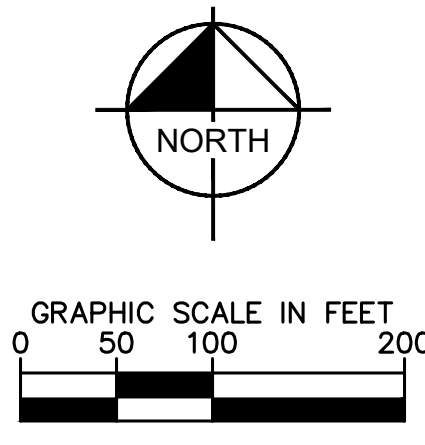
TOTAL BUILDING AREA	126,937± SF
LOT 1 BLOCK 1 BUILDING AREA	102,512± SF
LOT 1 BLOCK 2 BUILDING AREA	24,425± SF
PERCENT OF TOTAL PROPERTY AREA	7.7±%
MAXIMUM BUILDING HEIGHT	50 FT

PARKING SUMMARY

TOTAL PROPOSED PARKING	17 SPACES
TOTAL PROPOSED TRAILER PARKING	38 SPACES
REQUIRED ACCESSIBLE PARKING	1 STANDARD SPACES 1 VAN ACCESSIBLE
PROPOSED ACCESSIBLE PARKING	1 STANDARD SPACES 1 VAN ACCESSIBLE



Know what's below. Call before you dig.



CITY COMMENTS

No.	REVISIONS	DATE	BY

Kimley»Horn

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787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-454-1977
WWW.KIMLEY-HORN.COM

KHA PROJECT

161140001	DATE	10/16/2025
SCALE	AS SHOWN	M/S
DESIGNED BY	M/S	A/E
DRAWN BY	M/S	A/E
CHECKED BY	M/S	A/E

MICHAEL C. BRANDT
DATE: 10/22/2025 LIC. NO. 42861

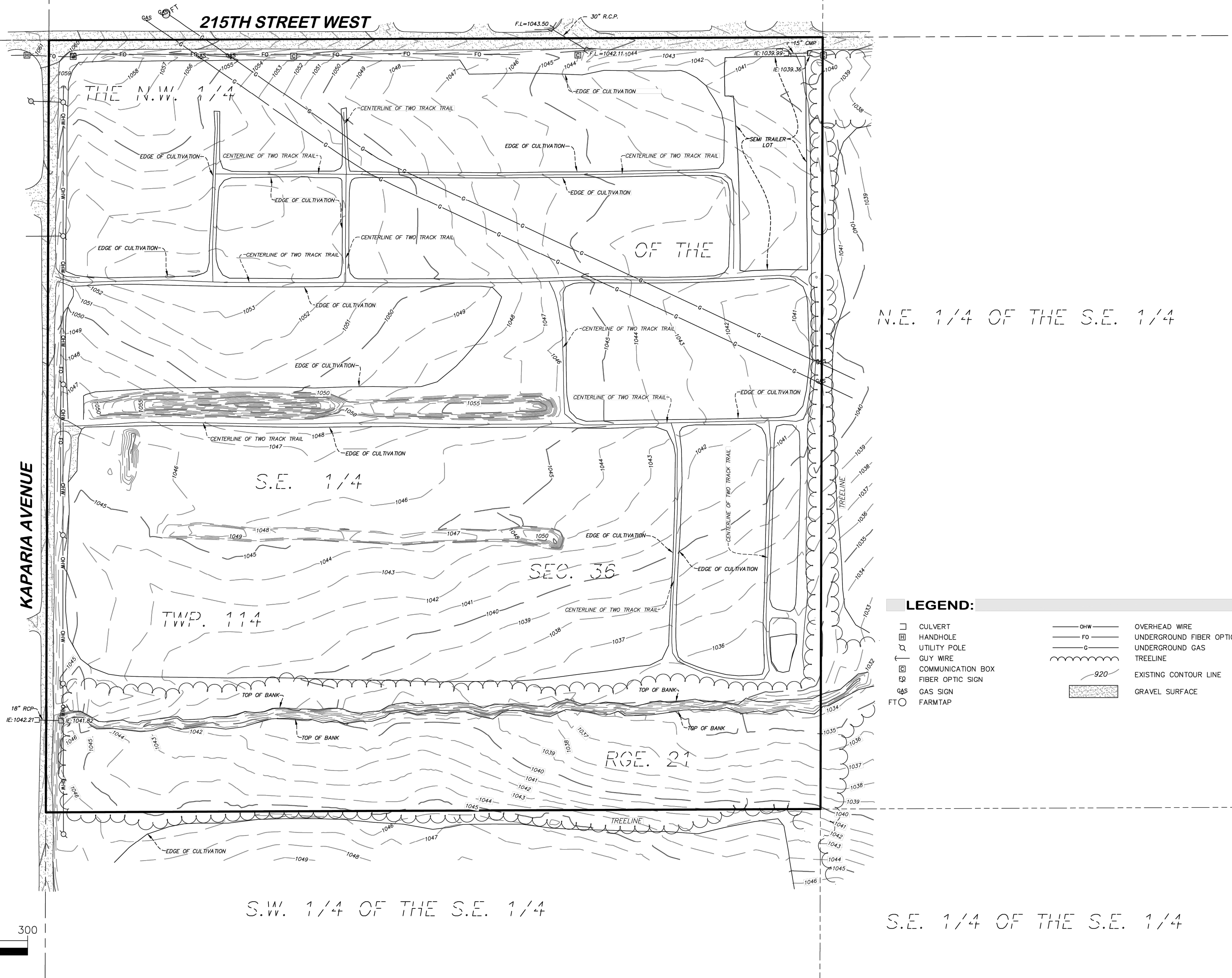
PRELIMINARY PLAT

DAKOTA WASTE SOLUTIONS
PREPARED FOR
DAKOTA WASTE SOLUTIONS, LLC
LAKEVILLE, MN

PRELIMINARY - NOT FOR CONSTRUCTION

SHEET NUMBER
C102

Topographic Survey For Kimley Horn & Associates, Inc.



- GENERAL SURVEY NOTES:**
- The orientation of this bearing system is based on the Dakota County coordinate grid (NAD 83-2011 Adj.).
 - Title work was not furnished to Egan, Field & Nowak, Inc. for the preparation of this survey to verify the legal description, or the existence of any easements or encumbrances.
 - Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket No. 232404036. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.

- GOPHER STATE ONE CALL NOTE:**
- List of utilities notified per Gopher State One Call Ticket No. 232404036.
- | | |
|-------------------------|----------------------------|
| CITY OF LAKEVILLE | JAGUAR COMMUNICATIONS |
| CENTURYLINK - STLQL | MINNESOTA ENERGY RESOURCES |
| DAKOTA ELECTRIC | CENTER POINT ENERGY |
| FRONTIER COMMUNICATIONS | NORTHERN NATURAL GAS |

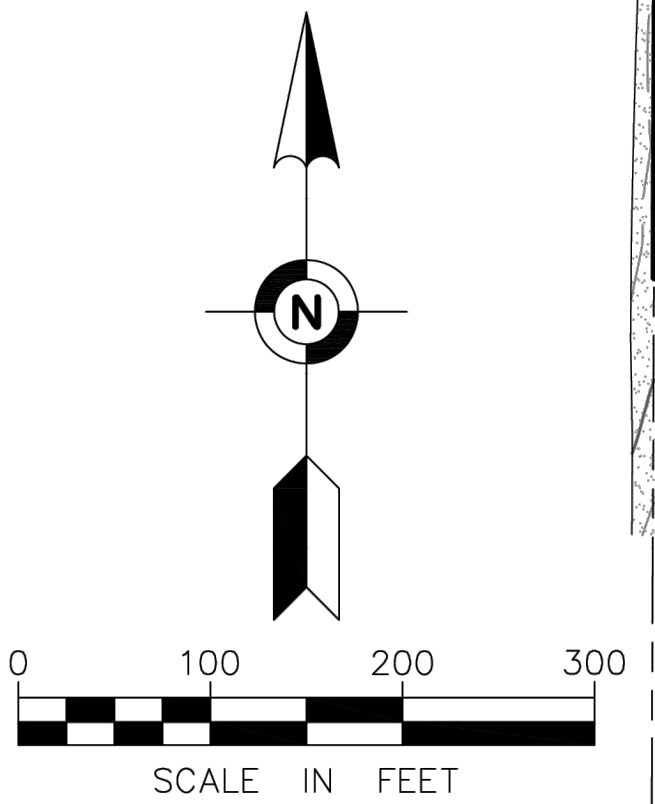
- LEGEND:**
- | | | | |
|---|-------------------|--------------|-------------------------|
| □ | CULVERT | — OHW — | OVERHEAD WIRE |
| ⊠ | HANDHOLE | — FO — | UNDERGROUND FIBER OPTIC |
| ⊞ | UTILITY POLE | — G — | UNDERGROUND GAS |
| ⊟ | GUY WIRE | — TREELINE — | TREELINE |
| ⊠ | COMMUNICATION BOX | — 920 — | EXISTING CONTOUR LINE |
| ⊞ | FIBER OPTIC SIGN | ▨ | GRAVEL SURFACE |
| ⊟ | GAS SIGN | | |
| ⊠ | FARMTAP | | |

CERTIFICATION:

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date of survey: September 22, 2023
Date of signature: February 28, 2024

Eric A. Roeser
Eric A. Roeser
Minnesota License No. 47476
eroeser@efnsurvey.com



FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS		
			NO.	DATE	DESCRIPTION
DRAWING NAME: 41584.dwg			DRAWN BY: DAV		
JOB NO. 41584			CHECKED BY: EAR		
FILE NO.					

TOPOGRAPHIC SURVEY

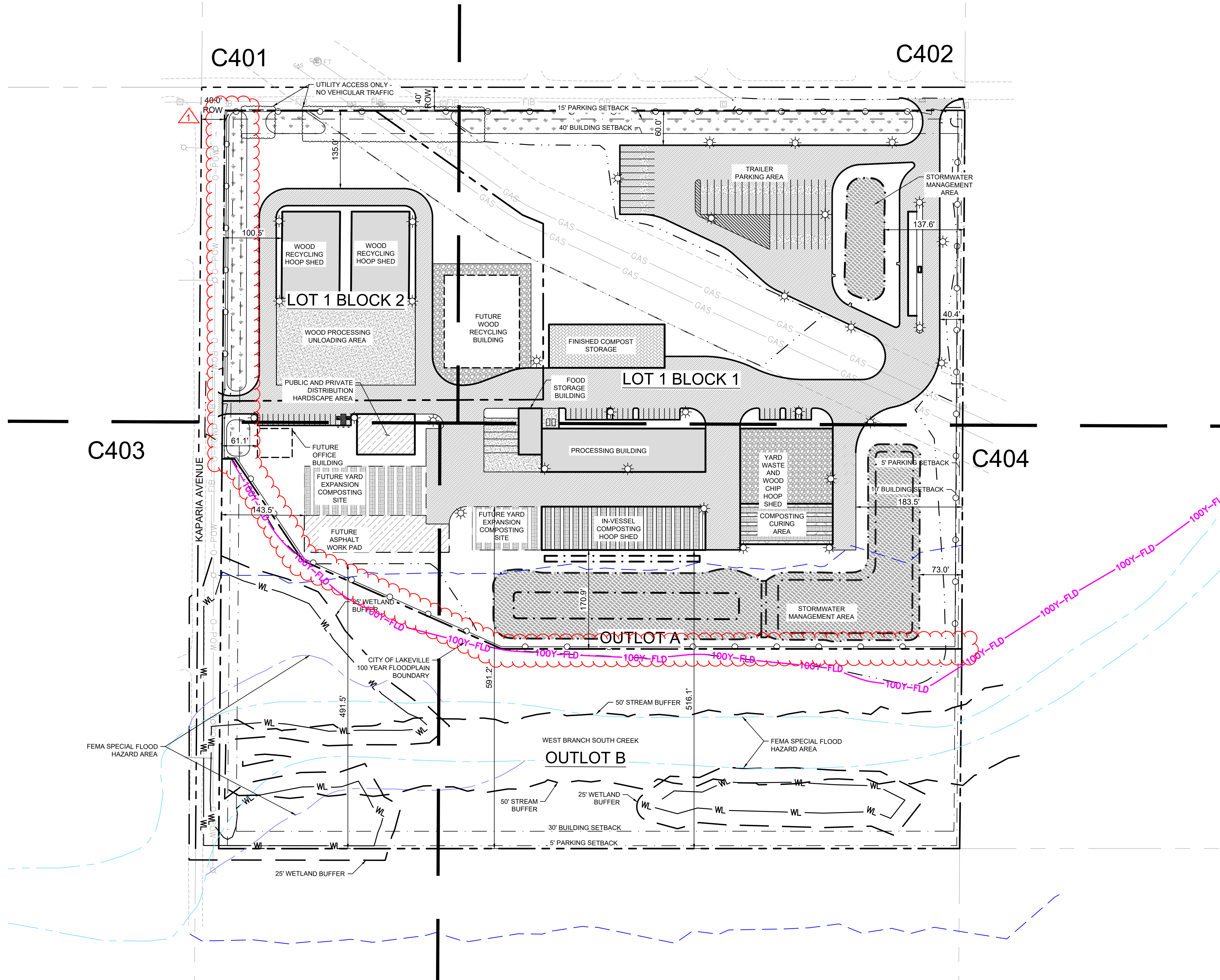
SURVEY FOR:
Kimley Horn & Associates, Inc.

PROPERTY ADDRESS:
215th Street & Kaparia Avenue
Lakeville, Minnesota 55044



Egan, Field & Nowak, Inc.
land surveyors since 1872

475 Old Highway 8 NW, Suite 200
New Brighton, Minnesota 55112
PHONE: (612) 466-3300
WWW.EFNSURVEY.COM
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LEGEND

- PROPERTY LINE
- - - PROPOSED RIGHT-OF-WAY
- - - PROPERTY SETBACK
- - - PROPOSED EASEMENT
- - - LIMITS OF DISTURBANCE
- WL EXISTING WETLAND
- - - WETLAND / STREAM BUFFER
- - - FEMA REGULATORY FLOODWAY
- - - FEMA AE FLOOD ZONE
- - - 300' SHORELAND OVERLAY DISTRICT
- PROPOSED FENCE
- [Hatched Box] PROPOSED HEAVY DUTY ASPHALT PAVEMENT
SEE DETAILS FOR SECTION
- [Cross-hatched Box] PROPOSED COMPOST PROCESS ASPHALT PAVEMENT
SEE DETAILS FOR SECTION
- [Dotted Box] PROPOSED HEAVY DUTY CONCRETE PAVEMENT
SEE DETAILS FOR SECTION
- [Stippled Box] PROPOSED STORM WATER AREA
SEE GRADING PLAN FOR DETAILS

EXISTING DEVELOPMENT PROPERTY SUMMARY

TOTAL PROPERTY AREA	37.5 AC / 1,633,593 SF
DISTURBED AREA	22.8 AC / 994,903 SF
EXISTING IMPERVIOUS AREA	1 AC / 43,560 SF / 2.7%
EXISTING PERVIOUS AREA	36.5 AC / 1,590,033 SF / 97.3%
PROPOSED IMPERVIOUS AREA	10.4 AC / 452,863 SF / 27.7%
PROPOSED PERVIOUS AREA	27.1 AC / 1,180,730 SF / 72.3%
NET INCREASE IN IMPERVIOUS AREA	9.4 AC / 409,303 SF
AREA OF WETLAND IMPACT	0 AC

PROPERTY SUMMARY

TOTAL PROPOSED PROPERTY AREA	37.5 AC / 1,633,953 SF
LOT 1 BLOCK 1 AREA	20.2 AC / 881,097 SF
LOT 2 BLOCK 1 AREA	5.7 AC / 247,013 SF
OUTLOT A	11.6 AC / 505,843 SF
LOT 1 BLOCK 1 IMPERVIOUS AREA	7.6 AC / 332,667 SF / 38.0%
LOT 1 BLOCK 1 PERVIOUS AREA	12.6 AC / 548,430 SF / 62.0%
LOT 2 BLOCK 1 IMPERVIOUS AREA	2.8 AC / 120,196 SF / 49.0%
LOT 2 BLOCK 1 PERVIOUS AREA	2.9 AC / 126,817 SF / 51.0%
OUTLOT A IMPERVIOUS AREA	0.0 AC / 0 SF / 0.0%
OUTLOT A PERVIOUS AREA	11.6 AC / 505,843 SF / 100.0%
AREA OF WETLAND IMPACT	0 AC

SITE DATA

EXISTING ZONING	LIGHT INDUSTRIAL DISTRICT (I-1), RURAL AGRICULTURAL OVERLAY
PROPOSED ZONING	LIGHT INDUSTRIAL PUD
PROPOSED LAND USE	INDUSTRIAL / RECYCLING
PARKING SETBACKS	FRONT / SIDE (ABUTTING STREET) = 15' SIDE / REAR = 5'
BUILDING SETBACKS	FRONT = 40' SIDE (ABUTTING STREET) = 30' SIDE = 10' REAR = 30'

BUILDING DATA

TOTAL BUILDING AREA	126,937± SF
LOT 1 BLOCK 1 BUILDING AREA	102,512± SF
LOT 1 BLOCK 2 BUILDING AREA	24,425± SF
PERCENT OF TOTAL PROPERTY AREA	7.7±%
MAXIMUM BUILDING HEIGHT	50 FT

PARKING SUMMARY

TOTAL PROPOSED PARKING	45 SPACES
TOTAL PROPOSED TRAILER PARKING	38 SPACES
REQUIRED ACCESSIBLE PARKING	2 STANDARD SPACES 1 VAN ACCESSIBLE
PROPOSED ACCESSIBLE PARKING	2 STANDARD SPACES 2 VAN ACCESSIBLE

OVERALL SITE DIMENSION PLAN

PROJECT	KHA PROJECT 161140001
DATE	10/16/2025
SCALE	AS SHOWN
DESIGNED BY	MLS
DRAWN BY	AJE
CHECKED BY	MCB

811
Know what's below.
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GRAPHIC SCALE IN FEET
0 50 100 200

NORTH

PRELIMINARY - NOT FOR CONSTRUCTION

DAKOTA WASTE SOLUTIONS
PREPARED FOR
DAKOTA WASTE SOLUTIONS, LLC
LAKEVILLE, MN

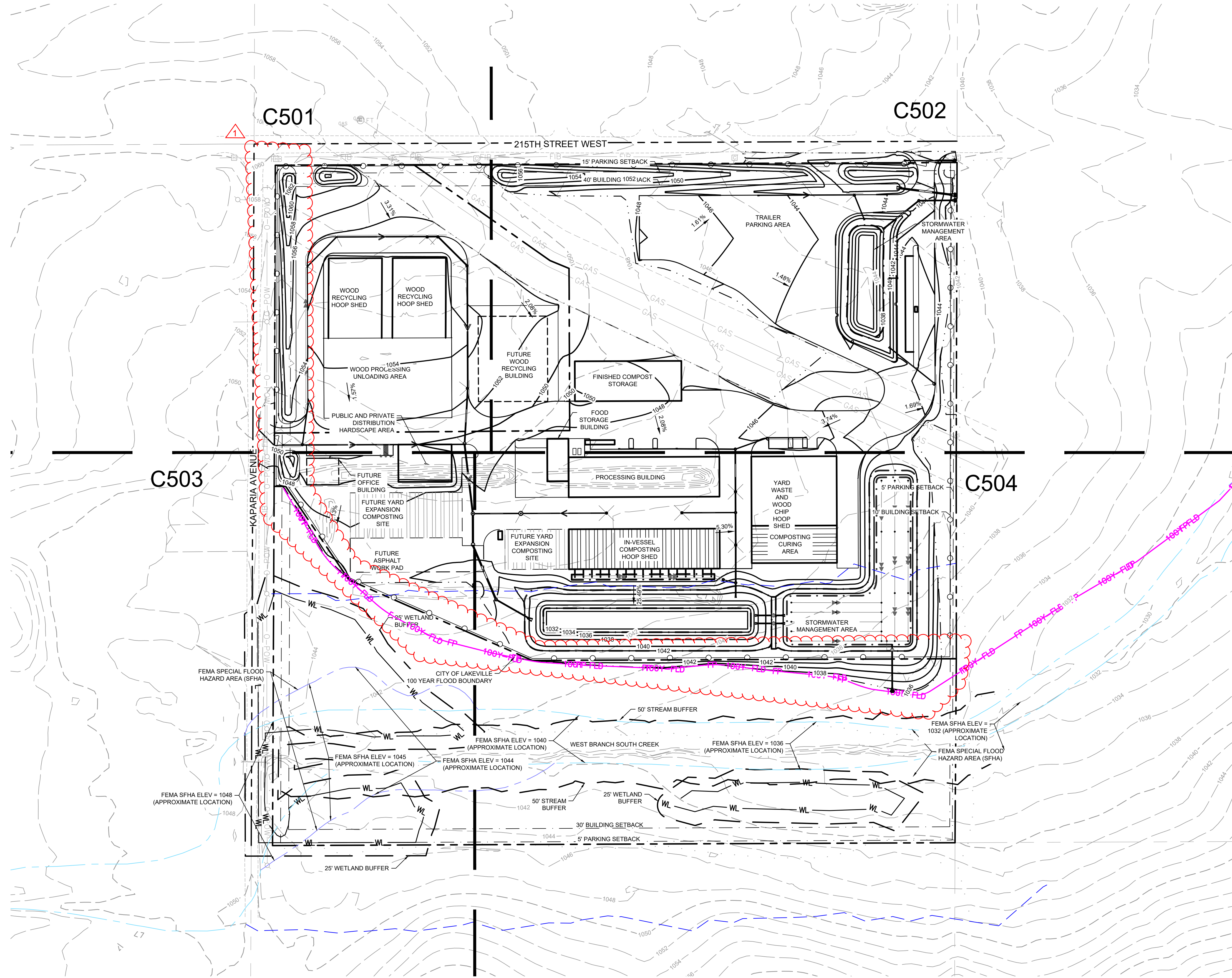
Kimley-Horn
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767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-452-4197
WWW.KIMLEY-HORN.COM

CITY COMMENTS

No.	REVISIONS	DATE	BY

SHEET NUMBER
C400

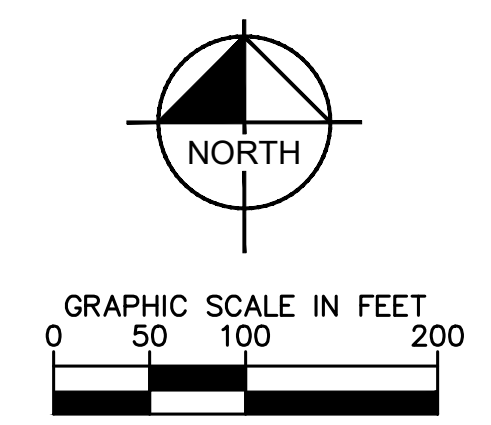
10/16/2025 JSO



LEGEND

	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY
	PROPERTY SETBACK
	PROPOSED EASEMENT
	LIMITS OF DISTURBANCE
	EXISTING WETLAND
	WETLAND / STREAM BUFFER
	FEMA REGULATORY FLOODWAY
	FEMA AE FLOOD ZONE
	300' SHORELAND OVERLAY DISTRICT
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED RIDGE LINE
	PROPOSED SWALE
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE (ROUND INLET CASTING)
	PROPOSED STORM MANHOLE / CATCH BASIN (CURB INLET CASTING)
	PROPOSED STORM SEWER CLENOUT
	PROPOSED FLARED END SECTION
	PROPOSED RIPRAP
	PROPOSED STORM SEWER
	PROPOSED SPOT ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED LOW POINT ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FLUSH PAVEMENT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED EMERGENCY OVERFLOW ELEVATION
	PROPOSED TOP/BOTTOM OF WALL ELEVATION
	PROPOSED DRAINAGE DIRECTION
	PROPOSED GRADE BETWEEN POINTS

- ### GRADING PLAN NOTES
- PERFORM GRADING WORK IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF LAND DISTURBING ACTIVITIES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
 - IN PAVED AREAS, ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE THE SITE READY FOR SUB-BASE.
 - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 - ELEVATIONS SHOWN REPRESENT FINISHED SURFACE GRADES. SPOT ELEVATIONS ALONG CURB & GUTTER REPRESENT THE FLOW LINE UNLESS OTHERWISE NOTED.
 - EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES THAT PROVIDE POSITIVE DRAINAGE TO COLLECTION POINTS. MAINTAIN A MINIMUM SLOPE OF 1.25% IN ASPHALT PAVEMENT AREAS AND A MINIMUM SLOPE OF 0.50% IN CONCRETE PAVEMENT AREAS.
 - MAINTAIN A MINIMUM SLOPE OF 0.50% ALONG CURB & GUTTER. REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL" CURB WHERE PAVEMENT DRAINS TOWARD THE GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM THE GUTTER.
 - INSTALL A MINIMUM OF 4-INCHES OF AGGREGATE BASE MATERIAL UNDER PROPOSED CONCRETE CURB & GUTTER, SIDEWALKS, AND TRAILS UNLESS OTHERWISE DETAILED.
 - GRADING FOR SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING CROSSING DRIVEWAYS, SHALL CONFORM TO CURRENT STATE & NATIONAL ADA STANDARDS:
ACCESSIBLE RAMP SLOPES SHALL NOT EXCEED 8.3% (1:12).
SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0%.
LONGITUDINAL SIDEWALK SLOPES SHALL NOT EXCEED 5.0%.
ACCESSIBLE PARKING STALLS AND ACCESS AISLES SHALL NOT EXCEED 2.0% IN ANY DIRECTION. A MAXIMUM SLOPE OF 1.50% IS PREFERRED.
SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVEMENT INSTALLATION. CHANGE ORDERS WILL NOT BE ACCEPTED FOR ADA COMPLIANCE ISSUES.
 - UPON COMPLETION OF LAND DISTURBING ACTIVITIES, RESTORE ADJACENT OFFSITE AREAS DISTURBED BY CONSTRUCTION TO MATCH OR EXCEED THE ORIGINAL CONDITION. LANDSCAPE AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4-INCHES OF TOPSOIL.
 - EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS.



PRELIMINARY - NOT FOR CONSTRUCTION

DAKOTA WASTE SOLUTIONS
PREPARED FOR
DAKOTA WASTE SOLUTIONS, LLC
LAKEVILLE MN

10/16/2025 JSO

No.	REVISIONS	DATE	BY

CITY COMMENTS

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787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-452-4197
WWW.KIMLEY-HORN.COM

10/16/2025 JSO

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
161140001	10/16/2025	AS SHOWN	MLS	CAC	MCB

THESE COMMENTS MUST BE IN AN INSTRUMENT OF SERVICE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

MICHAEL C. BRANDT
MN LIC. NO. 42681

DATE: 10/16/2025

OVERALL GRADING AND DRAINAGE PLAN

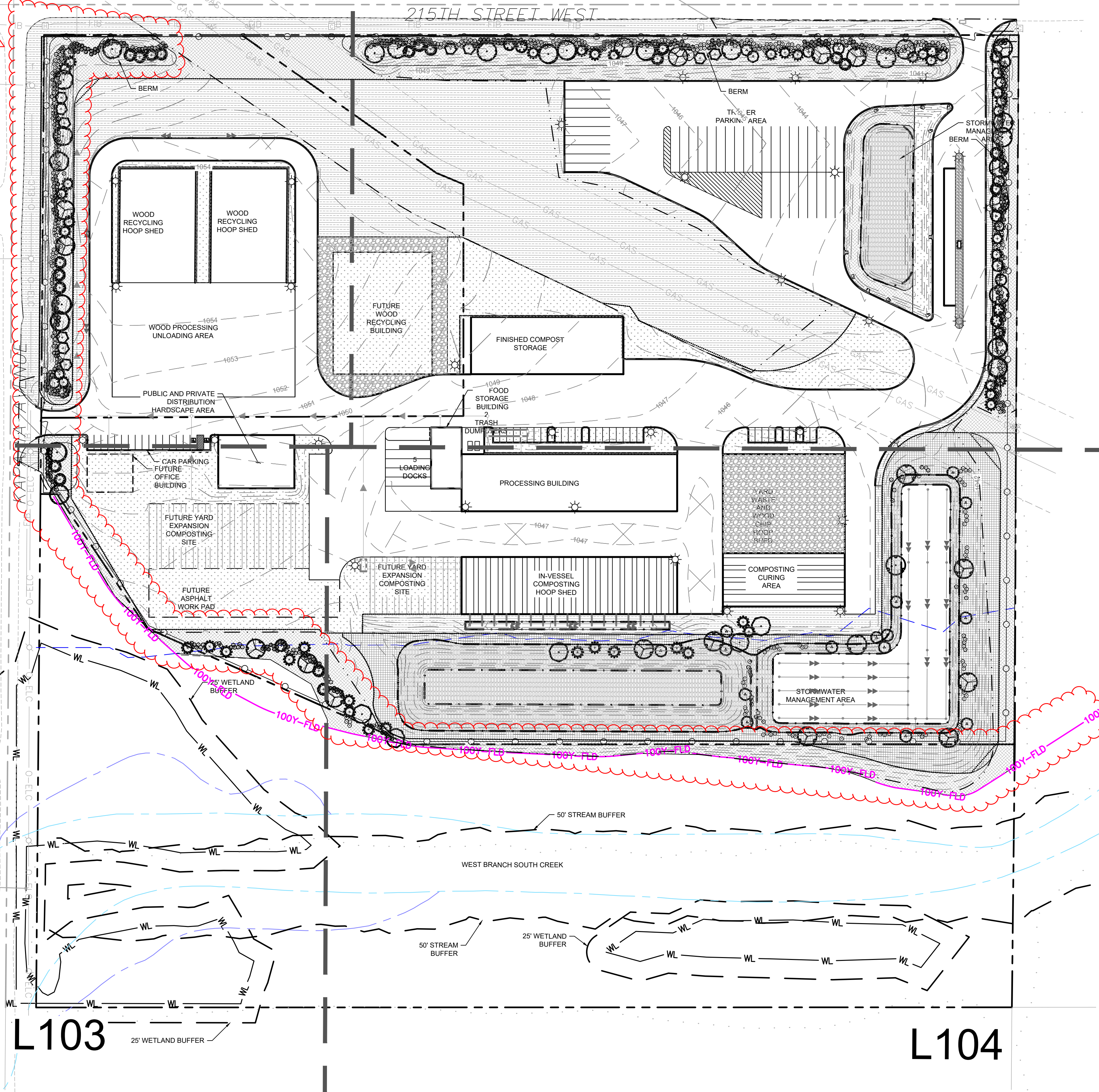
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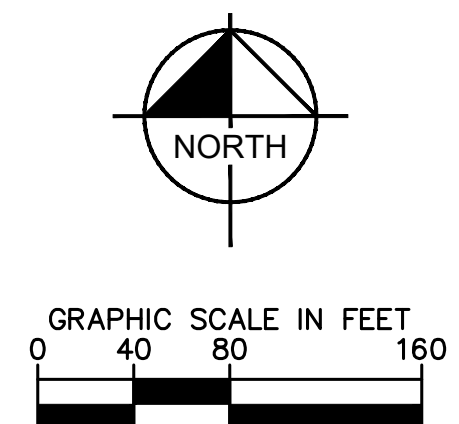
L101

L102



LANDSCAPE REQUIREMENTS

ROOF OVERHANG REQUIRED LANDSCAPE:	DECORATIVE MULCH AND OR FOUNDATION PLANTINGS
ROOF OVERHANG PROVIDED LANDSCAPE:	DECORATIVE MULCH AND OR FOUNDATION PLANTINGS
PERIMETER TREES REQUIRED:	DECIDUOUS TREES NOT MORE THAN 40' APART/EVERGREEN TREES NOT MORE THAN 15' APART
PERIMETER TREES PROVIDED:	DECIDUOUS TREES NOT MORE THAN 40' APART/EVERGREEN TREES NOT MORE THAN 15' APART
PROXIMITY TO FENCE/PROPERTY LINE REQUIRED LANDSCAPE:	TREE CENTER NOT CLOSER THAN 10'/SHRUB CENTER NOT CLOSER THAN 5'
PROXIMITY TO FENCE/PROPERTY LINE PROVIDED LANDSCAPE:	TREE AND SHRUBS CLOSE THAN 10'/5' IN SOME CASES FOR PRACTICALITY/IMPROVED SCREENING AT TOP OF BERM
DESIGN AMENITIES REQUIRED:	COMPOSITION OF PLANT MATERIALS, AND/OR CREATIVE GRADING, DECORATIVE LIGHT, EXTERIOR SCULPTURE, ETC.
DESIGN AMENITIES PROVIDED:	COMPOSITION OF PLANT MATERIALS AND CREATIVE GRADING- BERMS



PRELIMINARY - NOT FOR CONSTRUCTION

DAKOTA WASTE SOLUTIONS
 PREPARED FOR
DAKOTA WASTE SOLUTIONS, LLC
 LAKEVILLE, MN

OVERALL LANDSCAPE PLAN

KHA PROJECT	161140001
DATE	10/16/2025
SCALE	AS SHOWN
DESIGNED BY	KJR
DRAWN BY	KJR
CHECKED BY	RAH

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

RYAN A. HYLLESTED, P.E.
 MN LIC. NO. 53828
 DATE: 07/02/2025

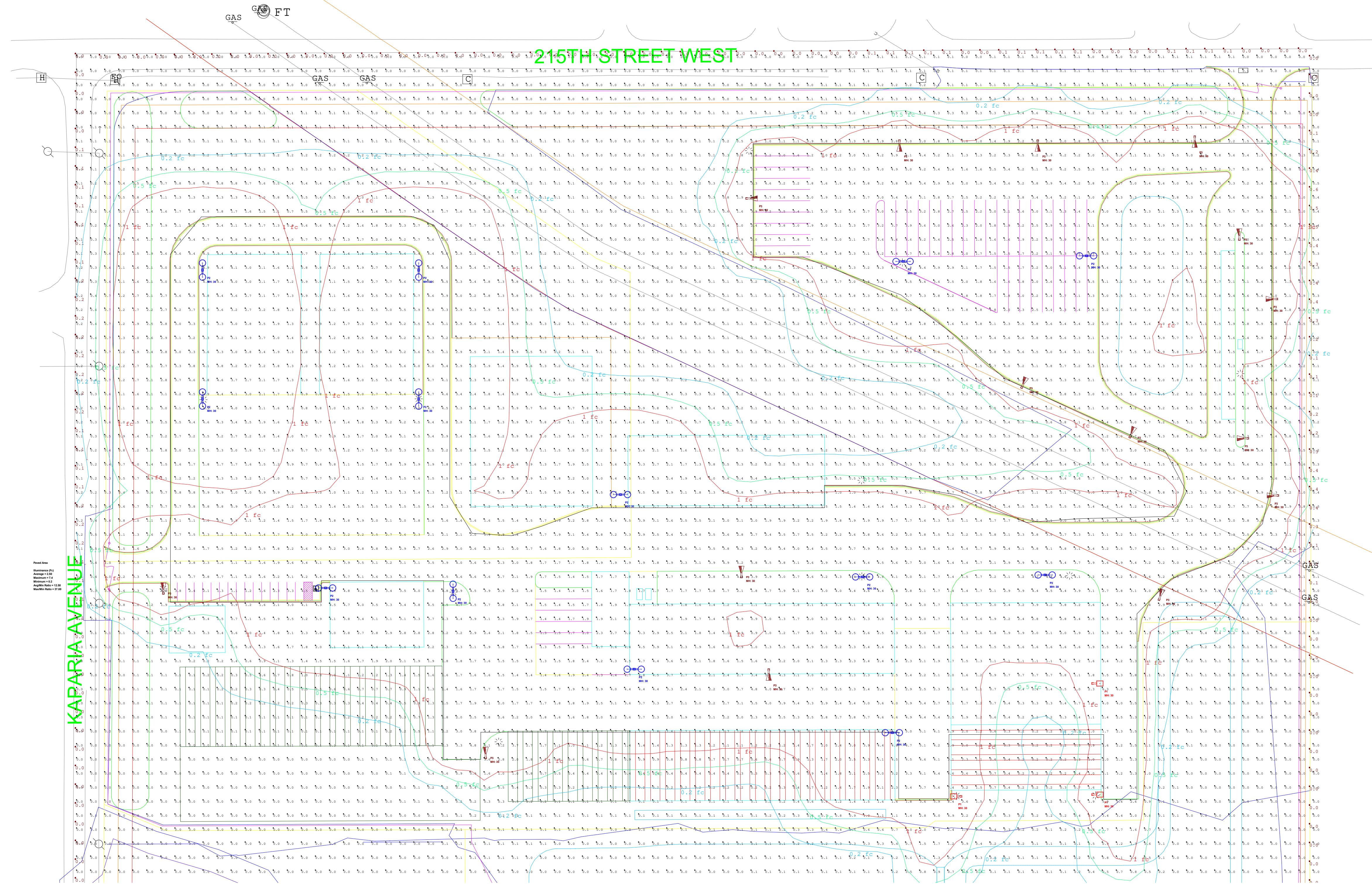
Kimley»Horn
 2025 KIMLEY-HORN AND ASSOCIATES, INC.
 707 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
 PHONE: 651-445-4197
 WWW.KIMLEY-HORN.COM

CITY COMMENTS	No.	REVISIONS	DATE	BY

SHEET NUMBER
L100

Luminaire Schedule								
Symbol	Qty	Type	Mounting Height	Lum. Watts	Luminaire Lumens	LLF	Description	[MANUFAC]
	3	P1	30	205	25215	0.900	NV-1-T3-64L-1-40K-UNV	NLS Lighting, LLC
	13	P2	30	365	44678	0.900	NV-2-T5W-112L-1050-40K7	NLS LIGHTING
	15	P3	30	316	35075	0.900	NV-2-T4-96L-1-40K	NLS Lighting

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Overall Site	Fc	1.09	8.4	0.0	N.A.	N.A.
Property Line	Fc	0.05	0.6	0.0	N.A.	N.A.
Paved Area	Fc	2.50	7.4	0.2	12.50	37.00



DISCLAIMER: Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping or any other architectural elements unless noted.

Fixture nomenclature to be finalized by engineer and/or architect. This drawings is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Illuminated
Design Service



PULSE
never ordinary

Designed By: K. Tomczak
Checked By: Jack Laim
Date: 6/27/2025
Scale: 1" = 60'

Compost Site

ORDINANCE NO.: 2025-__

**CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA**

AN ORDINANCE ESTABLISHING A PUD, PLANNED UNIT DEVELOPMENT DISTRICT FOR DAKOTA WASTE SOLUTIONS

THE CITY COUNCIL OF THE CITY OF LAKEVILLE ORDAINS:

Section 1. Legal Description. The legal description of the property included in the PUD District shall be as follows:

*The Northwest Quarter of the Southeast Quarter of Section 36,
Township 114, Range 21*

Section 2. Zoning Map Amendment. The property is hereby rezoned from I-1, Light Industrial to PUD, Planned Unit Development District subject to the terms and conditions set forth herein.

Section 3. Purpose. The purpose of this ordinance is to establish a Planned Unit Development (PUD) District to allow for the development and operation of the Dakota Waste Solutions Source-Separated Organics Processing Facility, designed which is to receive, process, and compost organics materials including food waste, wood waste, and yard waste. This PUD District provides enhanced environmental management, flexibility in site design and structure types and construction, ensures compatibility with surrounding land uses, and protects public health safety and welfare through specific performance standards and conditions.

Section 4. Dakota Waste Solutions Plan.

- A. All entitlements, including but not limited to, allowed uses, location of uses, design and construction of structures, and performance standards established within this PUD District are hereby set forth by the Dakota Waste Solutions Planned Unit Development Plan.
- B. The Dakota Waste Solutions Planned Unit Development Plan shall include and be developed in accordance with the following plans attached hereto as exhibits:

- Exhibit A: Dakota Waste Solutions PUD Development Stage Narrative (hereafter "PUD Narrative")
- Exhibit B: Preliminary Plat

- Exhibit C: Site Plan
- Exhibit D: Final Grading, Drainage, and Erosion Control Plan
- Exhibit E: Plans and Specifications for Public Improvements
- Exhibit F: Exterior Lighting Plan
- Exhibit G: Landscape Plan
- Exhibit H: Hoop-shed elevations

C. Any allowed uses and standards not specifically addressed by the Dakota Waste Solutions Planned Unit Development Plan shall be subject to the requirements set forth by the Lakeville Zoning Ordinance understanding that subsequent, more specifically detailed, PUD Development Stage Plans may seek modification of the standards and requirements established by the Zoning Ordinance by City Council approval provided that the proposed flexibility is shown to be consistent with the goals and objectives of the Dakota Waste Solutions Planned Unit Development Plan and complies with the intent of the requirements established by the Zoning Ordinance, even without their strict application.

Section 5. Allowed Uses. The allowed uses within the PUD District shall including the following, subject to PUD Development Stage Plan approval in accordance with Section 11-96-13 of the Zoning Ordinance:

- A. Base Uses. All permitted, accessory, conditional, interim, and administrative permit uses within the I-1, Light Industrial District shall be allowed within the PUD District.
- B. Specific Uses. The following specific uses of a source-separated organics processing facility, as described in the PUD Narrative (Exhibit A), shall be additionally allowed within the PUD District at the location and within such structures as set forth by the Site Plan (Exhibit C):
 - 1. Food waste collection and processing, including food waste storage, truck unloading, de-packaging, mixing, and composting start-up to be fully enclosed and contained within the processing building (24,425 square feet).
 - 2. Hoop Sheds:
 - a. Wood processing (two (2) structures 15,000 square feet each).
 - b. In-vessel composting, fully contained within one (1) hoop shed structure (21,225 square feet).
 - 3. Outdoor storage areas necessary to support composting and processing operations shall be permitted as shown on the site plan, subject to screening, surfacing, and containment conditions established by this PUD District, as follows:

- a. Yard waste and wood chip storage (21,800 square feet)
- b. Finished compost storage (15,750 square feet)
- c. Compost curing (11,200 square feet)

Section 6. Lot Requirements. The lot(s) within the PUD District shall comply with the requirements of Section 11-86 of the Zoning Ordinance.

Section 7. Construction Standards. The building type and construction of structures within the PUD District shall comply with the requirements of Section 11-17-9 applicable to industrial districts, and:

- A. Hoop Sheds shall be an allowed structure at the location as set forth by the Site Plan (Exhibit C), subject to the following:
 - 1. Hoop sheds shall be constructed with durable, fire-rated fabric and steel framing systems.
 - 2. Hoop sheds shall comply with all applicable building and fire codes.
 - 3. Hoop sheds shall be maintained in good repair with no holes or tears to the fabric material covering.
- B. Buildings that do not comply with the requirements of Section 11-17-9 may be considered during final PUD plan approval.

Section 8. Use Specific Standards. The following standards and conditions shall apply to development and operation of the source-separated organics processing facility allowed in accordance with Section 5.B of this Ordinance:

- A. Hours of Operation:
 - 1. Operating hours shall be limited to 6:00 a.m. to 8:00 p.m. Monday through Friday and Saturdays 8:00 a.m. to 5:00 p.m.
 - 2. There shall be no operations on Sundays or Official Federal Holidays.
 - 3. Extension:
 - a. The Zoning Administrator may, at their discretion, grant an extension of allowed operating hours based on the operator demonstrating a specific need.

- b. The Zoning Administrator, in approving the requested extension, may impose additional conditions as they deem necessary to mitigate any potential impacts of the extended hours and to protect public health, safety, and welfare.

B. Odor Control:

1. All food waste processing, de-packaging, and composting initiation shall occur within a building equipped with an odor mitigation system.
2. The Composting and Processing Building(s) shall maintain a negative pressure inside the building such that the internal air is directed to be filtered via a biological filter system approved by the Minnesota Pollution Control Agency to reduce odors prior to being emitted outdoors. The filter system can be comprised of a woodchip system or carbon filters that are approved by the MPCA.
2. The In-Vessel Composting Building shall be equipped with a biofilter or equivalent odor mitigation system as approved by the Minnesota Pollution Control Agency.
3. No composting activities shall occur outside and no composting shall be stored outside until the curing phase.
4. Any allowed outdoor stockpiles of yard waste shall be fully covered by a hoop shed that shall have a minimum of three sides.
5. Outdoor curing or storage piles shall not emit detectable odors beyond the property line.

C. Noise:

1. All mechanical and vehicular noise shall comply with Minnesota Pollution Control Agency noise standards.
2. All wood chipping shall be conducted inside allowed hoop sheds.

D. Traffic and Access:

1. Site access shall be limited to use of the following roadways:
 - a. 215th Street.
 - b. Kaparia Avenue.
2. All truck queuing shall occur on-site with no truck parking, standing, or queuing allowed within the public right-of-way.

3. All truck accesses shall be paved and maintained to prevent tracking and dust, subject to approval of the City Engineer.
- E. Outdoor Storage: All outdoor storage allowed within this PUD District shall be located upon a paved or concrete surface to control dust and drainage, subject to approval of the City Engineer. Outdoor storage areas are limited to only areas indicated on the Site Plan (Exhibit C).
- F. Trailer Parking and Storage:
1. Parking of semi-tractor trailers shall be allowed up to not more than 38 trailers to be confined within the area designated upon the Site Plan (Exhibit C).
 2. Semi-tractors or trailers parked upon the subject site shall be licensed and maintained in such condition so as to be legally operable upon public streets.
 3. The designated parking area shall be surfaced with a bituminous surface to control dust and drainage, subject to approval of the City Engineer.
 4. No other equipment, goods, or materials shall be stored in this area.
- G. Environment:
1. The facility shall obtain and maintain a Dakota County License for a Solid Waste Composting Facility and Minnesota Pollution Control Agency permits, including any required permit(s) for a Source-Separated Organic Material Compost Facility.
 2. Stormwater management shall comply with City and Minnesota Pollution Control Agency requirements, including leachate containment for all composting areas.
 3. A closure plan shall be provided and maintained in accordance with the Minnesota Pollution Control Agency standards and requirements for the Minnesota Pollution Control Agency permit.
 4. A stormwater maintenance and operations plan shall be recorded for the site to comply with the Minnesota Pollution Control Agency and City of Lakeville standards and requirements.
 5. Food and Yard Waste:

- a. Food waste not used in composting shall be processed and removed the same day it is received.
- b. No storage of food waste shall occur outside of the building at any time.
- c. Material processed at this facility is limited to only the following:

- (1) Food Waste:

- (a) Fruit and vegetables (raw, canned and pre-packaged).
- (b) Cooked meat (contained in pre-packaged salads) limited to five percent (5%) of food waste.
- (c) Dairy, cheese, and bread products that are mixed with other grocery products and limited to a maximum of five percent (5%) of by weight.

- (2) Yard waste (grass clippings, leaves, garden waste, and tree branches).

- (3) Unfinished wood, trees, and pallets for wood processing; no old building material, building demolition or painted or stained wood can be processed.

- (4) Manure waste that is mixed with yard waste – twenty percent (20%) by weight, maximum.

- (5) New sheet rock material that is unpainted.

- 2. All required regulatory permits shall be approved prior to the PUD Final Plan approval by the City Council.
- 3. The use shall comply with all approved plans and permits approved by the City, Dakota County, and the Minnesota Pollution Control Agency.

H. Landscaping and Required Screening:

- 1. Landscaping shall comply with Section 11-17-19 of the Zoning Ordinance and the approved PUD Development Stage Plan.

2. Plans shall include construction of a berm with landscaping at a minimum of six (6) feet in height at the perimeter of the site to screen all the activities. Construction of the berm shall begin at the time of site construction and landscaping shall be installed prior to issuance of a Certificate of Occupancy for the site.
 3. All required landscaping and screening shall be installed prior to operation of any uses on the site.
- I. Monitoring and Reporting:
1. The operator shall maintain a complaint log and report quarterly to the Zoning Administrator on odor, noise, and traffic complaints and resolutions.
 2. The annual reporting required by the Minnesota Pollution Control Agency shall be submitted to the Zoning Administrator and shall include the following:
 - a. Summary of lab analyses required as outline in the Sampling and Testing plan in the Minnesota Pollution Control Agency permit.
 - b. Training records for each employee.
 - c. Maintenance logs as outlined in the Minnesota Pollution Control Agency permit.
 - d. Operation logs as outlined in the Minnesota Pollution Control Agency permit.
 - e. Site inspection logs by the Minnesota Pollution Control Agency.
 3. The facility shall be monitored daily for vectors or varmints with remediation measures taken immediately to removed or abate any infestation.

Section 9. Future Phases and Amendments. Approval of Final PUD Plan, Final Plat, and execution of a development contract is required prior to any construction activity. Any future buildings or expansion areas identified on the Site Plan (Exhibit C) shall be required to be consistent with approved plans.

Section 10. Schedule of Improvements. Development and construction of the site and facilities shall be completed under the following timeline:

- April 2026 begin construction of compost and food processing facility and wood processing facility.
- September 2026 start food processing and composting
- June 2027 move wood processing facility from property immediately north at 10831 215th Street (PID's 220360007013 220360006019) and to the subject property.
- June 2027 begin cleanup of food processing, composting, wood processing and related outdoor storage on north property (PID's 220360007013 220360006019)
- Sept 30, 2028 all wood processing, food processing, composting and all related outdoor storage and activities removed and cleaned-up on north property (PID's 220360007013 220360006019).

Section 11. The zoning map of the City of Lakeville shall not be republished to show the aforesaid rezoning, but the City Clerk shall appropriately mark the zoning map on file in the City Clerk's office for the purpose of indicating the rezoning hereinabove provided for in this Ordinance, and all of the notations, references and other information shown thereon are hereby incorporated by reference and made part of this Ordinance.

Section 12. This Ordinance shall be effective upon its passage, publication, and recording of a final plat and PUD Final Plan.

ADOPTED by the Lakeville City Council this ___ day of ___, 2025

CITY OF LAKEVILLE

BY: _____
Luke M Hellier, Mayor

ATTEST

BY: _____
Ann Orlofsky, City Clerk

CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA

ZONING MAP AMENDMENT
FINDINGS OF FACT AND RECOMMENDATION
DAKOTA WASTE SOLUTIONS, LLC

On November 20, 2025 the Lakeville Planning Commission met at its regularly scheduled meeting to consider the application of Dakota Waste Solutions, LLC for an amendment to the Zoning Map to rezone property from I-1, Light Industrial District to PUD, Planned Unit Development. The Planning Commission conducted a public hearing on the application preceded by published and mailed notice. The applicant was present, and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The subject property is located in Comprehensive Planning District 6 and is guided for Warehouse/Industrial land uses by the 2040 Comprehensive Land Use Plan.
2. The subject property is zoned I-1, Light Industrial. The applicant has applied for an amendment to the Zoning Map to rezone the property from I-1, Light Industrial to PUD, Planned Unit Development.
3. The legal description of the property is:

The Northwest Quarter of the Southeast Quarter of Section 36, Township 114, Range 21, Dakota County, Minnesota

4. Section 11-3-3.E of the City of Lakeville Zoning Ordinance provides that the Planning Commission shall consider possible effects of the proposed amendment. Its judgment shall be based upon, but not limited to, the following factors:
 - a. **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.**

Finding: The property is located in Planning District No. 6 of the 2040 Comprehensive Plan. The proposed rezoning from I-1, Light Industrial District to PUD, Planned Unit Development will meet the goals and policies outlined in Planning District No. 6 and will be consistent with the 2040 Comprehensive Plan.

b. The proposed use is or will be compatible with present and future land uses of the area.

Finding: The subject site is east of the I-35, south of 215th Street, surrounded by existing and planned industrial and office park uses. The proposed recycling and composting facility would be compatible with existing and planned industrial uses to the west and south and future office park uses to the north and east.

c. The proposed use conforms to all performance standards contained in the Zoning Ordinance and the City Code.

Finding: The proposed PUD provides enhanced environmental management, flexibility in site design and structure types through specific performance standards of the PUD ordinance and the underlying I-1, Light Industrial zoning district.

d. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

Finding: The subject site is located within the Metropolitan Urban Service Area (MUSA). City utilities are planned to be extended to the property in 2026; the proposed use will not overburden the City's service capacity.

e. Traffic generated by the proposed use is within capabilities of streets serving the property.

Finding: The subject site is accessed by 215th Street and Kaparia Avenue. The streets accessing the property have adequate capacity to accommodate traffic generated by the proposed use with access points to be constructed in accordance with the provisions of City Code.

5. The planning report dated November 13, 2025 prepared by Tina Goodroad, Community Development Director and Heather Botten, Senior Planner is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the Zoning Map amendment conditioned upon compliance with the planning report prepared by Tina Goodroad, Community Development Director and Heather Botten, Senior Planner dated November 13, 2025.

DATED: November 20, 2025

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair



Memorandum

To: Heather Botten, Senior Planner

From: Jon Nelson, Assistant City Engineer
McKenzie L. Cafferty, Environmental Resources Manager
Joe Masiarchin, Parks & Recreation Director

Copy: Zach Johnson, City Engineer
Julie Stahl, Finance Director
Dave Mathews, Building Official
Tina Goodroad, Community Development Director

Date: November 13, 2025

Subject: Dakota Waste Solutions

- Preliminary Plat Review
- Preliminary Grading and Erosion Control Plan Review
- Preliminary Landscaping Plan Review
- Preliminary Utility Plan Review

BACKGROUND

Dakota Waste Solutions, LLC representatives have submitted a preliminary plat named Dakota Waste Solutions along with preliminary plans to construct a composting facility on 2 lots within 1 block and 1 outlot on 37.5 acres. The parent parcel consists of one metes and bounds parcel (PID No. 220360076010), zoned I-1, Light Industrial District.

The proposed development is located south of and adjacent to 215th Street, east of and adjacent to Kaparia Ave, and adjacent to and including the West Branch of South Creek on the south end of the plat.

The outlot created with the preliminary plat shall have the following use:

Outlot A: Creek/natural drainageway; to be deeded to the City (11.6 acres)

The proposed development will be completed by:

Developer:	Dakota Waste Solutions, LLC
Engineer/Surveyor:	Kimley-Horn

SITE CONDITIONS

The existing parcel consists of one metes and bounds parcel (PID No. 220360076010). The site consists of undeveloped agricultural land. The site is located within the South Creek Stormwater District generally draining northwest to southeast. The northeast of the site has an existing semi-trailer lot that will be removed with the final plat. There is a gas easement bisecting the site from the northwest to the east terminus of the platted area. There is an overhead electrical line along the western plat boundary.

STREET AND SUBDIVISION LAYOUT

215th Street

Dakota Waste Solutions is located south of and adjacent to 215th Street, a minor collector roadway as identified in the City's Transportation Plan. 215th Street is currently constructed as a rural road section with gravel surface. The city is proposing reconstructing 215th Street adjacent to the plat area with construction of sanitary sewer and watermain as well as construction of an urbanized road section with bituminous surfacing within the 2026-2030 CIP, planned for 2026 construction. The half right-of-way requirement of 40-feet for the minor collector roadway is shown as being dedicated on the preliminary plat.

Kaparia Avenue

Dakota Waste Solutions is located east of and adjacent to Kaparia Avenue, a minor collector roadway as identified in the City's Transportation Plan. Kaparia Avenue is currently constructed as a rural road section with gravel surface. The half right-of-way requirement of 40-feet for the minor collector roadway shall be shown on the preliminary plat.

CONSTRUCTION ACCESS

Construction traffic access and egress for grading, utility, and street construction shall be limited to minimize impacts to city capital improvement project construction and city roadway maintenance.

PARKS, TRAILS AND SIDEWALKS

The Park Dedication requirement for the parent parcel has not been paid and will be calculated and satisfied through a cash contribution with the final plat.

UTILITIES

SANITARY SEWER

Dakota Waste Solutions is located within subdistrict SC-10430 of the South Creek sanitary sewer district as identified in the City's Comprehensive Sanitary Sewer Plan. Wastewater will be conveyed via sanitary sewer planned to be constructed with the city reconstruction of 215th Street and ultimately directed to the Empire Treatment Facility via the MCES Elko/New Market Interceptor monitored by meter M649.

Dakota Waste Solutions includes the construction of privately owned and maintained sanitary sewer. 8-inch sanitary sewer will be connected to the public sanitary sewer once constructed on 215th Street.

The Sanitary Sewer Availability Charge has not been collected on the parent parcel and will be required with the building permit. The fee will be based on the rate in effect at the time of final plat approval.

WATERMAIN

Development of Dakota Waste Solutions includes the construction of privately owned and maintained watermain. Two 10-inch watermains will be connected to the public watermain once constructed on 215th Street.

Undergrounding

Overhead electric service lines and poles are located along the east side of Kaparia Avenue within the western preliminary plat area. The Developer is required to remove the poles and place the service utilities underground with the final plat, consistent with the City's Public Ways and Property Ordinance.

DRAINAGE AND GRADING

Dakota Waste Solutions is located within subdistrict SC-187 of the South Creek stormwater district as identified in the City's Water and Natural Resources Management Plan.

Development of Dakota Waste Solutions includes the construction of one privately owned and maintained stormwater management system to collect and treat the stormwater runoff generated from the site. The privately owned and maintained system ultimately drain to West Branch South Creek. A sight specific stormwater maintenance agreement will be approved with the final plat that will identify inspections, maintenance schedule and reporting need for the private stormwater system. The Developer shall submit an approved final stormwater management plan for the site prior to recording of the Dakota Waste Solutions final plat. The Developer shall submit an approved final grading plan prior to recording of the Dakota Waste Solutions final plat and issuance of a grading permit.

The final grading plan shall identify all fill lots in which the building footings will be placed on fill material. The grading specifications shall also indicate that all embankments meet FHA/HUD 79G specifications. The Developer shall certify to the City that all lots with footings placed on fill material are appropriately constructed. Building Certificate of Occupancies will not be issued until a soils report and an as-built certified grading plan have been submitted and approved by City staff.

Dakota Waste Solutions contains more than one acre of site disturbance. A National Pollution Discharge Elimination System General Stormwater Permit for construction activity is required from the Minnesota Pollution Control Agency for areas exceeding one acre being disturbed by grading. A copy of the Notice of Stormwater Permit Coverage must be submitted to the City upon receipt from the MPCA.

STORM SEWER

Development of Dakota Waste Solutions includes the construction of a privately owned and maintained storm sewer system. Storm sewer will be installed within the subdivision to collect and convey stormwater runoff to the privately owned and maintained basins. The filtration basin will have a privately owned and maintained storm sewer outlet to West Branch South Creek.

The Storm Sewer Charge has not been collected on the parent parcel and will be required with the final plat. The fee will be based on the rate in effect at the time of final plat approval.

Final locations and sizes of all storm sewer facilities will be reviewed by City staff with the building permit application and final construction plans.

FEMA FLOODPLAIN ANALYSIS

Dakota Waste Solutions is located within areas shown on the Flood Insurance Rate Map (Map No. 27037C0193E) primarily as Zone X and is identified as Zone AE along the south end of the

plat as determined by FEMA (Map number 27037C0214E). Based on this designation, the southern portion within the plat is located within a Special Flood Hazard Area (SFHA). No buildings or grading is being proposed within the SFHA.

WETLANDS

A wetland delineation was completed for the site. The Notice of Application was sent out 06/16/2021. No adverse comments were received. Based on the information provided in the report dated 05/12/2021 and site visit, the wetland delineation for the area outlined in the report has been determined to be acceptable for use in implementing the Wetland Conservation Act.

There are no impacts proposed to wetlands on the site or the Vermillion River Watershed Tributary Corridor. All wetlands, waterways and buffers will be placed in a city owned outlot during final plat. Any buffers that were previously disturbed will require to be established with native vegetation.

TREE PRESERVATION

The tree preservation plan identifies 93 significant trees within the project limits. Of these, 4 are proposed to be removed with the remaining 89 trees to be saved. In addition, as noted on the tree preservation plan, the wooded area south of the project limits was not surveyed and all trees within the area are to be protected. The removal of any tree(s) to be saved will require the planting of two trees for each tree removed.

Tree protection measures are to be installed prior to, and maintained throughout, construction.

LANDSCAPE PLAN

The landscape plan proposes a mix of trees and shrubs to provide screening along the north and west street frontages, to the southwest of the proposed processing building, around the storm pond at the southeast corner of the site, as well as along the east property line. The landscape must be installed per the approved plans and an as-built landscape plan is to be submitted to the city prior to the final landscape inspection.

EROSION CONTROL

The Developer is responsible for obtaining a MPCA Construction Permit for the site prior to construction. The permit requires that all erosion and sediment BMPS be clearly outlined in a site's SWPPP. Changes made throughout construction must be documented in the SWPPP.

Redundant silt fence is required along all wetlands and waterways that do not have a 50-foot established buffer. Additional erosion control measures may be required during construction as deemed necessary by City staff or the Vermillion River Watershed JPO. Any additional measures required shall be installed and maintained by the developer.

RECOMMENDATION

Engineering recommends approval of the Dakota Waste Solutions preliminary plat, preliminary erosion control plan and grading plan, preliminary utility plan, and preliminary landscape plan subject to the requirements and stipulations within this report.



Memorandum

FYI

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: November 13, 2025
Subject: Future and Continued Planning Commission Agenda Items
Summary of City Council Actions on Planning Commission Items

The following is a list of possible agenda items to be considered at upcoming Planning Commission meetings:

- Compass Rail – Comprehensive Plan Amendment and Rezoning for newly-annexed parcels
- Caliber Collision – CUP for outdoor storage area
- Highview/Lennar - Comprehensive Plan Amendment and Rezoning of property along Holyoke Avenue
- Heritage Commons – Conditional Use Permit for a convenience restaurant with a drive-through

The following items were approved by the City Council at the November 3, 2025 City Council meeting.

- Mister Car Wash Conditional Use Permit
- 18275 Ixonia Avenue accessory building Conditional Use Permit