



AGENDA PLANNING COMMISSION MEETING

December 18, 2025 - 6:00 PM
City Hall Council Chambers

Members of the public can participate in person at Lakeville City Hall, 20195 Holyoke Avenue. Members of the public may join the meeting via [Teams Meeting](#), Meeting ID: 232 395 676 881, Passcode: Ud3c7QB2, or by calling Toll Number 1-323-433-2142; Conference ID: 856 313 272#. The Chair will allow for public comments and questions at the appropriate time.

The Planning Commission meeting can be viewed via web stream at [Lakevillemn.gov/LiveTV](https://lakevillemn.gov/LiveTV) or live on Spectrum cable channel 180. The Chair will allow for public comments and questions at the appropriate time.

1. Call to order and flag pledge
2. Roll Call
3. Approval of Minutes
 - a. December 4, 2025 Planning Commission minutes
4. Announcements
5. Public Hearing
 - a. Preliminary plat for Putrah Shores
 - b. Conditional use permit for SMNPT1, LLC for a commercial building under 2,000 square feet in Heritage Commons
 - c. Ordinance text amendment to Title 11 (Zoning) 11-86 (I-1 District)
 - d. Conditional use permit for Caliber Collision for a major automobile repair use at 9583 217th Street
 - e. Conditional use permit for CA Commercial Development for a convenience restaurant with a drive-through in Heritage Commons
 - f. Conditional use permit for Veridian Credit Union for a drive-through service window
6. Staff Notices
 - a. The City Council meeting at which the above items may be considered will be held on January 5, 2026.
 - b. The next Planning Commission meeting is scheduled for January 15, 2026.
 - c. Planning Manager's memo
7. Adjourn

CITY OF LAKEVILLE
PLANNING COMMISSION MEETING MINUTES
December 4, 2025

Vice Chair Einck called the meeting to order at 6:00 p.m. in the Council Chambers at City Hall. The Pledge of Allegiance to the flag was given.

Members Present: Vice Chair Scott Einck, Pat Kaluza, John Swaney, Jason Swenson, Mark Traffas, Alternate Dylan Duckworth, Alternate Erin Duckworth, Ex-Officio Jeff Hansen

Members Absent: Chair Christine Zimmer, Amanda Tinsley

Staff Present: Kris Jenson, Planning Manager; Tina Goodroad, Community Development Director; Heather Botten, Senior Planner; Jon Nelson, Assistant City Engineer; Dawn Erickson, Community Development Recorder

3. Approval of the Meeting Minutes

The November 20, 2025 Planning Commission meeting minutes were approved as presented.

4. Announcements

Planning Manager Kris Jenson stated there is one handout which is a revised tree inventory for the North Creek Second Addition. Agenda item 5a is requested to be tabled to the December 18, 2025 Planning Commission meeting and agenda item 5c is requested to be tabled to the January 15, 2026 Planning Commission meeting.

5a. CA Commercial Development

Vice Chair Einck requested a motion be made to table this item to the December 18, 2025 Planning Commission meeting.

Motion was made by Kaluza, seconded by Swaney to table the CA Commercial Development for a conditional use permit for a convenience restaurant with a drive-through service window located in the Heritage Commons development to the December 18, 2025 Planning Commission meeting.

Ayes – unanimous

Nays: 0

5b. North Creek Second Addition

Vice Chair Einck opened the public hearing to consider the application of KJ Walk, Inc. for a preliminary plat of 26 single family residential lots and 27 detached townhome lots located east of Pilot Knob Road (CSAH 31) and south of 173rd Street.

Warren Israelson with KJ Walk, Inc introduced the project.

Ms. Jenson presented the staff report. The North Creek Second Addition preliminary plat proposes the development of 26 single family residential lots and 27 detached townhome lots. The plans include buffer yard plantings for those units abutting Pilot Knob Road. The North Creek Second Addition preliminary plat application was submitted prior to the adoption of the new tree preservation ordinance, thus it is not subject to the new ordinance. However, staff requested that the tree inventory be revised to only show those trees within the plat boundary. The Developer provided the updated tree inventory, which was distributed to Commissioners at the time of the meeting. Community Development Department staff recommends approval.

Vice Chair Einck opened the hearing to the public for comment.

There was no public comment.

Motion was made by Swenson, seconded by Kaluza to close the public hearing at 6:07 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Vice Chair Einck asked for comments from the Planning Commission.

- Commissioner Traffas asked about the potential expansion of Pilot Knob Road and if the setbacks in the proposed plan would be acceptable. Assistant City Engineer Jon Nelson stated that the current Dakota County Transportation plan it does not show an expansion of Pilot Knob Road in this area in the 2040 plan and the right-of-way allocated is sufficient.

Motion was made by Kaluza, seconded by Swenson to recommend to City Council approval of the North Creek Second Addition preliminary plat, subject to the following stipulations:

1. Implementation of the recommendations listed in the November 24, 2025 engineering report.
2. Park dedication shall be satisfied with a cash contribution paid with the final plat for each development phase.
3. The developer shall construct five-foot-wide concrete sidewalks along one side of all streets. The Developer shall construct a 10-foot-wide bituminous trail along the east side of Pilot Knob Road, from 173rd Street to the current terminus of the bituminous trail on the south side of the North Creek creek, per the Pheasant Run of Lakeville 7th Addition development contract.

4. Buffer yard landscaping shall be installed according to the approved landscape plan. A security for the buffer yard landscaping shall be submitted with the final plat.
5. Lots 1-7, Block 1 must sod the buffer yard to the rear property line. A \$1,000 per lot security for these lots will be required with the building permit.
6. All new local utilities and any existing overhead service utilities located on the property shall be placed underground.
7. The existing house, accessory structures, fence, well, and septic system must be removed with the development of this property.
8. A homeowner’s association must be established for ownership and maintenance of Lot 23, Block 1 and Lot 22, Block 3.
9. Prior to City council consideration of the preliminary plat, the landscape plan must be modified to include the specific species of spruce and pine to be planted, subject to the approval of the City Forester.

Ayes: Traffas, Kaluza, Einck, E. Duckworth, Swaney, Swenson, D. Duckworth

Nays: 0

5c. Lennar

Vice Chair Einck requested a motion be made to table this item to the January 15, 2026 Planning Commission meeting.

Motion was made by Swenson, seconded by Swaney to table the Lennar Comprehensive Plan amendment and Zoning Map amendment to the January 15, 2026 Planning Commission meeting.

Ayes – unanimous

Nays: 0

5d. Compass Rail Lakeville LLC

Vice Chair Einck opened the public hearing to consider the application of Compass Rail Lakeville LLC for the following, located west of Highview Avenue and north of 225th Street.

1. Comprehensive Plan amendment to bring approximately 33.31 acres of land into the current Municipal Urban Service Area (MUSA)
2. Comprehensive Plan Amendment to re-guide properties from Rural Residential Density to Industrial and Airport.
3. Zoning Map Amendment to rezone properties from RA, Rural/Agriculture District to I-2, General Industrial District and I-3, Airport Industrial District.

Tina Goodroad, Community Development Director, presented the staff report. Compass Rail Lakeville, LLC and the Metropolitan Airport Commission (MAC) have applied for comprehensive

plan MUSA staging and land use amendments and zoning map amendments. The properties total 33.31 acres. Compass Rail Lakeville, LLC proposes to construct a rail car storage yard on the south parcel while the MAC-owned parcel on the north will remain undeveloped. Staff requested the MAC to include their property (11.51 acres) to square off the new city boundary. The City Council approved an ordinance for annexation on September 2, 2025, and the State of Minnesota approved the annexation request on November 5, 2025

The comprehensive plan amendments include bringing 33.31 acres of land into the current Municipal Urban Service Area (MUSA) as well as Land Use Plan amendment to re-guide properties from Rural Density Residential (land use guidance upon annexation) to Industrial (south parcel) and Airport (north parcel). Finally, the amendment includes a zoning map amendment to rezone parcels to be consistent with the land use.

Community Development Department staff has determined that the requested land use plan amendment is consistent with the intent and goals of the 2040 Comprehensive Plan and recommends approval of both the Comprehensive Plan Amendment and the Zoning Map Amendment.

Vice Chair Einck opened the hearing to the public for comment.

There was no public comment.

Motion was made by Dylan Duckworth, seconded by Swenson to close the public hearing at 6:16 p.m.

Voice vote was taken on the motion.

Ayes – unanimous

Ms. Goodroad

Vice Chair Einck asked for comments from the Planning Commission.

- Vice Chair Einck asked whether there is a corporate relationship between Compass Rail and Rail. Ms. Goodroad stated that Compass Rail is a Texas firm that will be operating the rail car storage yard in cooperation with Progressive Rail.
- Commissioner Kaluza stated this is a creative solution for this area, expressed support for the project and thanked staff for all their work. He requested that Ms. Goodroad share the limits of what can actually go next to the airport. Ms. Goodroad stated the rail car storage area is very compatible for this area. There are height limits for any buildings adjacent to the airport.
- Commissioner Traffas asked if the one existing track to the railyard is sufficient to service this area or will there need to be additional tracks. Ms. Goodroad stated there will be tracks within the property but one track to the site will be sufficient.

Motion was made by Swenson, seconded by Kaluza to recommend to City Council approval of the Comprehensive Plan amendment to bring approximately 33.31 acres of land into the current Municipal Urban Service Area (MUSA); and the Comprehensive Plan amendment to re-guide

properties from Rural Residential Density to Industrial and Airport; and the Zoning Map Amendment to rezone properties from RA Rural/Agriculture District to I-2, General Industrial District and I-3, Airport Industrial District and approval of the findings of fact dated December 4, 2025.

Ayes: Kaluza, Einck, E. Duckworth, Swaney, Swenson, D. Duckworth, Traffas

Nays: 0

There being no further business, the meeting was adjourned at 6:20 p.m.

Respectfully submitted,

Dawn Erickson, Community Development Recorder

DRAFT



Memorandum

To: Planning Commission
From: Heather Botten, Senior Planner
Date: December 10, 2025
Subject: Packet Material for the December 18, 2025 Planning Commission Meeting
Agenda Item: Preliminary and Final Plat for Putrah Shores
Action Deadline: January 6, 2026

BACKGROUND

Tyler Putrah has submitted a preliminary and final plat for a one-lot subdivision to be known as Putrah Shores. The plat consolidates two adjacent parcels, totaling 0.43 acres, into a single lot. The property is located along the north shore of Lake Marion, south of 199th Street. Mr. Putrah owns the parcels and intends to construct a new single-family home on the property.

The Engineering Division has not prepared a staff memo for the proposed plat as there are no public street, stormwater, or utility improvements proposed to be done by the applicant.

EXHIBITS

- A. Location Map
- B. Zoning Map
- C. Certificate of Survey
- D. Preliminary Plat
- E. Final Plat

Zoning and Surrounding Uses. The property is zoned RS-3, Single-Family Residential and located in the Shoreland Overlay District of Lake Marion. The proposed project is surrounded by developed, single-family lots, zoned RS-3, Single-family Residential and guided Low Density Residential.

Existing Conditions. The two parcels are legal, non-conforming lots, both originally platted in 1909 as part of the Antlers Park plat. In 1941, the west parcel was replatted as part of the Lenihan's Lots Antlers Park plat. Because the lots are part of two different plats, Dakota County requires the parcels be platted to be combined.

Individually, the properties are legal non-conforming lots of record and the two parcels could be potential buildable sites, provided setbacks and impervious surface requirements are met. Combining these two lots into one larger lot will bring the property closer to a conforming lot, which is a goal of the shoreland program and planning policy in general.

Because the lot to be created does not meet the minimum lot size and width requirements, Staff consulted with the City Attorney to confirm whether any other actions were required in conjunction with the preliminary plat. Upon review of the ordinance language, it was confirmed for staff that no additional actions were required. The Shoreland Overlay District includes provisions for lots of record as of June 19, 1978, that don't meet the minimum lot and setback requirements of the Shoreland Overlay District, to be allowed as a building site. The lot must also meet the requirements of 11-16-5, which addresses general performance standards for platted and unplatted properties such as lot frontage on public streets, placement of structures to not obstruct future public street access, etc.

PLANNING ANALYSIS

PRELIMINARY PLAT

Zoning and Comprehensive Plan consistency. The property is currently guided Low Density Residential and located in Planning District No. 4 of the Comprehensive Land Use Plan. The property is in the current Metropolitan Urban Service Area (MUSA) which means that City municipal services, including sanitary sewer service, are available to serve the property. The property is zoned RS-3, Single-Family Residential. The proposed plat meets the recommended goals and objectives of the zoning code and comprehensive plan.

Existing Site Conditions. The property is currently undeveloped, and abutting Lake Marion. The site is in the shoreland overlay district. The surrounding parcels are developed, single-family residential lots.

Lot and Block. The minimum lot size and width requirements are governed by the RS-3 district and the Shoreland Overlay District requirements. The most restrictive of the requirements would apply to the property. The existing parcels are legal non-conforming lots that do not meet the minimum lot size or width requirements. The minimum lot size requirement in the shoreland overlay district is 20,000 square feet for riparian (lakeshore) lots. The proposed lot would be 18,725 square feet, an improvement from the two current smaller lot sizes. Combining the two parcels into one, the lot would still not meet the minimum lot

width requirement of 85 feet in the RS-3 district. The combined lot width of the parcels is 75 feet, improving the current non-conformity of a 50-foot-wide lot and a 25-foot-wide lot.

Setbacks. The setback requirements for the property will be 30 feet from the front yard, 75 feet from the ordinary high-water level, and since the existing lots were platted prior to January 18, 1980, the side yard setback will be 10 feet. Impervious surface on the property shall not exceed 25%.

Streets. The property has access to 199th Street, a local city street.

Grading, Drainage and Utilities. City sanitary sewer and water are available to the site, located in the right-of-way. Grading, drainage, and utility plans will be reviewed with the building permit. Storm sewer charges are paid at the time of platting and are based on square footage of the lot with the fee listed in the City's current fee schedule.

Park Dedication, Trails and Sidewalks. The City's Comprehensive Parks, Trails, and Open Space Plan does not identify any future park land within the area of the plat. No public trails or sidewalks are being constructed with this plat. Park dedication fees will be required for one low density residential lot per the amount listed in City's current fee schedule.

DNR Review. The plat has been sent to the DNR for review and comment. Official comments on the plat have not been received. Early communication with the DNR prior to plat submittal, they were in support of the lot consolidation.

RECOMMENDATION

Community Development staff recommend approval of Putrah Shores preliminary plat, subject to the following stipulations:

1. The final plat shall be in substantial conformance with the preliminary plans on file with the Community Development Department except as may be modified by the conditions herein.
2. Related fees for a one lot plat shall be required to be paid prior to the release of the final plat for recording.



Subject Properties

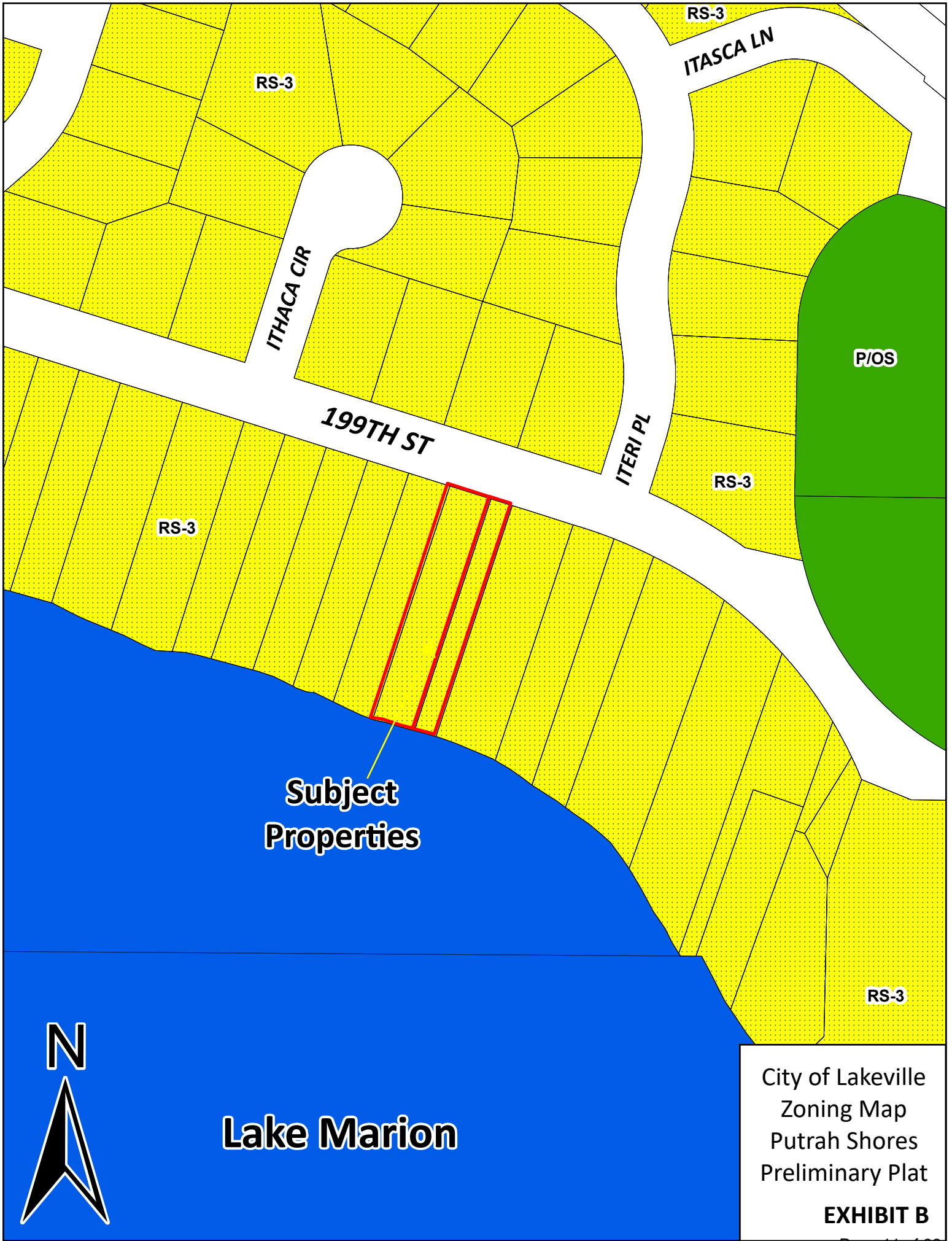
N



Lake Marion

City of Lakeville
Location Map
Putrah Shores
Preliminary Plat

EXHIBIT A



RS-3

RS-3

ITASCA LN

ITHACA CIR

199TH ST

ITERI PL

P/O/S

RS-3

RS-3

Subject Properties

RS-3

N

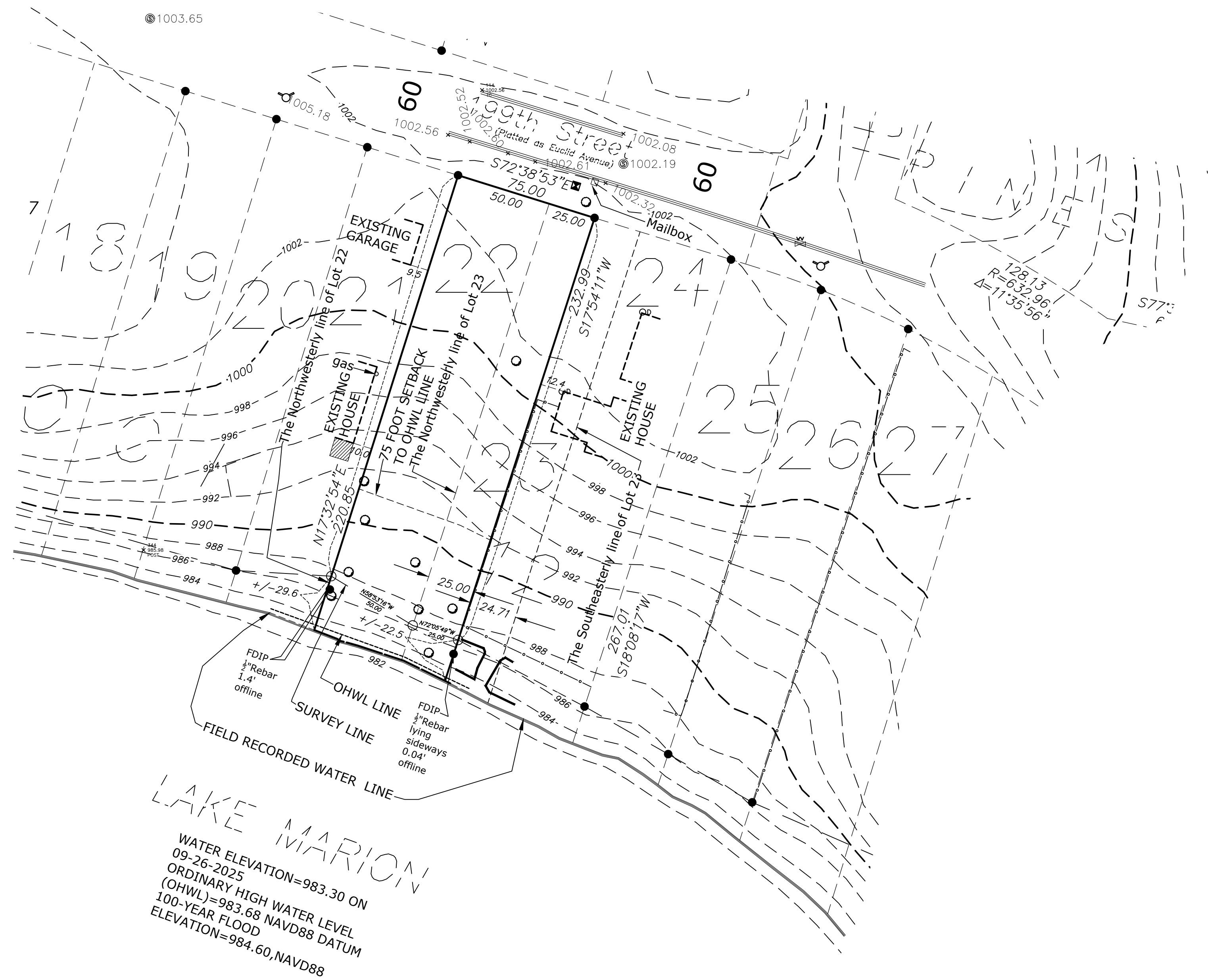


Lake Marion

City of Lakeville
Zoning Map
Putrah Shores
Preliminary Plat

EXHIBIT B

CERTIFICATE OF BOUNDARY and TOPOGRAPHICAL SURVEY of Existing Conditions



LAKE MARION
 WATER ELEVATION=983.30 ON
 09-26-2025
 ORDINARY HIGH WATER LEVEL
 (OHWL)=983.68 NAVD88 DATUM
 100-YEAR FLOOD
 ELEVATION=984.60, NAVD88

LEGEND:

- * DENOTES LIGHT POLE
- ☐ DENOTES AC (AIR CONDITIONING) PEDESTAL
- ⊗ DENOTES SANITARY MANHOLE
- DENOTES OVERHEAD WIRE
- DENOTES RETAINING WALL
- DENOTES FOUND IRON MONUMENT
- ⊙ DENOTES IRON MONUMENT LIC.NO.41905 SET
- DENOTES IRON MONUMENT LIC.NO.41905 TO BE SET
- ⊠ DENOTES COMMUNICATIONS BOX OR CYLINDER
- ⊞ DENOTES ELECTRIC TRANSFORMER
- ⊞ DENOTES DAKOTA COUNTY CAST IRON MONUMENT FOUND
- DENOTES CHAIN LINK FENCE
- ▨ DENOTES DECK AREA
- DENOTES CURB
- ⊕ DENOTES POWER POLE
- * DENOTES LIGHT POLE
- ⊕ DENOTES HYDRANT
- ⊕ DENOTES GATE VALVE
- DENOTES TREE
- ⊕ DENOTES DRAIN

AREAS:

EXISTING COVERAGE AREAS:
 PARCEL AREA= 18,728 SQ.FT./ 0.430 ACRES
 TOTAL EXISTING IMPERVIOUS SURFACE= 0,000 SQ.FT.(0.0%)

NOTES:

1. Property does not yet have an address, or house number and is Abstract property.
2. Benchmark Elevation at RIM of Sanitary Manhole in 199th Street near the southeasterly property line equals 1,002.19, as recorded and calibrated from DNR Benchmark at centerline of weir outlet structure, hi point, at Orchard Lake Beach near 17240 Judicial Road, Lakeville, MN.
3. Existing ground surface contours from lidar, with recorded field shots on benchmark system, which is NAVD88 datum.

PROPOSED PROPERTY DESCRIPTIONS:

Lot 22, Block 12, Lenihan's Lots, Antlers Park; AND Lot 23, Block 12, Antlers Park EXCEPT that part of Lot 23, Block 12, Antler's Park, lying Southeasterly of a line described as follows: Commencing at a point on the Northeasterly line of said Lot 23, said point being 25 feet Southeasterly of the most Northwesterly corner of said Lot 23 as measured along said Northeasterly line, running thence in a Southwesterly direction parallel to and 25 feet distant from the Northwesterly line of said Lot 23 to the Southwesterly line of said Lot 23 and there terminating, Dakota County, Minnesota.

PROPERTY ADDRESS:

_____199th Street W., Lakeville MN 55044

PROPERTY ID#:

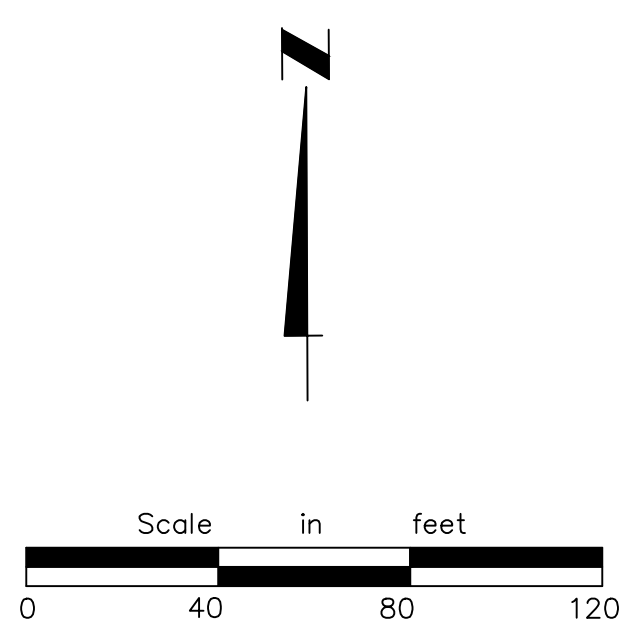
22-44900-12-220 and 22-11500-12-231

EXHIBIT C

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the Laws of the State of Minnesota.

Michael H. Brandt
 Michael H. Brandt
 Date 09 October 2025 Reg. No. 41905

BRANDT ENGINEERING & SURVEYING
 1713 Southcross Drive West, Suite A
 Burnsville, MN 55306
 (952) 435-1966
 P96-01-25



PRELIMINARY PLAT OF PUTRAH SHORES

PROPERTY DESCRIPTION:

Lot 22, Block 12, Lenihan's Lots, Antlers Park; AND Lot 23, Block 12, Antlers Park EXCEPT that part of Lot 23, Block 12, Antler's Park, lying Southeastly of a line described as follows: Commencing at a point on the Northeastly line of said Lot 23, said point being 25 feet Southeastly of the most Northwestly corner of said Lot 23 as measured along said Northeastly line, running thence in a Southwestly direction parallel to and 25 feet distant from the Northwestly line of said Lot 23 to the Southwestly line of said Lot 23 and there terminating, Dakota County, Minnesota.

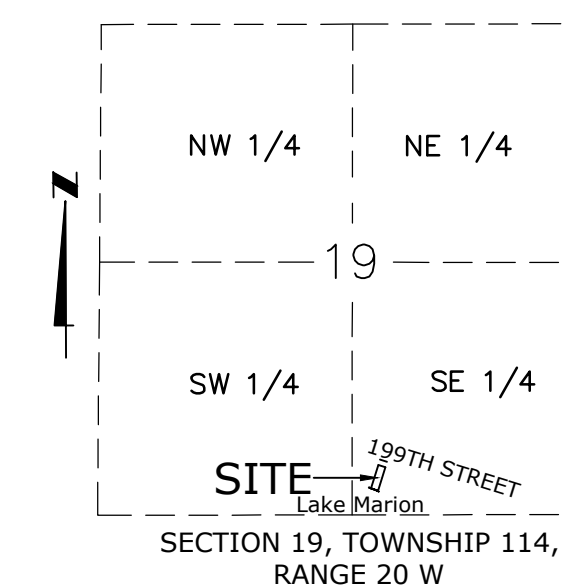
NOTES AND LEGEND

CURRENT ZONING: RS-3-SINGLE FAMILY RURAL RESIDENTIAL
 PROPOSED ZONING: RS-3-SINGLE FAMILY RURAL RESIDENTIAL
 AREA OF PLAT: 0.430 ACRES, 18,725 SQ.FT.
 AREA OF LOT 1: 0.430 ACRES, 18,725 SQ.FT.
 Site run-off and erosion to be dealt with at time of building permit application.
 Surface water drainage to be dealt with at time of building permit application.

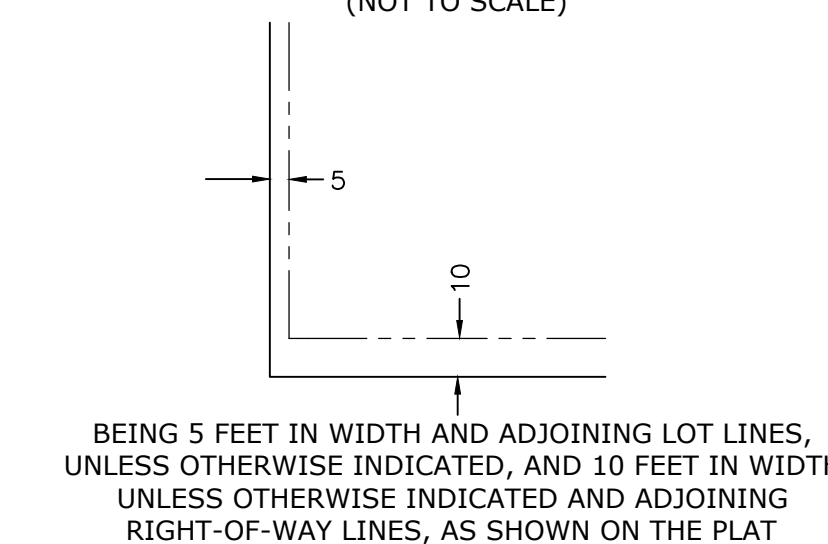
SETBACKS PER CITY ORDINANCE:
 PRINCIPAL STRUCTURES:
 FRONT YARD: 30 FEET
 SIDE YARD: 10 FEET
 REAR YARD: 75 FEET FROM THE OHW, ORDINARY HIGH-WATER

- NOTE:
- There are no proposed primary Septic Drainfields, for Lot 1, and neither are there proposed streets or grading for this Preliminary and Final Plat.
 - The Drainage and Utility Easements shown are proposed. The entire plat will be just one lot in one block.
 - Square area shown on the property is a possible building area with a size of 50 feet by 50 feet.
 - The width of the proposed lot is 74.86 feet at the 30 foot front setback line. There is city sanitary sewer and water available to the site as shown hereon.
 - Any Grading, Stormwater Pollution Prevention, Landscape, and Tree Preservation Plans to be obtained as needed. Site Plan to be provided after plat is complete and architectural plans are available, and at the time applicant applies for a Permit to build a new home on the site.
 - Revision of 12-10-2025 to update Area of Plat, and of Lot 1, and also update Setback information, and remove the former note #6, all per city request.
 - Revision of 12-11-2025 to update Area of Plat and of Lot 1 to the shoreline of Lake Marion.

VICINITY MAP (NOT TO SCALE)



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS: (NOT TO SCALE)



NAMES AND ADDRESSES PROPERTY OWNERS AND SUBDIVIDERS:

OWNERS:
 Tyler and Alessandra Putrah
 21059 Itami Trail
 Lakeville, MN 55044

SUBDIVIDERS:
 Tyler and Alessandra Putrah
 21059 Itami Trail
 Lakeville, MN 55044

SURVEYOR:
 Michael H. Brandt
 6837 Creston Road
 Edina, MN 55435

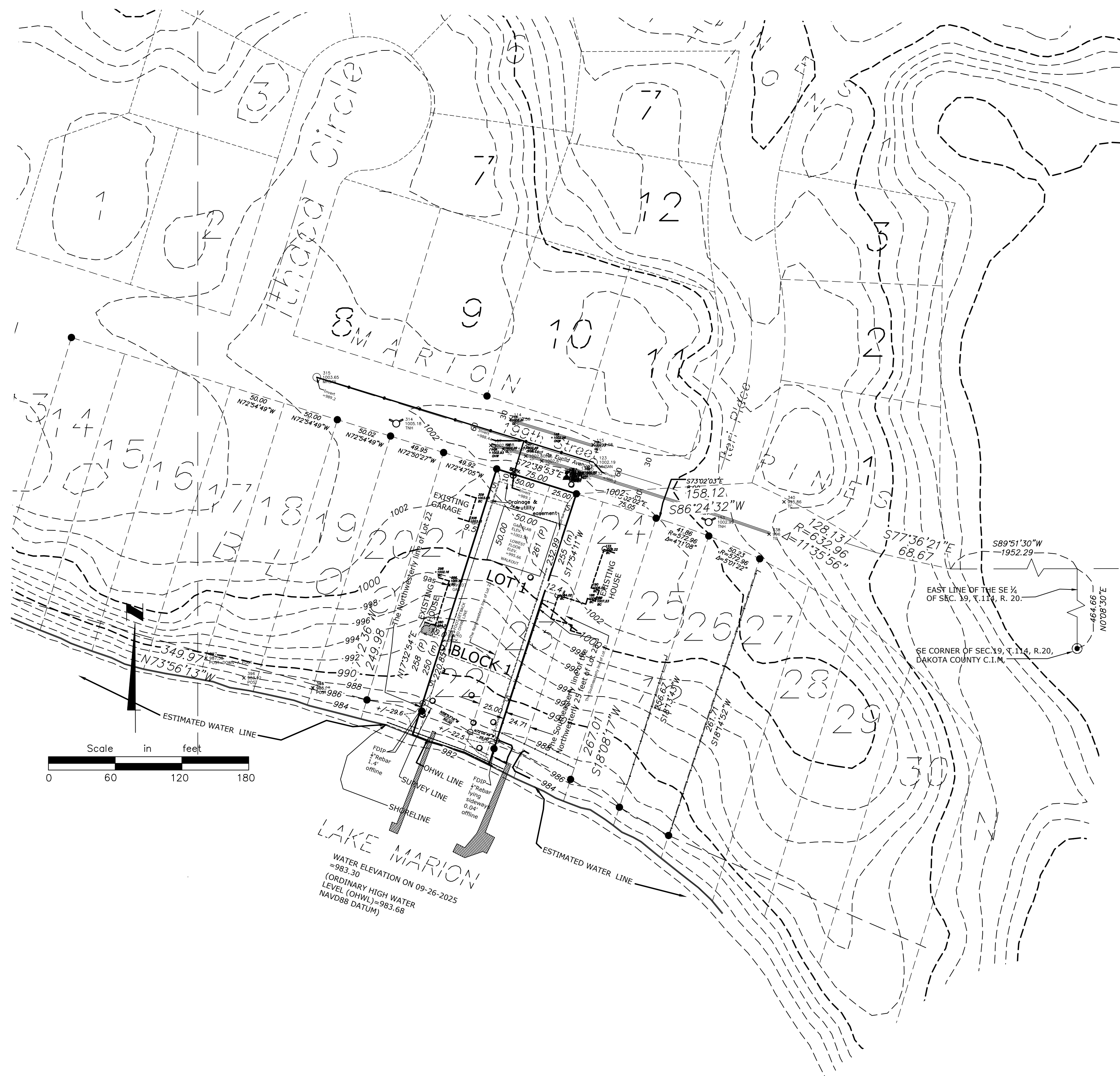
- BASIS OF BEARINGS REFERENCE NOTE.
- DENOTES 1/2 INCH BY 14 INCH IRON MONUMENT SET AND MARKED BY R.L.S. NO. 41905
 - DENOTES IRON MONUMENT FOUND
 - ⦿ DENOTES DAKOTA COUNTY CAST IRON MONUMENT FOUND
 - ▲ DENOTES PK NAIL SET

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the Laws of the State of Minnesota.

 Michael H. Brandt
 Date 21 October 2025 Reg. No. 41905
 Rev 10 December 2025
 Rev 11 December 2025

EXHIBIT D

BRANDT SURVEYING & ASSOCIATES
 1713 Southcross Drive West, Suite A
 Burnsville, MN 55306
 (952) 435-1966



PUTRAH SHORES

KNOW ALL PERSONS BY THESE PRESENTS: That Tyler Putrah and Alessandra Putrah, owner of the following described property:

Lot 22, Block 12, Lenihan's Lots, Antlers Park; AND Lot 23, Block 12, Antlers Park EXCEPT that part of Lot 23, Block 12, Antler's Park, lying Southeasterly of a line described as follows: Commencing at a point on the Northeasterly line of said Lot 23, said point being 25 feet Southeasterly of the most Northwesterly corner of said Lot 23 as measured along said Northeasterly line, running thence in a Southwesterly direction parallel to and 25 feet distant from the Northwesterly line of said Lot 23 to the Southwesterly line of said Lot 23 and there terminating, Dakota County, Minnesota.

Have caused the same to be surveyed and platted as PUTRAH SHORES and does hereby dedicate to the public for public use the drainage and utility easements as created by this plat.

In witness whereof said Tyler Putrah and said Alessandra Putrah, have caused these presents to be signed this _____ day of _____, 20__.

By: _____
Tyler Putrah

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me on _____, by Tyler Putrah, on behalf of himself.

Signature

Printed Name

Notary Public, County of Hennepin, State of Minnesota
My commission expires January 31, 2025.

By: _____
Alessandra Putrah

STATE OF MINNESOTA
COUNTY OF _____

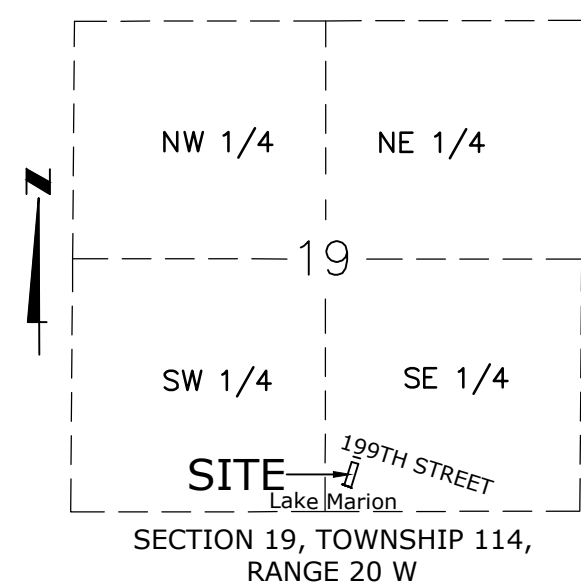
This instrument was acknowledged before me on _____, by Alessandra Putrah, on behalf of herself.

Signature

Printed Name

Notary Public, County of Hennepin, State of Minnesota
My commission expires January 31, 2025.

VICINITY MAP (NOT TO SCALE)



I, Michael H. Brandt do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20__.

Michael H. Brandt, Licensed Land Surveyor
Minnesota License 41905

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me on _____, by Michael H. Brandt.

Signature

Printed name

Notary Public, County of Hennepin, State of Minnesota
My commission expires January 31, 2025.

CITY COUNCIL, CITY OF LAKEVILLE, STATE OF MINNESOTA

This plat was approved by the City Council of Lakeville, Minnesota, this _____ day of _____, 20__, and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subd. 2.

By: _____ By: _____
Mayor Clerk

COUNTY SURVEYOR, COUNTY OF DAKOTA, STATE OF MINNESOTA

I hereby certify that in accordance with the Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20__.

_____, Dakota County Surveyor
Todd B. Tollefson

DEPARTMENT OF PROPERTY TAXATION AND RECORDS, COUNTY OF DAKOTA, STATE OF MINNESOTA

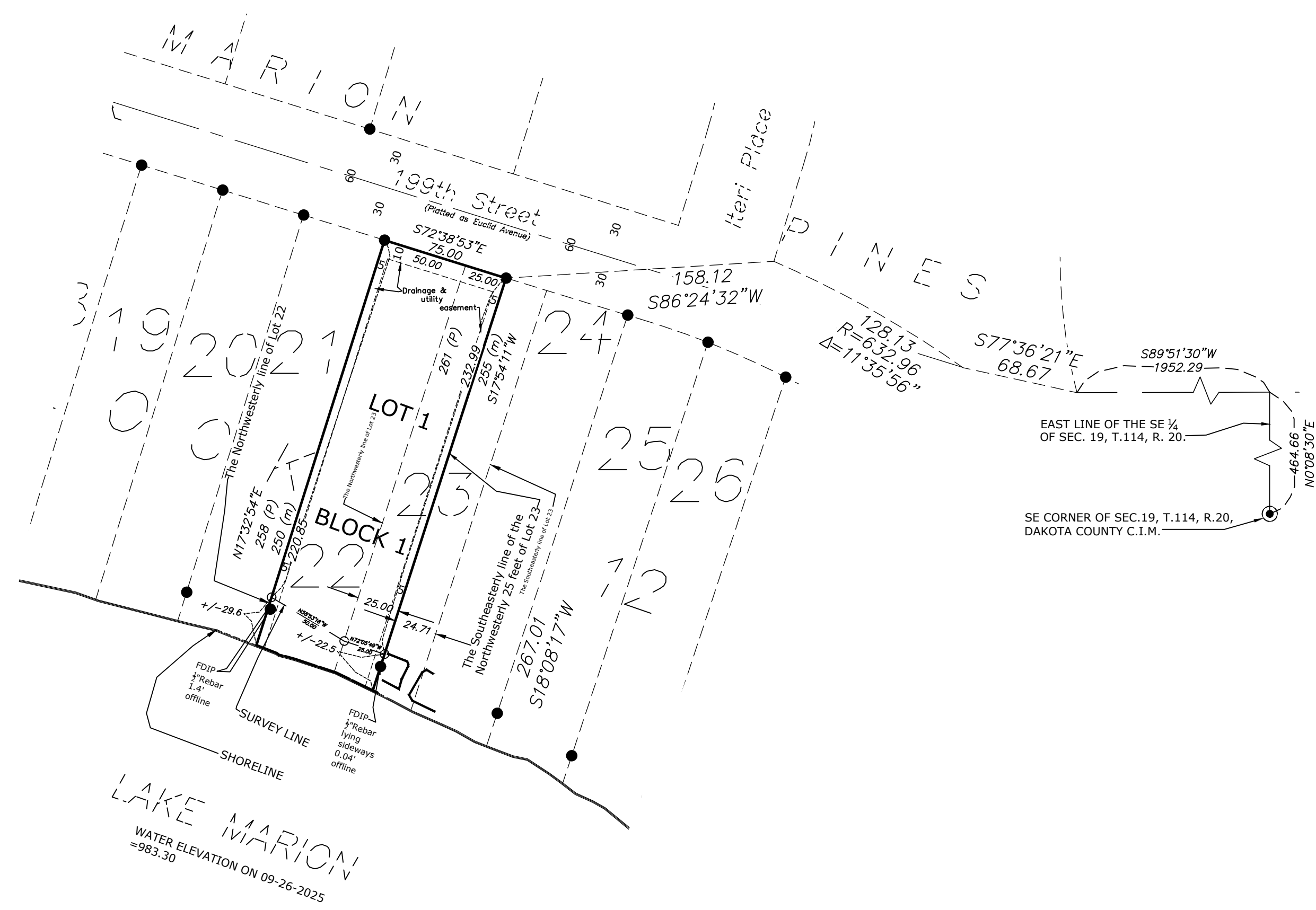
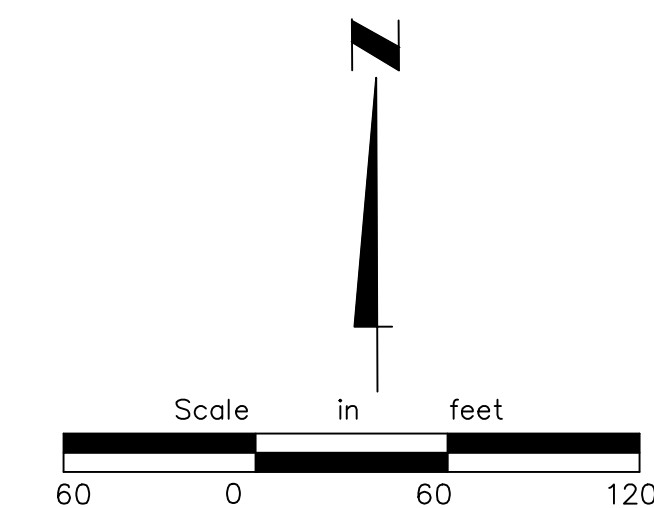
Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20__ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 20__.

_____, Director Department of Property Taxation and Records, Dakota County
Amy A. Koethe

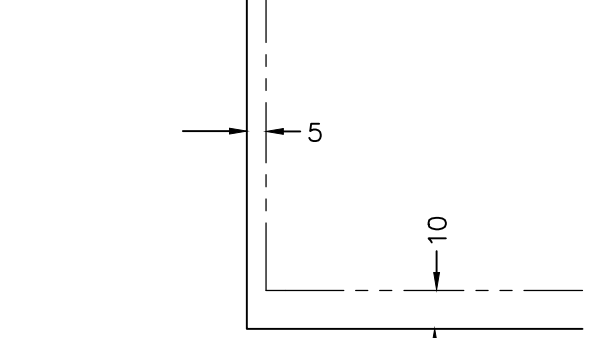
COUNTY RECORDER, COUNTY OF DAKOTA, STATE OF MINNESOTA

I hereby certify that this plat of PUTRAH SHORES was filed in the office of the County Recorder for public record on this _____ day of _____, 20__, at _____ o'clock ____ .M. and was duly filed in Book _____ of Plats, Page _____, as Document Number _____.

_____, County Recorder
Amy A. Koethe



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:
(NOT TO SCALE)



BEING 5 FEET IN WIDTH AND ADJOINING LOT LINES, UNLESS OTHERWISE INDICATED, AND 10 FEET IN WIDTH UNLESS OTHERWISE INDICATED AND ADJOINING RIGHT-OF-WAY LINES, AS SHOWN ON THE PLAT

EXHIBIT E

- THE EAST-WEST QUARTER SECTION LINE OF SECTION 35, TOWNSHIP 115, RANGE 21, DAKOTA COUNTY, MINNESOTA IS ASSUMED TO BEAR N89°51'46\"W
- DENOTES 1/2 INCH BY 14 INCH IRON MONUMENT SET AND MARKED BY R.L.S. NO. 41905
 - DENOTES IRON MONUMENT FOUND AS NOTED
 - ⊙ DENOTES DAKOTA COUNTY CAST IRON MONUMENT FOUND
- (DEED) DENOTES BEARING /DISTANCE PER DEED
(meas.) DENOTES MEASURED BEARING /DISTANCE

BRANDT SURVEYING & ASSOCIATES
1713 Southcross Drive West, Suite A
Burnsville, MN 55306
(952) 435-1966 P96-01-25



Memorandum

To: Planning Commission
From: Heather Botten
Date: December 8, 2025
Subject: Packet Material for the December 18, 2025 Planning Commission Meeting
Agenda Item: SMNPT 1 LLC - Conditional use permit to allow a commercial building less than 2,000 square feet of floor area.
Application Action Deadline: March 4, 2026 – 2nd 60 days

BACKGROUND

Representatives of SMNPT 1, LLC have submitted an application for a conditional use permit to allow a commercial building less than 2,000 square feet of floor area. The development is for property located north of 202nd Street (CSAH 50), south of Heritage Drive and east of Dodd Boulevard (CSAH 9), identified as Lot 1, Block 1 Heritage Commons 10th Addition on the preliminary plat.

Section 11-17-17 of city code states that principal buildings for commercial and industrial uses having less than 2,000 square feet of floor area may only be allowed upon approval of a conditional use permit. The conditional use permit request is to allow one building to be about 840 square feet in size for a stand-alone, double drive-through coffee shop. The site received preliminary plat approval and a conditional use permit for two convenience restaurants with a drive-through in July 2025. Final plat approval is required before construction of the buildings can take place.

The proposed development plans have been reviewed by Community Development and Engineering staff.

EXHIBITS

- A. Location Map
- B. Site Plan
- C. Grading and Drainage Plan
- D. Building Elevation Plans

STAFF ANALYSIS

Comprehensive Plan. The property is located in Planning District No. 4, Central Lakeville, and is guided for commercial uses in the 2040 Comprehensive Land Use Plan. The proposed convenience restaurant uses are consistent with the commercial designation of the Comprehensive Land Use Plan.

Zoning. The property is zoned PUD, Planned Unit Development District with an underlying C-3, General Commercial District zoning. The proposed convenience restaurant with a drive-through is consistent with the uses allowed in a commercial district.

Surrounding Land Uses, Zoning, and Comprehensive Plan Designation

Direction	Existing Use	Land Use Plan	Zoning
North	Heritage Drive and Lake Marion Collision	Commercial	C-3, General Commercial
South	202 nd Street (CSAH 50) and commercial businesses	Commercial	C-3, General Commercial
East	O'Reilly Auto	Commercial	PUD, Planned Unit Development
West	Dodd Blvd (CSAH 9) & Kwik Trip	Commercial	C-3, General Commercial

Grading, Drainage, Erosion Control, and Utilities. Grading, drainage and erosion control plans have been submitted with the Heritage Commons 10th Addition preliminary plat. Engineering and Environmental Resources have reviewed the site, grading, drainage and erosion control, and utility plans. Final civil plans have not been approved and will be reviewed at the time of final plat for the property. A copy of the engineering report dated December 8, 2025 is attached for your review. The Engineering Division recommends approval of the CUP subject to the recommendations outlined in the report.

CUP SITE PLAN REVIEW

Use. Development of a convenience food restaurant with a drive-through service window use within the Heritage Commons PUD is subject to the same requirements as those within the C-3, General Commercial District. Section 11-73-7.G of the Zoning Ordinance establishes performance standards for convenience food uses. The performance standards include limiting the hours of operation from 5:00 am to 11:00 pm unless approved by CUP. Other performance standards are reviewed below.

Setbacks. The proposed building meets or exceeds the setback requirements of the C-3 District of:

Front – 30 feet

Side – 10 feet

Rear – 10 feet

Building Height. The proposed convenience restaurant is a single-story structure 20 feet in height at the tallest point. A maximum building height of 35 feet is allowed in the C-3 District.

Parking/Drive Aisles. The setback requirements for parking are 15 feet abutting right-of-way and five feet from interior lot lines.

The proposed development includes two convenience restaurants with shared parking. The development requires a minimum of 37 parking spaces, taking into account the 10% gross floor area credit and the requirement of one parking space per 80 square feet of floor area. The maximum number of parking stalls allowed is up to 125% of the minimum parking spaces, without CUP approval. 125% of the minimum parking is 47 spaces. The site plan demonstrates 47 parking spaces, complying with code requirements.

Circulation/Loading Area. Access to the site will be from Heritage Drive. Direct driveway access to 202nd Street and/or Dodd Boulevard is not permitted. An agreement for shared access between the parcels in Heritage Commons 10th Addition and Heritage Commons 6th Addition (O'Reilly Auto) is required to be executed as part of the recording of the final plat.

Open Space. At least 25 percent of the lot shall remain as greenspace, including trees, shrubbery, plantings or fencing. The site plan identifies that 27% percent of the site is greenspace. This complies with the greenspace requirements of the Zoning Ordinance for convenience food uses.

Landscaping. The landscape plan proposes a mix of deciduous and ornamental trees and shrubs around the west and south portions of the site to minimize headlights shining on to the right-of-way from the drive throughs and foundation plantings around the buildings. The remaining areas will be seeded and in-ground irrigation is required. Development of the site shall include responsibility for boulevard maintenance along 202nd Street and Dodd Boulevard. The Developer must provide a security with the final plat to guarantee installation of the landscaping. The City Forester has reviewed and approved the preliminary landscape plan dated May 28, 2025. Landscaping on site must be installed per the approved plan. Prior to a landscape inspection, an as-built landscape plan must be submitted to the city.

Building Exterior. The exterior building materials are mainly Grade A, brick material. The materials proposed comply with Zoning Ordinance requirements. A contrasting stripe is shown on the building which is a design element seen on buildings in the Heritage Commons development.

Drive-Through Window. The double drive-through lanes exceed the minimum 180 feet of segregated vehicle stacking lane from the service windows.

Menu Boards. A sign permit must be issued prior to the installation of a menu board and the sign must comply with the requirements of Section 11-23-7.G.11.c of the Zoning Ordinance.

Signs. According to the adopted sign plan for Heritage Commons, the lot is able to have a monument sign, up to fifteen feet in height and with a sign area of up to 80 square feet, if desired. Since the property fronts more than one street, up to two wall signs are permitted per building, not to exceed 100 square feet in sign area. All signs require approval of a sign permit prior to installation.

Signs shown on the plans are illustrative only and no approvals are granted as a part of the CUP request.

Trash Enclosure. The trash and recycling enclosure will be located near the entrance of the drive through. The enclosure must comply with code requirements, including a maintenance-free gate.

Exterior Lighting. Parking lot lighting is scattered around the site and is proposed to be mounted at a height of 23 feet. No light source or combination thereof which casts light on a public street shall exceed one foot-candle meter reading as measured at the right of way or property line. All building mounted lighting must face downward onto the structure.

Mechanical Equipment. Any roof-mounted mechanical equipment must be screened if greater than three feet in height. Ground-mounted mechanical equipment must be screened with landscaping and/or fencing.

Snow Storage. Snow storage may not take place in required parking spaces.

Stormwater Maintenance Agreement. A Stormwater Maintenance Agreement will be required with the final plat for maintenance of the stormwater system on site.

RECOMMENDATION

Community Development Department staff recommends approval of the conditional use permit to allow a commercial building to be less than 2,000 square feet in size, subject to the following stipulations:

1. Implementation of the recommendations listed in the December 8, 2025 engineering report.
2. The site shall be developed according to the plans approved by the City Council.
3. Execution of a Stormwater Maintenance Agreement shall be required with the final plat between the Developer and the City of Lakeville for the maintenance of the stormwater system located on the property.

4. An agreement for shared driveway access shall be established between Lot 1, Block 1 and Outlot A, Heritage Commons 10th Addition and Lot 1, Block 1, Heritage Commons 6th Addition and Lake Marion Collision in conjunction with the recording of the final plat.
5. The hours of operation shall be limited to five o'clock (5:00) A.M. to eleven o'clock (11:00) P.M.
6. Any rooftop and/or ground-mounted mechanical equipment must be screened per Zoning Ordinance requirements.
7. The City Forester has reviewed and approved the preliminary landscape plan dated May 28, 2025. Landscaping on site must be installed per the approved plan. Prior to a landscape inspection, an as-built landscape plan must be submitted to the city.
8. The Developer must provide a security with the final plat to guarantee installation of the landscaping.
9. Exterior lighting shall be down-cast only and shall not glare onto road right-of-way.
10. Snow storage shall not occur within required parking spaces.



City of Lakeville
Location Map
SMNPT1, LLC CUP

KEYNOTES

- 1. SEE ARCHITECTURAL SITE PLANS FOR ADDITIONAL SITE PLAN NOTES.
- 2. LANDSCAPE AREA. SEE LANDSCAPE PLAN.
- 3. MATCH EXISTING CURB/SIDEWALK/PAVEMENT.
- 4. CONCRETE WALK/PATIO.
- 5. CONCRETE PAVEMENT/APRON.
- 6. INTEGRAL CONCRETE WALK/CURB.
- 7. FLUSH CURB.
- 8. PEDESTRIAN CURB RAMP.
- 9. 6" CONCRETE FILLED PIPE BOLLARD.
- 10. NOT USED.
- 11. TRASH ENCLOSURE.
- 12. 4" SOLID WHITE LINE.
- 13. SOLID WHITE PAVEMENT MARKING.
- 14. TRANSFORM PAD. FINAL LOCATION TO BE CONFIRMED BY CONTRACTOR AND ELECTRIC PROVIDER.
- 15. LIGHT POLE AND BASE.
- 16. CLEARANCE/HEIGHT RESTRICTION BAR PER TENANT.
- 17. NOT USED.
- 18. NOT USED.
- 19. NOT USED.
- 20. SOLID WHITE CROSSWALK PAVEMENT MARKINGS.
- 21. NOT USED.
- 22. MONUMENT SIGN.
- 23. DIRECTIONAL SIGN.
- 24. BITUMINOUS ROLL CURB.
- 25. POURED CONCRETE STEPS.
- 26. 3 FT. TAPER CURB.

SIGN SCHEDULE

- A. HANDICAP PARKING SIGN ON 6" BOLLARD R7-9H W107-R6 (12' X 18')
- B. NO PARKING SIGN ON 6" BOLLARD RB-3a (12' X 18')
- C. DIGITAL ORDER PICKUP SIGN PER TENANT ON 6" BOLLARD

LEGEND

EXISTING	PROPOSED	PROPERTY LINE
		EASEMENT LINE
		BITUMINOUS PAVEMENT
		CONCRETE WALK/STOOP
		CONCRETE PAVEMENT
		CURB LINE
		STORM SEWER
		SANITARY SEWER
		WATER MAIN
		UNDERGROUND ELECTRIC
		UNDERGROUND FIBER OPTIC
		OVERHEAD ELECTRIC
		STORM CATCH BASIN
		STORM MANHOLE
		HYDRANT
		GATE VALVE
		LIGHT POLE
		ELECTRIC MANHOLE
		OTHER SYMBOLS

BENCHMARK

MINNESOTA DEPARTMENT OF TRANSPORTATION
CONTROL DISC NUMBER 1014H
ELEVATION 959.11 (NAVD 88)

SITE DATA

LAND USE DESIGNATION:	COMMERCIAL
EXISTING ZONING:	PLANNED UNIT DEVELOPMENT
PROPOSED ZONING:	PLANNED UNIT DEVELOPMENT
PARCEL AREA:	60,191 SF
IMPERVIOUS AREA:	
BUILDING 1:	2,372 SF 4%
BUILDING 2:	870 SF 4%
PAVEMENTS:	43,849 SF 73%
TOTAL:	
PERVIOUS AREA:	16,342 SF 27%

PARKING SUMMARY

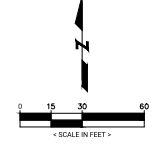
STANDARD STALLS:	44
HANDICAP STALLS:	3
TOTAL STALLS:	47

SITE PLAN NOTES

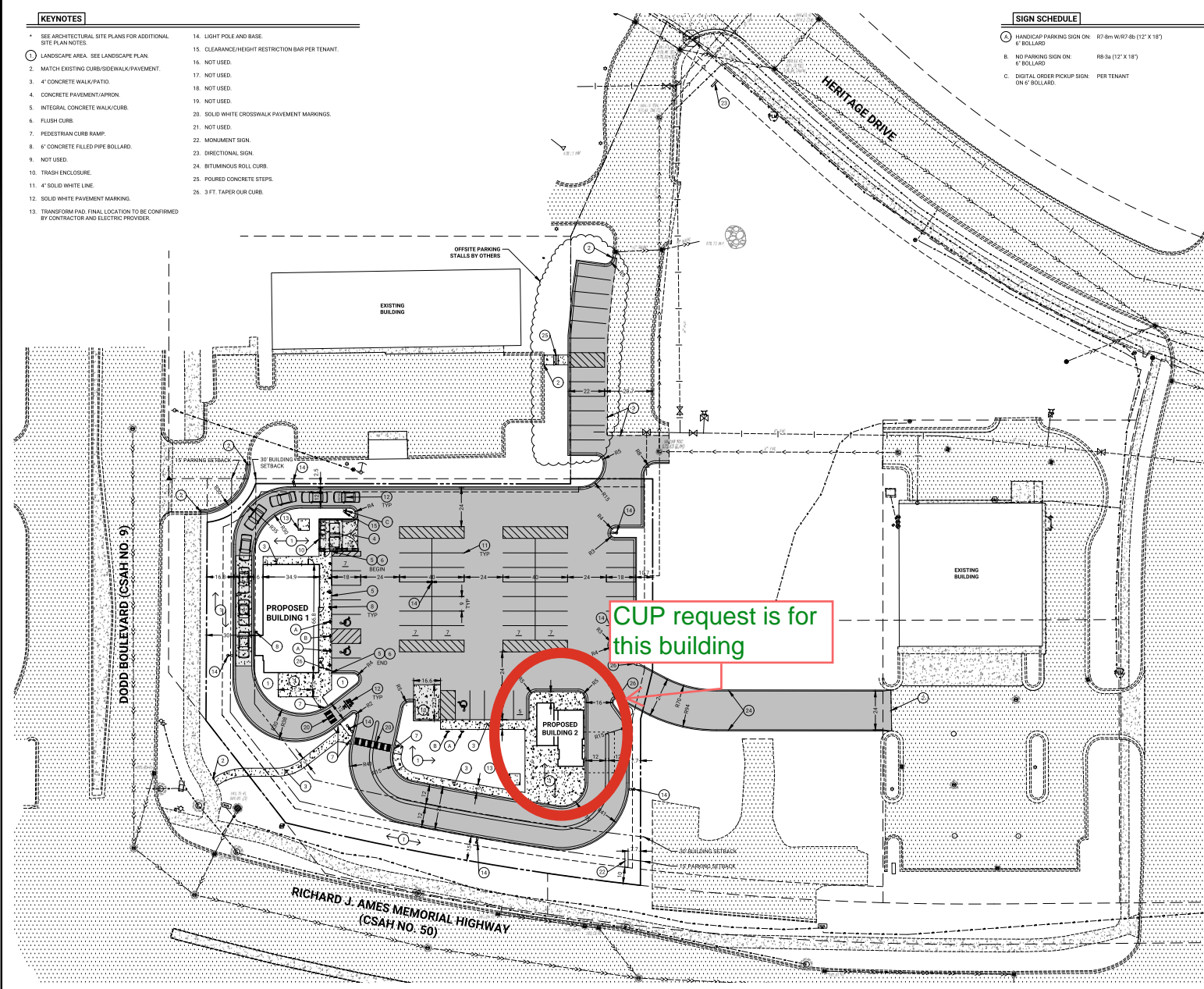
- ALL DIMENSIONS ARE TO FACE OF CURB AND OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE 6" X 12" UNLESS OTHERWISE NOTED.
- TYPICAL PARKING STALLS ARE 9' X 18' UNLESS OTHERWISE NOTED.
- ALL PEDESTRIAN RAMPS SHALL MEET CURRENT ADA STANDARDS.
- UNLESS OTHERWISE SHOWN IN THE PLANS, CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS, AND DRIVES PER THE FOLLOWING REQUIREMENTS:
CONTROL JOINTS: WALKS @ 8' SPACING
OTHERS @ 12' SPACING
SAW-CUT CONTROL JOINTS MINIMUM 1/2" CONCRETE THICKNESS
EXPANSION JOINTS: WALKS @ 24' SPACING
OTHERS @ 40' SPACING
PROVIDE EXPANSION JOINT AT ALL POINTS WHERE A CHANGE IN PAVEMENT THICKNESS OCCURS AND WHERE NEW PAVEMENT WILL MATCH EXISTING PAVEMENT.
DOWEL ALL EXPANSION JOINTS AT 24' SPACING MAX.

SIGNAGE AND PAVEMENT MARKING NOTES

- ALL SIGNS SHALL BE PLACED 18" MINIMUM BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
- SIGNS SHALL INCLUDE HARDWARE, POST, FOOTING, CASING, AND ALL APPURTENANCES REQUIRED FOR TYPICAL INSTALLATION.
- PARKING LOT STRIPING AND PAVEMENT MARKINGS SHALL BE 4" SOLID WHITE PAINT. ALL PAVEMENT LETTERING SHALL BE 12" HEIGHT.
- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE PER THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).



CALL BEFORE YOU DIG



I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

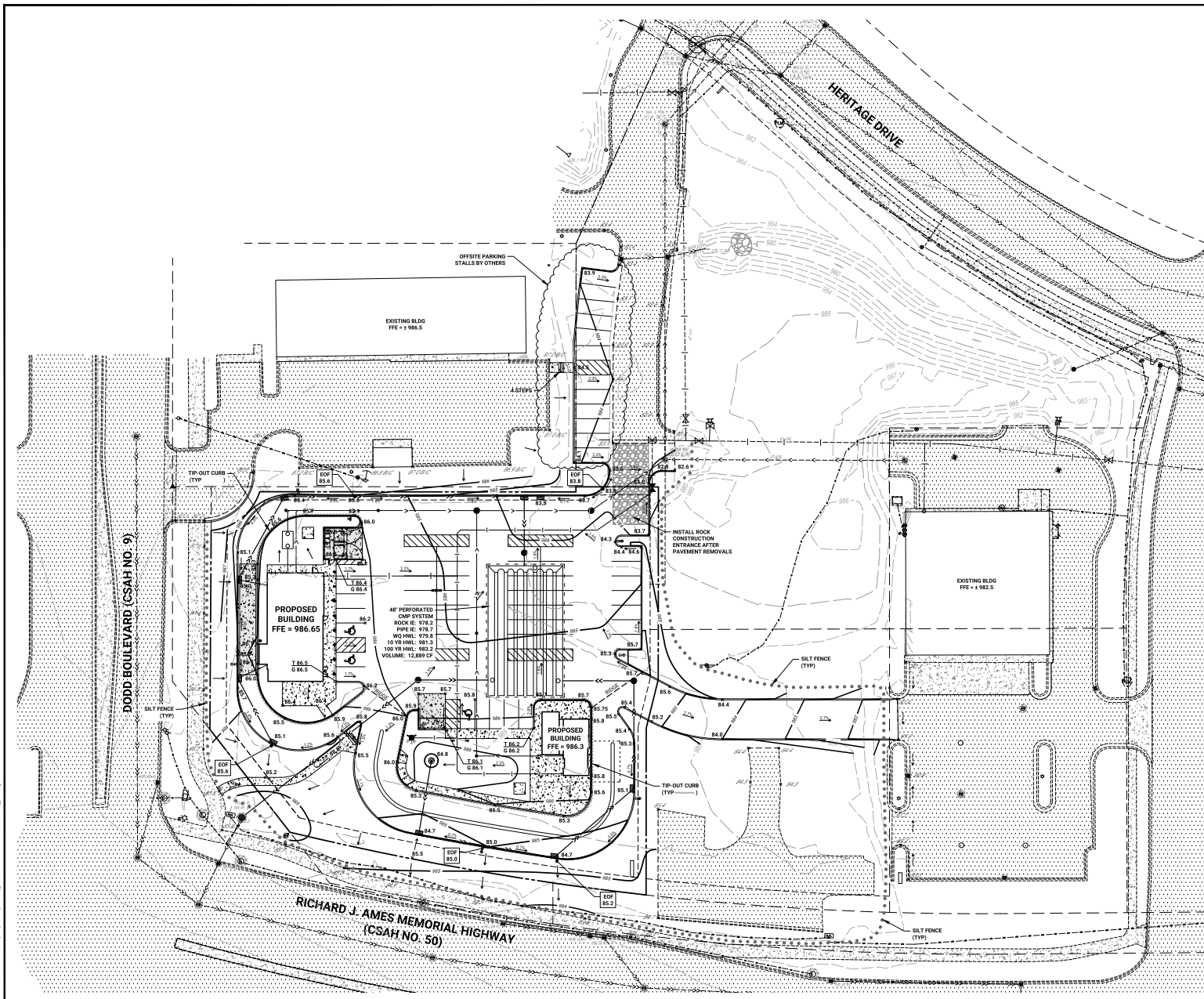
NAME: JOSEPH T. RADACH PE
SIGNATURE: [Signature]
DATE: 01/28/25 LIC # 45889

REVISIONS	DATE	BY	JTR
1.	01/28/25	01/28/25	
2.	01/28/25	01/28/25	
3.	01/28/25	01/28/25	
4.			
5.			
6.			
7.			

2C DEVELOPMENT, LLC
11985 Technology Drive, Suite 110
Eden Prairie, MN 55344

SITE PLAN
HERITAGE COMMONS RESTAURANTS
Lakerville, Minnesota

SHEET NUMBER
C2.1

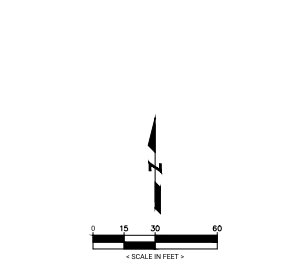


LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE
	EASEMENT LINE
	BITUMINOUS PAVEMENT
	CONCRETE WALK/STOOP
	CONCRETE PAVEMENT
	CURB LINE
	STORM SEWER
	SANITARY SEWER
	WATER MAIN
	UNDERGROUND ELECTRIC
	UNDERGROUND GAS
	UNDERGROUND TELEPHONE
	UNDERGROUND FIBER OPTIC
	OVERHEAD ELECTRIC
	STORM CATCH BASIN
	STORM MANHOLE
	HYDRANT
	GATE VALVE
	LIGHT POLE
	ELECTRIC MANHOLE
	OTHER SYMBOLS
	S CONTOUR
	1 CONTOUR
	SPOT ELEVATION
	CURB ELEVATIONS
	ASE TO GUTTER LINE
	SILT FENCE
	ROCK ENTRANCE

BENCHMARK
 MINNESOTA DEPARTMENT OF TRANSPORTATION
 CONTROL DISC NUMBER 1914H
 ELEVATION: 955.11 (NAVD 88)

- GOVERNING SPECIFICATIONS**
- THE LATEST EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY OF LAKEVILLE SPECIFICATIONS.
 - THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - THE LATEST EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) CITY MANUAL SPECIFICATIONS.

- GRADING NOTES**
- VEHICLE TRACKING REDUCTION DEVICE, SILT FENCE, AND EXISTING CATCH BASIN/STREET PROTECTION SHALL BE INSTALLED PRIOR TO GRADING CONSTRUCTION AND SHALL BE MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED.
 - CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO THE START OF GRADING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF DISCREPANCIES OR VARIATIONS FROM THE PLAN.
 - CONTRACTOR SHALL STOP, STOCKPILE AND RESPIRATOR SUFFICIENT TOPSOIL TO PROVIDE A MINIMUM OF 6" OF TOPSOIL OVER ALL DISTURBED AREAS THAT WILL BE RESEED, RESEED OR LANDSCAPED.
 - ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 14 CALENDAR DAYS AFTER LAND-DISTURBING WORK HAS TEMPORARILY OR PERMANENTLY CEASED.
 - ALL SLOPES STEEPER THAN 3:1 SHALL HAVE MNDOT CAT 1 EROSION CONTROL BLANKET AND SEED, OR APPROVED EQUAL.
 - STOCKPILES SHALL BE STABILIZED WITHIN 14 DAYS OF ROUGH GRADING OR INACTIVITY.
 - ALL WORK WITHIN THE ADJACENT STREET RIGHTS-OF-WAY MUST BE COORDINATED WITH AND APPROVED BY THE CITY PUBLIC WORKS DEPARTMENT.



CALL BEFORE YOU DIG

811
 Know what's below.
 Call before you dig.

P.O. BOX 99, BUCKFORD, MINNESOTA 55304
 TEL: (763) 255-2626 F: (763) 255-2624

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NAME: JOSEPH T. RADACH PE
 SIGNATURE:

DATE: 01/28/25 LIC #: 45889

REVISIONS	DATE	BY
1. RESOLVE CITY COMMENTS	01/28/25	JTR
2. RESOLVE OWNER COMMENTS		
3. 11/06/25 NOTE FOR OFFSITE PARKING STALLS BY OTHERS		
4.		
5.		
6.		
7.		

OWNER: **2C DEVELOPMENT, LLC**
 11985 Technology Drive, Suite 110
 Eden Prairie, MN 55344

GRADING AND DRAINAGE PLAN
HERITAGE COMMONS RESTAURANTS
 Lakeville, Minnesota

SHEET NUMBER
C4.1







1 EXTERIOR ELEVATION - FRONT
3/8" = 1'-0"



2 EXTERIOR ELEVATION - BACK
3/8" = 1'-0"

EXTERIOR FINISH LEGEND

-  METRO BRICK
THIN BRICK - FAST SHIP
BLEND 2
-  METRO BRICK
THIN BRICK - WIRE CUT
COMMONS
-  PAC-CLAD
STANDING SEAM PANEL
PACIFIC BLUE
-  BRAKE METAL
COLOR TO MATCH
STOREFRONT FRAMES
-  BRAKE METAL
PACIFIC BLUE
-  BRAKE METAL
ONYX
-  DOORS
HONORABLE BLUE
SW6811
-  BRAKE METAL
PAC-CLAD
SANDSTONE

SIGNAGE:

SIGNAGE SHOWN IS FOR REPRESENTATION AND COORDINATION ONLY.
REFER TO PERMITTED SIGN PACKAGE FOR PRECISE LOCATION AND
SIGNAGE QUANTITY

INTERIM REVIEW ONLY

These documents are incomplete, and are released for interim review only and are not intended for regulatory approval, bidding, permit, or construction purposes.

ARCHITECT OF RECORD:

NAME: ADAM KREHER
LICENSE NO. 7077

PROJECT NUMBER: 25354 78LM1

REVISION:

7 BREW COFFEE
LAKEVILLE, MN
HERITAGE COMMONS RESTURANTS
LAKEVILLE, MINNESOTA

A2.1

EXTERIOR ELEVATIONS

DATE: NOT FOR CONSTRUCTION



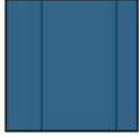







1 EXTERIOR ELEVATION - LEFT SIDE
3/8" = 1'-0"



2 EXTERIOR ELEVATION - RIGHT SIDE
3/8" = 1'-0"

EXTERIOR FINISH LEGEND

-  METRO BRICK THIN BRICK - FAST SHIP BLEND 2
-  METRO BRICK THIN BRICK - WIRE CUT COMMONS
-  PAC-CLAD STANDING SEAM PANEL PACIFIC BLUE
-  BRAKE METAL COLOR TO MATCH STOREFRONT FRAMES
-  BRAKE METAL PACIFIC BLUE
-  BRAKE METAL ONYX
-  DOORS HONORABLE BLUE SW6811
-  BRAKE METAL PAC-CLAD SANDSTONE

SIGNAGE:

SIGNAGE SHOWN IS FOR REPRESENTATION AND COORDINATION ONLY. REFER TO PERMITTED SIGN PACKAGE FOR PRECISE LOCATION AND SIGNAGE QUANTITY.

INTERIM REVIEW ONLY

These documents are incomplete, and are released for interim review only and are not intended for regulatory approval, bidding, permit, or construction purposes.

ARCHITECT OF RECORD:
NAME: ADAM KREHER
LICENSE NO. 7077

PROJECT NUMBER: 25354 78LM1
REVISION:

7 BREW COFFEE
LAKEVILLE, MN
HERITAGE COMMONS RESTAURANTS
LAKEVILLE, MINNESOTA

A2.2
EXTERIOR ELEVATIONS

DATE: NOT FOR CONSTRUCTION



Memorandum

To: Heather Botten, Senior Planner
From: Alanna Sobottka, Civil Engineer
McKenzie L. Cafferty, Environmental Resources Manager
Copy: Tina Goodroad, Community Development Director
Julie Stahl, Finance Director
Zach Johnson, City Engineer
David Mathews, Building Official
Date: December 8, 2025
Subject: CUP for a commercial building less than 2,000 square feet in size

BACKGROUND

HVP V Epic Heritage, LLC has submitted a conditional use permit for a building on plans named Heritage Commons Restaurants. The parent parcels consist of Outlots A and C, Heritage Commons 10th Addition. It is zoned PUD, Planned Unit Development. The proposed development is located east of and adjacent to Dodd Boulevard, north of and adjacent to 202nd Street (CSAH 50), and south of and adjacent to Heritage Drive.

The proposed development will be completed by:

Developer: 2C Development, LLC
Engineer: Contour Civil Design

SITE CONDITIONS

The site was previously utilized as a gas station that has since been demolished. Two existing shared access driveways are located on the west and northeast sides of the parcel. There are no existing wetlands or trees located in or near the parcel. The site is located within the South Creek Stormwater District with the site generally draining southwest to northeast.

EASEMENTS

Prior to issuance of the conditional use permit:

- A shared access easement shall be placed over the private parking lot.

STREET AND SUBDIVISION LAYOUT

Dodd Boulevard (CSAH 9)

Heritage Commons 11th is located east of and adjacent to Dodd Boulevard (CSAH 9), a Dakota County highway classified as a minor arterial. The 2022 Dakota County Plat Needs Map (rev. 10-27-22) identifies a half right-of-way need of 75 feet. The Developer dedicated the necessary right-of-way with the preliminary plat. The preliminary plat was reviewed and recommended for approval by the Dakota County Plat Commission on April 23, 2025. The Developer is responsible for any requirements stipulated by Dakota County.

202nd Street (CSAH 50)

Heritage Commons 11th Addition is located north of and adjacent to 202nd Street (CSAH 50), a minor arterial County roadway as identified in the City's Transportation Plan. The preliminary plat was reviewed and recommended for approval by the Dakota County Plat Commission at its April 23, 2025 meeting. The developer dedicated the necessary right-of-way with the preliminary plat. The Developer is responsible for any requirements stipulated by Dakota County.

Heritage Drive

Heritage Commons 11th Addition is located south of Heritage Drive, a minor collector roadway as identified in the City's Transportation Plan. The right-of-way for Heritage Drive was dedicated with the Heritage Commons final plat; no additional right-of-way is required with the final plat. No construction improvements are proposed with the development of Heritage Commons 11th Addition.

CONSTRUCTION ACCESS

Construction traffic access and egress for grading, utility and street construction shall be determined with the final construction plans approved with the final plat.

PARKS, TRAILS AND SIDEWALKS

The Park Dedication requirement has not been satisfied on the parent parcels and will be required with the final plat for Heritage Commons 11th.

Development of Heritage Commons 11th Addition does not include the construction of public trails or sidewalks. Existing sidewalks are located along Dodd Boulevard and 202nd Street adjacent to the plat.

UTILITIES

SANITARY SEWER

Heritage Commons 11th Addition is located within subdistrict ML-70050 of the Lake Marion sanitary sewer district as identified in the City's Comprehensive Sanitary Sewer Plan. Wastewater will be conveyed to the MCES Farmington Interceptor monitored by meter M649 and continue to the Empire Wastewater Treatment Facility.

An existing sanitary sewer manhole extends to the northeast portion of the parcel. Development of Heritage Commons 11th Addition includes the extension of 6-inch privately owned and maintained sanitary sewer service to provide service to Lot 1, Block 1. The construction of utility service shall not be permitted prior to recording of the final plat and approval of construction plans by City Engineering.

The Sanitary Sewer Availability Charge will be required to be paid with the building permit application.

Final sewer service connection locations and sizes will be reviewed by City staff with the final construction plans approved with the final plat.

WATERMAIN

An existing 8-inch watermain stub extends into the parcel from Heritage Drive on the northeast portion of the parcel. Development of Heritage Commons 11th Addition includes the extension of privately owned and maintained 6-inch watermain to provide service to the development. The construction of utility services shall not be permitted prior to recording of the final plat and approval of construction plans by City Engineering.

Final water service connection locations and sizes will be reviewed by City staff with the final construction plans approved with the final plat.

DRAINAGE AND GRADING

Heritage Commons 11th Addition is located within subdistricts SC-094 and SC-169 of the South Creek Drainage District, as identified in the City's Water Resources Management Plan.

Development of Heritage Commons 11th Addition will include the construction of one privately owned and maintained underground stormwater infiltration system located within Lot 1, Block 1, Heritage Commons 11th Addition. The construction shall not be permitted prior to recording of the final plat and approval of construction plans by City Engineering.

The Developer shall sign a stormwater maintenance agreement for the underground stormwater system and dedicate a drainage and utility easement over the stormwater management area prior to the recording of the final plat. The underground stormwater

system will provide water quality treatment, volume reduction, and rate control of the stormwater runoff generated from the proposed site improvements.

The final grading plan approved with the final plat must indicate any proposed borrow areas in which the building footings will be placed on fill material. The grading specifications must indicate that all embankments meet FHA/HUD 79G specifications. A final certificate of occupancy shall not be issued until an as-built certified grading plan has been submitted and approved by the City Engineer.

Heritage Commons 11th Addition contains more than one acre of site disturbance. A National Pollution Discharge Elimination System General Stormwater Permit for construction activity is required from the Minnesota Pollution Control Agency for areas exceeding one acre being disturbed by grading. A copy of the Notice of Stormwater Permit Coverage must be submitted to the City upon receipt from the MPCA.

A grading permit for Heritage Commons 11th Addition will not be approved until a suitable soil report for the site outlining any potential contamination is submitted to the City for review.

STORM SEWER

Privately owned and maintained storm sewer will be constructed with the development of Heritage Commons 11th Addition. Private storm sewer constructed within Lot 1, Block 1, Heritage Commons 11th Addition will convey runoff to the privately owned and maintained underground stormwater system. The construction shall not be permitted prior to recording of the final plat and approval of construction plans by City Engineering.

The Trunk Storm Sewer Area Charge has not been collected on the parent parcel and must be paid with the final plat.

Final locations and sizes of all storm sewer facilities will be reviewed by City staff with the final construction plans approved with the final plat.

FEMA FLOODPLAIN ANALYSIS

Heritage Commons 11th Addition is shown on the Flood Insurance Rate Map (Map Nos. 27037C0192E; Eff. Date 12/2/2011) as Zone X by the Federal Emergency Management Agency (FEMA). Based on this designation, there are no areas in the plat located within a Special Flood Hazard Area (SFHA), as determined by FEMA.

WETLANDS

There are no wetlands on the site.

TREE PRESERVATION

There are no trees within the parent parcel.

EROSION CONTROL

The plans include a detailed erosion and sediment control plan. The Developer is responsible for meeting all the requirements of the MPCA Construction Permit. The permit requires that all erosion and sediment best management practices (BMPs) be clearly outlined in a site's SWPPP. Additional erosion control measures may be required during construction as deemed necessary by City staff. Any additional measures required shall be installed and maintained by the Developer. Changes made throughout construction must be documented in the SWPPP. An on-site preconstruction meeting shall be held with the City prior to work commencing on the site. No grading can take place until the City has reviewed and approved the SWPPP for the site.

The MS4 Administration Fee has not been collected on the parent parcel and must be paid with the final plat.

RECOMMENDATION

Engineering recommends approval of the CUP subject to the requirements and stipulations within this report. Applicable securities and cash requirements will be due with the final plat application.

CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA

CONDITIONAL USE PERMIT
FINDINGS OF FACT AND RECOMMENDATION

On December 18, 2025, the Lakeville Planning Commission met at its regularly scheduled meeting to consider the application of SMNPT 1, LLC for a conditional use permit to allow the construction of a commercial building less than 2,000 square feet of floor area. The Planning Commission conducted a public hearing on the conditional use permit application preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The subject property is located in Comprehensive Planning District 4, which guides the property for Commercial.
2. The subject site is zoned PUD, Planned Unit Development.
3. Legal description of the property is:

Outlot C, Heritage Commons 10th Addition, Dakota County, Minnesota

4. Chapter 4 of the City of Lakeville Zoning Ordinance provides that a conditional use permit may not be issued unless certain criteria are satisfied. The criteria and our findings regarding them are:
 - a. **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.**

Finding: The proposed convenience restaurant with a drive-through use is consistent with the guided commercial use of the property.

- b. **The proposed use is or will be compatible with present and future land uses of the area.**

Finding: The proposed convenience restaurant will be compatible with the existing and future land uses in the area.

- c. **The proposed use conforms to all performance standards contained in the Zoning Ordinance and the City Code.**

Finding: Provided compliance with the stipulations of the conditional use permit and PUD agreement, the proposed use will conform to all other performance standards contained in the Zoning Ordinance and the City Code.

- d. **The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.**

Finding: The proposed uses can be accommodated with existing public services and will not overburden the City's service capacity.

- e. **Traffic generated by the proposed use is within capabilities of streets serving the property.**

Finding: The streets serving this site are adequate to accommodate traffic from the proposed use.

- 5. The report dated December 8, 2025, prepared by Heather Botten, Senior Planner is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the conditional use permit conditioned upon compliance with the planning report prepared by Senior Planner, Heather Botten dated December 8, 2025.

DATED: December 18, 2025

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair



Memorandum

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: December 10, 2025
Subject: Packet Material for the December 18, 2025 Planning Commission Meeting
Agenda Item: Zoning Ordinance Text Amendment; I-1 District

INTRODUCTION

The City has initiated an amendment to the Zoning Ordinance provisions for outdoor storage related to major automobile repair uses in the I-1, Light Industrial District. In January of this year, the City Council approved an ordinance amendment to allow outdoor storage as part of a major automotive repair use. The proposed amendment is intended to clarify the setback and landscape requirements for the outdoor storage area.

EXHIBIT

A. Draft ordinance

ANALYSIS

The ordinance amendment approved in January included performance standards for outdoor storage areas specifically for major automotive repair uses. The standards are as follows:

- a. The outdoor storage area shall not be located on the side of a site facing a Principal Arterial roadway, as classified in the Lakeville Transportation Plan.
- b. The storage area shall be enclosed by a solid privacy fence between 6 feet and 8 feet in height, meeting the requirements for fence materials and construction in Section 11-21-5.
- c. The fenced storage area shall be landscaped with a greenbelt as described in Section 11-21-9: Required Screening and Landscaping.
- d. The fenced storage area shall meet or exceed the required setbacks for structures.

- e. The fenced storage area shall not occupy more than 20% of the lot area or 10,000 square feet, whichever is less.
- f. Individual vehicles shall not be stored on site longer than 30 days.

For reference, the I-1 District has the following principal structure setback requirements:

Front yards	40 feet
Rear yards	30 feet or 50 feet on the yard abutting residential zoned property
Side yards	10 feet on any 1 side, or 30 feet on the side yard abutting a street. Side yards abutting residential zoned property, not less than 50 feet on the side yard abutting the residential zoned property.

An application has been received from Caliber Collision for a conditional use permit for a major automotive repair use with outdoor storage in the I-1 District. Upon review of their proposed plans, two issues were raised in relation to the new ordinance language.

The primary issue is the requirement that the outdoor storage area ,must meet the structure setbacks for the district, which could have an impact for businesses that want to locate the storage area behind the building, but don't have room to do so because the building is at or close to the 30 foot rear setback line. Staff believes that the rear yard setback for the storage areas should be reduced to be 10 feet, which is consistent with the side yard setback. Reducing this setback requirement encourages the storage areas to be placed behind the building. The setback requirement would not be allowed to be reduced should the storage area be located in a yard that is adjacent to a residential zoned property; in that case the building setbacks will still apply. The proposed change to the text is as follows:

d. The fenced storage area shall meet or exceed the required setbacks for structures when abutting public right-of-way or residential zoned property. Otherwise the fenced storage area shall have a minimum rear yard setback of 10 feet.

The other item is the requirement that the fenced storage area be landscaped with a greenbelt per Section 11-21-9 Required Screening and Landscaping. This section requires the greenbelt when commercial or industrial uses are adjacent to residential zoned property. Staff is not proposing to change that requirement, only to clarify within the I-1 language that the landscaping is required when adjacent to residential zoned property. The proposed change to the text is as follows:

c. When adjacent to residential zoned property, the ~~The~~ fenced storage area shall be landscaped with a greenbelt as described in Section 11-21-9: Required Screening and Landscaping.

RECOMMENDATION

Community Development staff recommend approval of the ordinance amendment to Section 11-86-7 in the form presented.

ORDINANCE NO. _____

CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE
LAKEVILLE CITY CODE

THE CITY COUNCIL OF THE CITY OF LAKEVILLE ORDAINS:

Section 1. Section 11-86-7.B of the Zoning Ordinance (Conditional Uses) is hereby amended to read as follows:

B. Automobile repair, major provided that:

1. All building materials and construction including those of accessory structures must be in conformance with section 11-17-9 of this title.

2. Not less than twenty five percent (25%) of the lot, parcel or tract of land shall remain as landscaped green area according to the approved landscape plan.

3. The entire area other than occupied by buildings or structures or planting shall be surfaced with bituminous material or concrete which will control dust and drainage. The entire area shall have a perimeter curb barrier, a stormwater drainage system and is subject to the approval of the City Engineer.

4. The hours of operation shall be between seven o'clock (7:00) A.M. and eight o'clock (8:00) P.M. Evening hours of operation shall be subject to the approval of the City Council.

5. All painting must be conducted in an approved paint booth. All paint booths and all other activities of the operation shall thoroughly control the emission of fumes, dust or other particulate matter so that the use shall be in compliance with the State of Minnesota Pollution Control Standards, Minnesota Regulation APC 1-15, as amended.

6. The emission of odor by a use shall be in compliance with and regulated by the State of Minnesota Pollution Control Standards, Minnesota Regulation APC 7011, as amended.

7. All flammable materials, including liquids and rags, shall conform with the applicable provisions of the Minnesota Uniform Fire Code.

8. Outside storage is prohibited, except as provided for below. The storage of damaged vehicles, vehicles being repaired and vehicle parts and accessory equipment must be completely inside a principal or accessory building, or enclosed and screened as follows:

a. The outdoor storage area shall not be located on the side of a site facing a Principal Arterial roadway, as classified in the Lakeville Transportation Plan.

b. The storage area shall be enclosed by a solid privacy fence between six (6) feet and eight (8) feet in height, meeting the requirements for fence materials and construction in Section 11-21-5.

c. When adjacent to residential zoned property, the The fenced storage area shall be landscaped with a greenbelt as described in Section 11-21-9: Required Screening and Landscaping.

d. The fenced storage area shall meet or exceed the required setbacks for structures when abutting public right-of-way or residential zoned property. Otherwise, the fenced storage area shall have a minimum rear yard setback of 10 feet.

e. The fenced storage area shall not occupy more than twenty percent (20%) of the lot area or ten thousand (10,000) square feet, whichever is less.

f. Individual vehicles shall not be stored on site longer than 30 days.

Section 2. This ordinance shall be effective immediately upon its passage and publication according to law.

ADOPTED by the Lakeville City Council this _____ day of _____, 2025.

CITY OF LAKEVILLE

BY: _____

Luke M. Hellier, Mayor

ATTEST

BY: _____

Ann Orlofsky, City Clerk



Memorandum

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: December 11, 2025
Subject: Packet Material for the December 18, 2025 Planning Commission Meeting
Agenda Item: Caliber Collision Conditional Use Permit
Application Action Deadline: January 17, 2026

INTRODUCTION

Joan Firnhaber of Cushman & Wakefield, on behalf of Caliber Collision, has submitted an application for a conditional use permit to allow major automobile repair in the I-1, Light Industrial District. The use is proposed to be located in the existing The Outdoor Greatroom Company building at 9583 217th Street, which is at the southwest corner of 215th Street (CSAH 70) and Dodd Boulevard (CSAH 9).

EXHIBITS

- A. Location Map
- B. Zoning Map
- C. Cover Sheet
- D. Floor Plan
- E. Site Plan

PLANNING ANALYSIS

Existing Conditions: The site is developed with a 157,000+ square foot building that is currently occupied by The Outdoor Greatroom Company and Dalsin Industries. There is vacant tenant space at the west end of the building, where Caliber Collision is proposing to locate.

Surrounding Land Uses and Zoning

North – 215th Street (CSAH 70), self storage buildings and undeveloped land (I-1)

East – Dodd Boulevard (CSAH 9), FedEx (I-1)

South – Schneiderman’s distribution center (I-1)

West – Undeveloped land (I-1)

Setbacks. Setback requirements in the I-1 District for principal structures are noted below:

Yard	Setback
Front	40 feet
Side	10 feet, 30 feet abutting ROW
Rear	30 feet

The existing building meets the I-1 District setback requirements.

Outdoor Storage. The outdoor storage area is proposed to be located in a paved trailer parking area at the rear of the site. The fenced area is 9,975 square feet and will be surrounded by a six-foot-tall privacy fence. The area will be accessed on the north side, facing the building, with a manual sliding gate made of the same material as the fence. The enclosure will have 18 tandem spaces for a total of 36 parking spaces. The area will be used to secure vehicles that are awaiting repair or in process of repair as well as vehicle parts as needed. No other outdoor storage is permitted for the use.

Ordinance Amendment. The additional requirements for outdoor storage as part of a major automobile repair use are proposed to be amended. The public hearing on these amendments will occur at the same Planning Commission meeting as this application. The language below includes the proposed additional language, indicated by a double underline.

CONDITIONAL USE PERMIT

Section 11-86-7 of the Zoning Ordinance allows major automobile repair in the I-1, Light Industrial District, subject to meeting the following seven criteria:

1. All building materials and construction including those of accessory structures must be in conformance with section 11-17-9 of this title.

The existing building conforms to Section 11-17-9 for exterior materials.

2. Not less than twenty five percent (25%) of the lot, parcel or tract of land shall remain as landscaped green area according to the approved landscape plan.

Staff has confirmed that the existing site has at least 25% of the site in green space.

3. The entire area other than occupied by buildings or structures or planting shall be surfaced with bituminous material or concrete which will control dust and drainage. The entire area

shall have a perimeter curb barrier, a stormwater drainage system and is subject to the approval of the City Engineer.

All areas not covered by building or green space are surfaced with bituminous or concrete.

4. The hours of operation shall be between seven o'clock (7:00) A.M. and eight o'clock (8:00) P.M. Evening hours of operation shall be subject to the approval of the City Council.

The proposed hours of operation shall be between seven o'clock (7:00) A.M. and eight o'clock (8:00) P.M

5. All painting must be conducted in an approved paint booth. All paint booths and all other activities of the operation shall thoroughly control the emission of fumes, dust or other particulate matter so that the use shall be in compliance with the State of Minnesota Pollution Control Standards, Minnesota Regulation APC 1-15, as amended.

The paint booth proposed within the building is subject to compliance with the State of Minnesota Pollution Control Standards, Minnesota Regulation APC 1-15, as amended.

6. The emission of odor by a use shall be in compliance with and regulated by the State of Minnesota Pollution Control Standards, Minnesota Regulation APC 7011, as amended.

Detailed mechanical drawings and certifications must be submitted to the Building Inspections Department and Fire Marshall and approved prior to the issuance of a building permit for the space.

7. All flammable materials, including liquids and rags, shall conform with the applicable provisions of the Minnesota Uniform Fire Code.

This performance standard will be included as stipulation of the conditional use permit. There is driveway access around all three sides of the tenant space, which provides access for delivery and emergency vehicles. The Building Official confirmed that the building has a sprinkler system, and any additional fire suppression systems that are required will be reviewed in conjunction with the building permit.

8. Outside storage is prohibited, except as provided for below. The storage of damaged vehicles, vehicles being repaired and vehicle parts and accessory equipment must be completely inside a principal or accessory building, or enclosed and screened as follows:

- a. The outdoor storage area shall not be located on the side of a site facing a Principal Arterial roadway, as classified in the Lakeville Transportation Plan.

The outdoor storage area is proposed to be located on the south side of the building and will not be located on the sides of the site facing a Principal Arterial roadway.

- b. The storage area shall be enclosed by a solid privacy fence between six (6) feet and eight (8) feet in height, meeting the requirements for fence materials and construction in Section 11-21-5.

Exhibit C provides information about the proposed fence, which is a six (6) foot tall privacy fence that meets the ordinance requirements of Section 11-21-5.

- c. When adjacent to residential zoned property, the fenced storage area shall be landscaped with a greenbelt as described in Section 11-21-9: Required Screening and Landscaping.

Not applicable

- d. The fenced storage area shall meet or exceed the required setbacks for structures when abutting public right-of-way or residential zoned property. Otherwise, the fenced storage area shall have a minimum rear yard setback of 10 feet.

The site plan indicates that the proposed outdoor storage area will be setback from the south property line 10 feet.

- e. The fenced storage area shall not occupy more than twenty percent (20%) of the lot area or ten thousand (10,000) square feet, whichever is less.

The fenced storage area is proposed to be 9,975 square feet, just under the 10,000 square foot maximum allowed for this site.

- f. Individual vehicles shall not be stored on site longer than 30 days.

This will be a stipulation of the conditional use permit.

GENERAL PERFORMANCE STANDARDS

In addition to the criteria for major automobile repair listed above, Section 11-4-7 lists the following performance standards for conditional use permits:

- A. The use and the site in question shall be served by a street of sufficient capacity to accommodate the type and volume of traffic which would be generated and adequate right of way shall be provided.

The site has access from 217th Street, which intersects with Dodd Boulevard, a principal arterial roadway in the City's Transportation Plan, as well as has access to 215th Street (principal arterial) via Jacquard Avenue (major collector). These streets are of sufficient capacity to serve the site.

- B. The site design for access and parking shall minimize internal as well as external traffic conflicts and shall be in compliance with chapter 19 of the Zoning Ordinance.

The existing driveway access is located at the southwest corner of the site and there is full access for vehicles around the entire building.

- C. If applicable, a pedestrian circulation system shall be clearly defined and appropriate provisions made to protect such areas from encroachment by parked or moving vehicles.

Not applicable

D. Adequate off street parking and off street loading shall be provided in compliance with chapters 19 and 20 of the Zoning Ordinance.

Section 11-19-13 of the Zoning Ordinance requires 93 spaces for this use, based on the size of the lease space minus 10%. At the time of building construction, it was determined that 200 parking spaces were required, based on a mix of office and warehouse uses. There are currently 165 spaces at the front of the building; the remaining 35 spaces were deferred and would be added to the rear of the building, per the site plan approved at the time of construction, as needed. The parking on site is more than sufficient for major automobile repair use and the two existing tenants. Loading spaces are provided at the rear of the building for each tenant.

E. Loading areas and drive-up facilities shall be positioned so as to minimize internal site access problems and maneuvering conflicts, to avoid visual or noise impacts on any "adjacent" residential use or district, and provided in compliance with chapter 20 of this title.

Not applicable

F. Whenever a nonresidential use "is adjacent to" a residential use or district, a buffer area with screening and landscaping shall be provided in compliance with chapter 21 of this title.

Not applicable

G. General site screening and landscaping shall be provided in compliance with chapter 21 of this title.

Not applicable

H. All exterior lighting shall be so directed so as not to cast glare toward or onto the public right of way or neighboring residential uses or districts, and shall be in compliance with section 11-16-17 of the Zoning Ordinance.

Not applicable

I. Potential exterior noise generated by the use shall be identified and mitigation measures as may be necessary shall be imposed to ensure compliance with section 11-16-25 of the Zoning Ordinance.

All work to be performed will be done indoors, so exterior noise is not anticipated to be an issue, but the use will comply with Section 11-16-25 of the Zoning Ordinance, which states that any noise emanating from a use must be in compliance with MPCA requirements.

J. The site drainage system shall be subject to the review and approval of the city engineer.

Not applicable

K. The architectural appearance and functional design of the building and site shall not be so dissimilar to the existing or potential buildings and area so as to cause a blighting influence. All

sides of the principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment.

Not applicable

L. Provisions shall be made for daily litter control, an interior location for recycling, and trash handling and storage or an outdoor, enclosed receptacle area shall be provided in compliance with section 11-18-11 of the Zoning Ordinance.

An exterior trash enclosure is not indicated on the plans. If located outside of the principal structure, the enclosure must comply with Section 11-18-11 of the Zoning Ordinance.

M. All signs and informational or visual communication devices shall be in compliance with chapter 23 of the Zoning Ordinance.

All signs must meet Zoning Ordinance requirements and sign permits must be issued by the City prior to the installation of any signs

N. The use and site shall be in compliance with any federal, state or county law or regulation that is applicable and any related permits shall be obtained and documented to the city.

Caliber Collision is required to obtain any permits from the Minnesota Pollution Control Agency and any other permits/approvals as may be identified during the building permit review process.

O. Any applicable business licenses mandated by this code are approved and obtained.

Not applicable.

P. The hours of operation may be restricted when there is judged to be an incompatibility with a residential use or district.

Addressed earlier in this report.

Q. The use complies with all applicable performance standards of the zoning district in which it is located and where applicable, any nonconformities shall be eliminated.

Not applicable.

R. All additional conditions pertaining to a specific site are subject to change when the council, upon investigation in relation to a formal request, finds that the general welfare and public betterment can be served as well or better by modifying or expanding the conditions set forth herein.

Not applicable.

RECOMMENDATION

Community Development staff finds the proposed major automobile repair use to be consistent with the requirements of the Zoning Ordinance for a conditional use permit and recommends approval subject to the following conditions:

1. The site shall be developed in accordance with the plans approved by the City Council.
2. If an exterior trash enclosure is added to the site, the enclosure must comply with Section 11-18-11 of the Zoning Ordinance.
3. All vehicle painting, emissions, and handling and disposing of flammable materials shall be conducted according to all federal, state, and local government requirements.
4. All flammable materials, including liquids and rags, shall conform with the applicable provisions of the Minnesota Uniform Fire Code
5. Caliber Collision is required to obtain any permits from the Minnesota Pollution Control Agency and any other permits/approvals as may be identified during the building permit review process.
6. The hours of operation shall be between seven o'clock (7:00) A.M. and eight o'clock (8:00) P.M
7. Exterior storage is prohibited outside of the fenced storage area.
8. Individual vehicles may not be stored on site for longer than 30 days.

Findings of fact are attached for consideration.



**Subject
Property**

215TH ST (CSAH 70)

214TH ST

DODD BLVD (CSAH 9)

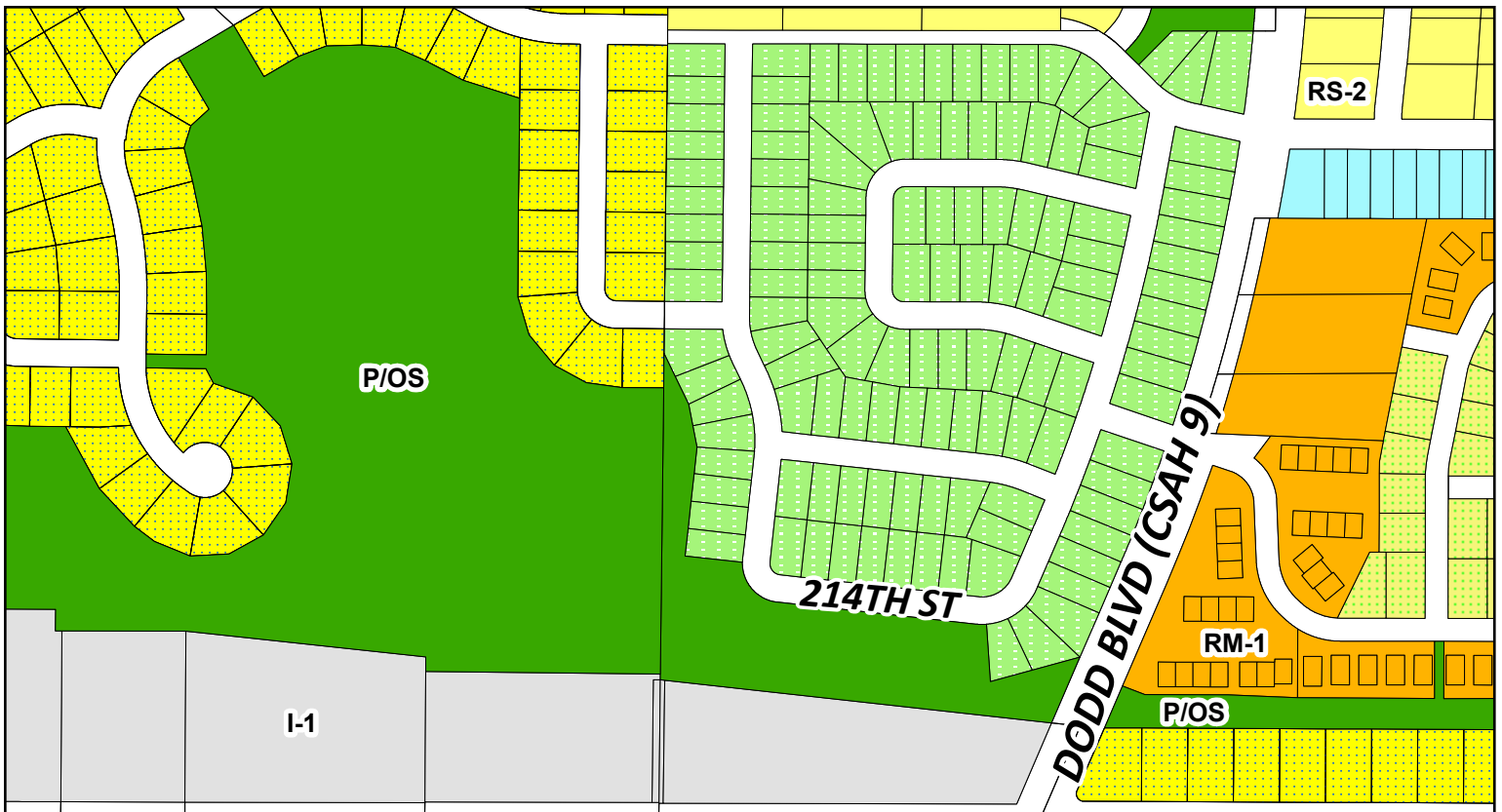
217TH ST

217TH ST

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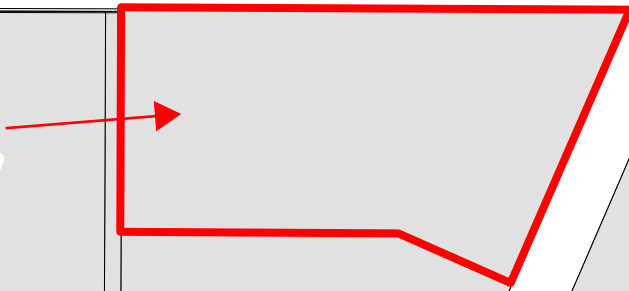


City of Lakeville
Location Map
Caliber Collision
CUP
EXHIBIT A



215TH ST (CSAH 70)

Subject Property



217TH ST

217TH ST



I-1

City of Lakeville
Zoning Map
Caliber Collision
CUP
EXHIBIT B

I-1

CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA
CALIBER COLLISION CONDITIONAL USE PERMIT

FINDINGS OF FACT AND RECOMMENDATION

On December 18, 2025 the Lakeville Planning Commission met at its regularly scheduled meeting to consider the application of Caliber Collision for a conditional use permit to allow a major automobile repair use in an existing building located at 9583 217th Street. The Planning Commission conducted a public hearing on the proposed conditional use permit preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The property is zoned I-1, Light Industrial District.
2. The property is located in Planning District No. 6 and is classified as Warehouse/Light Industrial on the Comprehensive Land Use Plan.
3. The legal description of the property is:

Lot 1, Block 1, Interstate South Logistics Park

4. Section 11-4-3E of the City of Lakeville Zoning Ordinance provides that a conditional use permit may not be issued unless certain criteria are satisfied. The criteria and our findings regarding them are:
 - a) **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the Official City Comprehensive Plan.**

Finding: The proposed major automobile repair use is a use consistent with the policies and provisions of Planning District 6 of the Comprehensive Land Use Plan.

- b) **The proposed use is or will be compatible with future land uses of the area.**

Finding: The proposed major automobile repair use is compatible with existing land uses in the area.

- c) **The proposed use conforms with all performance standards contained in the Zoning Ordinance and the City Code.**

Finding: The major automobile repair use will conform with all performance standards set forth in the Zoning Ordinance given compliance with the approved conditional use permit amendment.

- d) **The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.**

Finding: The proposed major automobile repair use will be served with existing public services and will not overburden service capacity.

- e) **Traffic generation by the proposed use is within capabilities of streets serving the property.**

Finding: Traffic generation will not significantly increase due to the proposed major automobile repair use and can be accommodated by the adjacent public streets.

- 5. The planning report dated December 11, 2025 prepared by Kris Jenson, Planning Manager, is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the conditional use permit amendment conditioned upon compliance with the planning report prepared by Kris Jenson, Planning Manager dated December 11, 2025.

Dated: December 18, 2025

LAKEVILLE PLANNING COMMISSION

BY: _____

Christine Zimmer, Chair



Memorandum

To: Planning Commission
From: Heather Botten
Date: December 4, 2025
Subject: Packet Material for the December 18, 2025 Planning Commission Meeting
Agenda Item: CA Commercial Development - Conditional use permit for a convenience restaurant with a drive-through.
Application Action Deadline: February 20, 2026 – 2nd 60-Days

BACKGROUND

Representatives of CA Commercial Development have submitted an application for a conditional use permit for a convenience restaurant with a drive-through located in the Heritage Commons PUD. The property is currently platted as Outlot A, Heritage Commons 9th Addition, located north of 202nd Street (CSAH 50), south of Heritage Drive, and east of Idealic Avenue.

The project includes a 4,750 square foot building designed for two convenience restaurant tenants, one of which would have a drive through service window. The property is 1.29 acres in size and is currently an outlot. Final plat approval is required before construction of the building can take place.

The subject property is zoned PUD, Planned Unit Development, with the underlying zoning of C-3, General Commercial District. Section 11-66-7.E of the Zoning Ordinance allows convenience restaurants with a drive-through service window by conditional use permit. The plans have been reviewed by Community Development Department and Engineering Division staff.

EXHIBITS

- A. Location Map
- B. Site Plan
- C. Grading and Drainage Plan
- D. Landscape Plan
- E. Building Elevation Plans

STAFF ANALYSIS

The Heritage Commons PUD commercial development plan has progressed over several phases since the initial development phase was approved in 1999. The Heritage Commons 9th Addition preliminary plat was approved by the City Council on May 19, 2025.

Comprehensive Plan. The property is located in Planning District No. 4, Central Lakeville, and is guided for commercial uses in the 2040 Comprehensive Land Use Plan. The proposed convenience restaurant uses are consistent with the commercial designation of the Comprehensive Land Use Plan.

Zoning. The proposed development is located on property zoned PUD, Planned Unit Development District with an underlying C-3, General Commercial District zoning.

Surrounding Land Uses, Zoning, and Comprehensive Plan Designation

Direction	Existing Use	Land Use Plan	Zoning
North	Heritage Drive and multi-tenant commercial building	Commercial	PUD District
South	202 nd Street (CSAH 50) and commercial businesses	Commercial	C-3, General Commercial
East	Tires Plus	Commercial	PUD District
West	Chase Bank (under construction)	Commercial	PUD District

Streets/Access. No new street construction is proposed with the site improvements.

Grading, Drainage, Erosion Control, and Utilities. Final civil plans have not been approved and will be reviewed at the time of final plat for the property. A copy of the engineering report dated December 4, 2025 is attached for your review. The Engineering Division recommends approval of the CUP subject to the recommendations outlined in the report.

CUP SITE PLAN REVIEW

Use. Development of a convenience food restaurant use within the PUD is subject to the same requirements as those within the C-3, General Commercial District. Section 11-73-7.G of the Zoning Ordinance establishes performance standards for convenience food uses. The performance standards include limiting the hours of operation from 5:00 am to 11:00 pm unless approved by CUP. Other performance standards are reviewed below.

Setbacks. The minimum setback requirements of the C-3 District are:

Abutting a Public Street: 30 feet

Interior Lot Lines: 10 feet

Rear: 10 feet

The proposed building meets the setback requirements of the Zoning Ordinance.

Building Height. The proposed two-tenant building is a single-story structure about 20 feet in height, including mechanical screening. A maximum building height of 35 feet is allowed in the C-3 District.

Parking/Drive Aisles. The setback requirements for parking are 15 feet abutting right-of-way and five feet from interior lot lines. Parking setbacks have been met.

Convenience food uses have a parking requirement of one stall per 80 square feet of floor area. Based on the building size of 4,750 square feet, minus 10% floor area as allowed by the Zoning Ordinance, the proposed convenience restaurants require 54 parking spaces. The maximum number of parking stalls allowed is up to 125% of the minimum parking spaces, without CUP approval. The maximum number of parking stalls permitted without a CUP is 68 spaces (125% of 54). The site plan includes 67 parking spaces, in compliance with code requirements.

Circulation/Loading Area. Access to the site will be from Heritage Drive. Parking spaces are located around the perimeter of the site. The drive through starts along the north side of the building and continues around the west side. Direct driveway access to 202nd Street is not permitted. An agreement for shared driveway access between the parcels in Heritage Commons 9th Addition and Heritage Commons 8th Addition (Tires Plus) is required to be executed prior to the release of the final plat.

Open Space. At least 25 percent of the lot shall remain as greenspace, including trees, shrubbery, plantings or fencing. The site plan identifies that 25% percent of the site is greenspace. This complies with the greenspace requirements of the Zoning Ordinance for convenience food uses.

Landscaping. The landscape plan proposes a mix of overstory trees around the perimeter of the site, foundation plantings on three sides of the building, and a row of plantings along the south side of the drive through to minimize headlights shining on to 202nd Street. Remaining areas will be seeded and in-ground irrigation is required. Development of the site shall include responsibility for boulevard maintenance along 202nd Street and Heritage Drive. The Developer must provide an estimate of the landscape costs to be submitted as a security to guarantee installation of the landscaping. The City Forester has reviewed the landscape plan dated December 11, 2025. Landscaping on site must be installed per the approved plan. Prior to a landscape inspection, an as-built landscape plan must be submitted to the city.

Building Exterior. The proposed one-story, two-tenant, convenience restaurant building is proposed to be clad with exterior materials that are at least 65% Grade A material. The proposed Grade A materials include brick and glass are at 68%, complying with code requirements. Other exterior materials used, including EIFS and fiber cement, are Grade C materials. The materials proposed comply with Zoning Ordinance requirements. A contrasting stripe of brick is shown on the building. The contrasting stripe is a design element seen in buildings in the Heritage Commons PUD development.

Drive-Through Window. The drive-through lane includes the minimum 180 feet of segregated vehicle stacking lane from the service windows.

Menu Boards. A sign permit must be issued prior to the installation of the menu board and the sign must comply with the requirements of Section 11-23-7.G.11.c of the Zoning Ordinance.

Signs. Signs shall comply with the Heritage Commons PUD sign plan. Since the building fronts more than one street, up to two wall signs are permitted, not to exceed 100 square feet each in sign area. All signs require approval of a sign permit prior to installation.

Signs shown on the plans are illustrative only and no approvals are granted as a part of the CUP request.

Trash Enclosure. The trash and recycling enclosure will be located on the northwest side of the property. The enclosure shall comply with Section 11-18-11 of the city code, including the gate being made of maintenance-free material.

Exterior Lighting. No light source or combination thereof which casts light on a public street shall exceed one foot-candle meter reading as measured at the right of way or property line. All building mounted lighting must face downward onto the structure.

Mechanical Equipment. Any roof-mounted mechanical equipment must be screened if greater than three feet in height. Ground-mounted mechanical equipment must be screened with landscaping and/or fencing.

Snow Storage. Snow storage may not take place in required parking spaces.

Stormwater Maintenance Agreement. A Stormwater Maintenance Agreement will be required with the final plat for maintenance of the stormwater system on site.

RECOMMENDATION

Community Development Department staff recommends approval of the conditional use permit subject to the following stipulations:

1. Outlot A, Heritage Commons 9th Addition must be platted into a lot and block prior to development of the parcel.

2. Implementation of the recommendations listed in the December 4, 2025 engineering report.
3. The site shall be developed according to the plans approved by the City Council.
4. Execution of a Stormwater Maintenance Agreement shall be required between the Developer and the City of Lakeville for the maintenance of the stormwater system located on the subject parcel.
5. An agreement for shared driveway access shall be established between Lots 1 and 2, Block 1, Heritage Commons 9th Addition and Lot 1, Block 1, Heritage Commons 8th Addition (Tires Plus) prior to the release of the final plat.
6. The hours of operation shall be limited to five o'clock (5:00) A.M. to eleven o'clock (11:00) P.M.
7. Any rooftop and/or ground-mounted mechanical equipment must be screened per Zoning Ordinance requirements.
8. The City Forester has reviewed and approved the landscape plan dated December 11, 2025. Landscaping on site must be installed per the approved plan. Prior to a landscape inspection, an as-built landscape plan must be submitted to the city.
9. The Developer must provide a security with the final plat to guarantee installation of the landscaping.
10. Exterior lighting shall be down-cast only and shall not glare onto road right-of-way.
11. Snow storage shall not occur within required parking spaces.

Findings of fact are attached for your review and consideration.



HERITAGE DR

IDEALIC AVE

Subject Property

IBERIA AVE

202ND ST (CSAH 50)

203RD ST

N

City of Lakeville
Site Location Map
CA Commercial
Development
CUP



1 SITE DETAILS (SI-0XX)

- 1 B618 CURB AND GUTTER
- 8 PRIVATE CONCRETE SIDEWALK
- 9 PRIVATE PEDESTRIAN CURB RAMP
- 10 PRIVATE PARALLEL PEDESTRIAN CURB RAMP
- 11 CROSS WALK STRIPING
- 13 TRAFFIC ARROW
- 14 SIGN INSTALLATION
- 15 HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
- 19 PAVEMENT SECTIONS
- 36 SIGN POST WITH BOLLARD

A SITE KEYNOTES

- A TRANSITION CURB
- B FLAT CURB
- C PAINT 4" WHITE STRIPING
- D PAINT TRANSITION CURBS YELLOW
- E MENU BOARD AND ORDER STATION (SEE ARCH PLANS)
- F OVERHEAD CLEARANCE BAR AND CONCRETE BASE (SEE ARCH PLANS)
- G MATCH EXISTING CURB
- H TRASH ENCLOSURE (SEE ARCH PLANS)
- I SITE LIGHTING (BY OTHERS)

SITE DEVELOPMENT SUMMARY

• EXISTING ZONING:	PUD, PLANNED URBAN DEVELOPMENT
• PROPOSED ZONING:	PUD W/ CUP (CONDITIONAL USE PERMIT)
• PARCEL DESCRIPTION:	OUTLOT A - HERITAGE COMMONS 8TH ADDITION
• PROPERTY AREA:	56,407 SF (1.29 AC)
• EXISTING IMPERVIOUS SURFACE:	1,873 SF (3.3%)
• PROPOSED IMPERVIOUS SURFACE:	42,306 SF (75.00%)
• BUILDING GROSS SIZE:	4,750 SF
EAST RESTAURANT:	2,063 SF
WEST RESTAURANT:	2,606 SF
UTILITY ROOM:	82 SF
• FLOOR-AREA-RATIO(FAR):	0.08
• BUILDING SETBACK PER CODE:	30'=FRONT 10'=SIDE 30'=REAR
• PARKING SETBACK:	15'=FRONT AND ROW 5'=SIDE 15'=REAR
• 90 DEGREE PARKING SPACE/DRIVE AISLE:	9' WIDE X 20' LONG, 24' AISLE
• PARKING RATIO REQUIREMENT:	CITY OF LAKEVILLE RESTAURANT W/ DRIVE-THRU: 1 SPACE / 70 SF OF GFA
RESTAURANT W/ DRIVE-THRU (4,668 GFA/70)	67 SPACES
TOTAL SPACES REQUIRED:	67 SPACES
• PARKING PROVIDED:	67

SITE LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		BITUMINOUS PAVEMENT
		NUMBER OF PARKING STALLS
		SITE LIGHTING BY OTHERS
		TRAFFIC SIGN
		BOLLARD / POST

GENERAL SITE NOTES

1. BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, MINNESOTA, JUNE 6, 2025.
2. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
3. REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
4. ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
6. ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
7. ALL CURB AND GUTTER SHALL BE B618 UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
9. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
10. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
11. SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

SIGN LEGEND

REFERENCE	SIZE	MNDOT DESIGNATION
S.1	HANDICAP ACCESSIBLE 12" X 18"	R7-8M
S.2	DO NOT ENTER 30" X 30"	R5-1
S.3	BEGIN ONE WAY 24" X 30"	R6-6
S.4	ONE WAY (RIGHT) 24" X 30"	R6-2R

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

DESIGNED:	11/19/2025
CHECKED:	11/19/2025
DRAWN:	12/11/2025
DATE:	12/11/2025
SCALE:	HORIZONTAL SCALE: 1" = 20'
SCALE:	VERTICAL SCALE: 1" = 2'

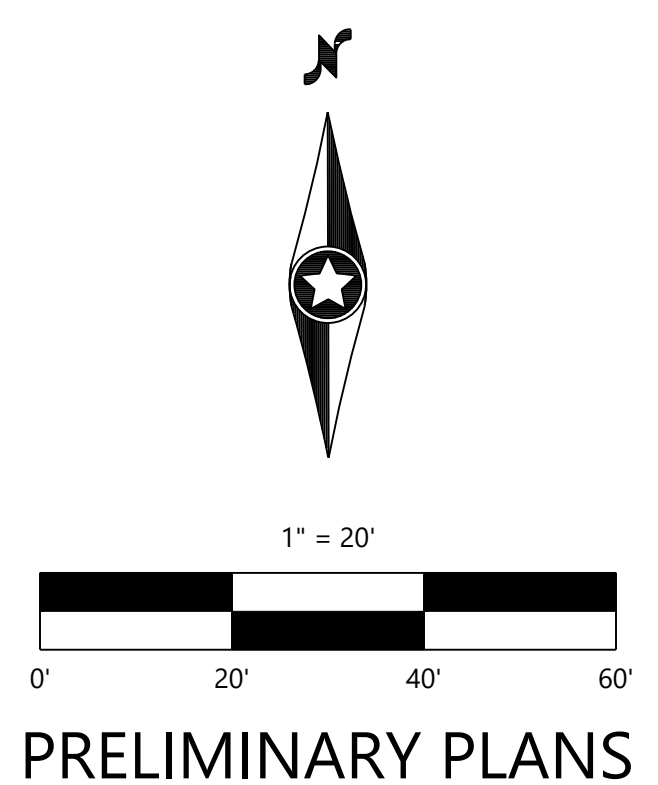
PREPARED FOR:
CA COMMERCIAL DEVELOPMENT
2805 EDWARDS RD, SUITE 390
CINCINNATI, OH 45209

DESIGNED BY:
JOSEPH SCHRAMM
DATE: 12/11/2025 LICENSE NO. 56078

CA PANERA LAKEVILLE
LAKEVILLE, MN

Westwood
Professional Services, Inc.
1800 Medical Arts Ave S, Suite 100
Sartell, MN 56377
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Fax: (320) 336-2001
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www.westwoodps.com

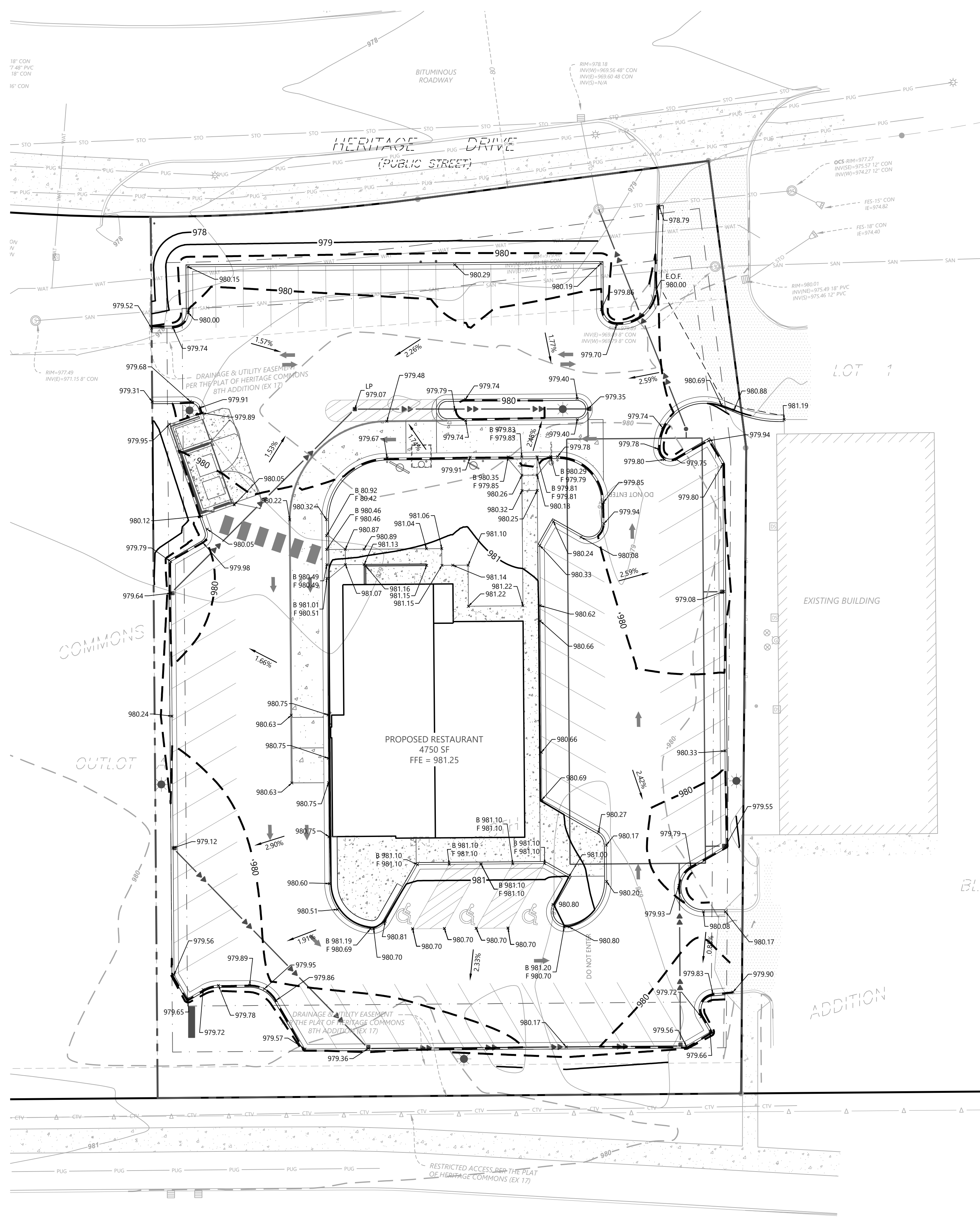
SITE PLAN



SHEET NUMBER:

C200

DATE: 12/11/2025



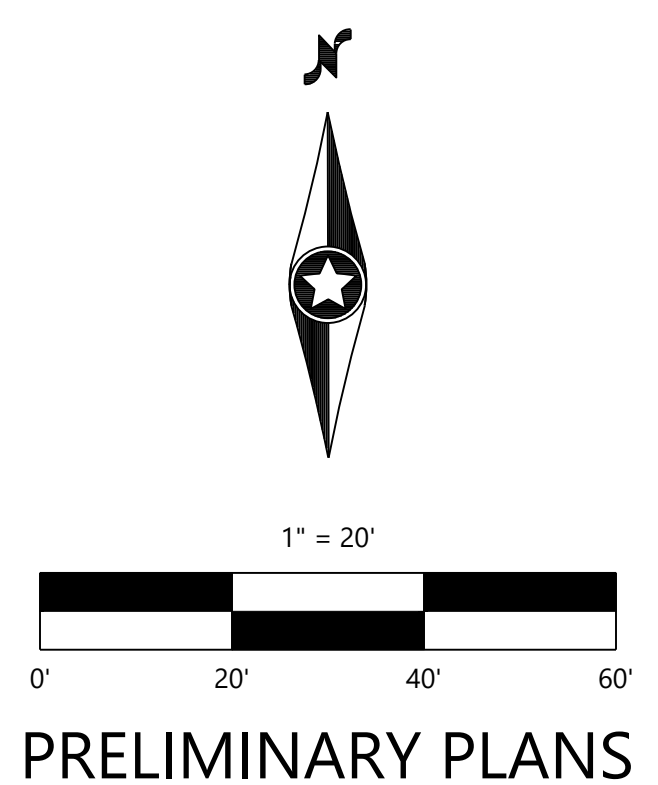
DAKOTA C.S.A.H. NO. 50 (202ND STREET WEST)
 (VARIABLE WIDTH RIGHT OF WAY)

GRADING LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		STORM SEWER
		DRAIN TILE
		SPOT ELEVATION
		FLOW DIRECTION
		SOIL BORING LOCATION

GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.



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DESIGNED:	11/19/2025
CHECKED:	
DRAWN:	
FORESTRY COMMENTS:	
FORESTRY COMMENTS:	
HORIZONTAL SCALE:	1" = 20'
VERTICAL SCALE:	1" = 2'

PREPARED FOR:
CA COMMERCIAL DEVELOPMENT
 2805 EDWARDS RD, SUITE 390
 CINCINNATI, OH 45209

VERIFY: THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 JOSEPH SCHRAMM
 DATE: 12/11/2025 LICENSE NO. 56078

CA PANERA LAKEVILLE
 LAKEVILLE, MN

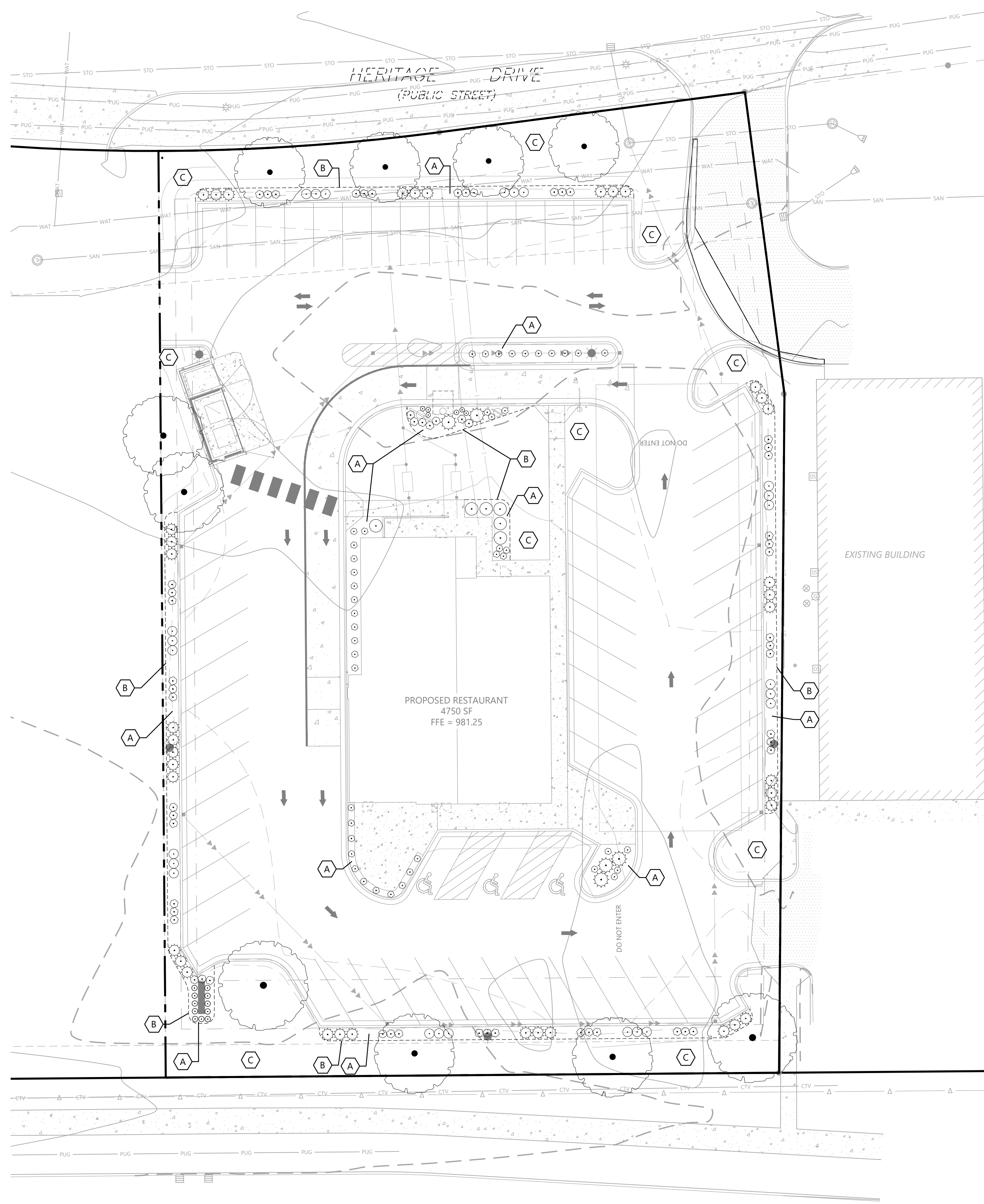
Westwood
 (320) 233-9495 1900 Medical Arts Ave S, Suite 100
 (320) 338-2001 Savelle, MN 56377
 (650) 279-9895 westwoodps.com
 Westwood Professional Services, Inc.

GRADING PLAN

SHEET NUMBER:

C300

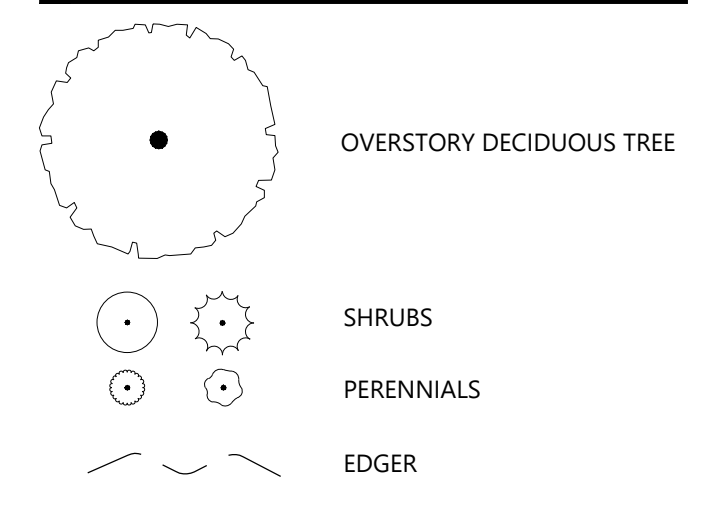
DATE: 12/11/2025



PLANTING NOTES

- CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
 ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
 ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
 ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
 ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
 CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS. REMOVE ALL TWINE, BURLAP, AND WIRE BASKET FROM THE TOP HALF OF THE ROOT BALL AND DISPOSE OF OFFSITE.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MVDOT STANDARD SPECIFICATION FOR SELECT TOPSOIL BORROW AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 6" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- TREE PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL TREES WITHIN TURF AREAS. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL COLORED, OR APPROVED EQUAL. ROCK MULCH TO BE BUFF LIMESTONE, 1 1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE. FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- ALL DISTURBED AREAS TO BE SODDED OR SEED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MVDOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
- PROVIDE IRRIGATION TO ALL PLANTED AND SODDED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.

LANDSCAPE LEGEND

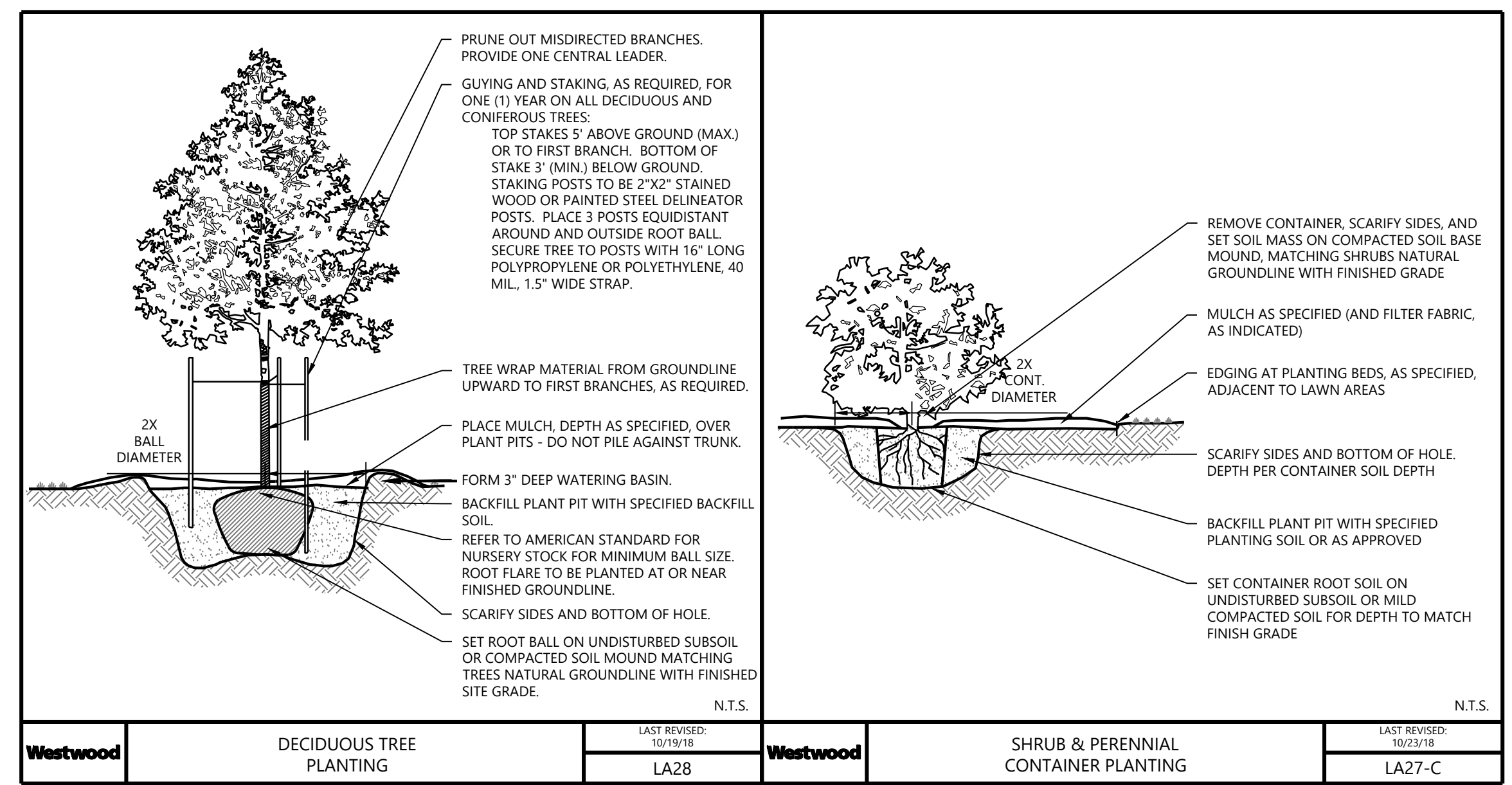


LANDSCAPE KEYNOTES

- A BUFF LIMESTONE ROCK MULCH (TYP.)
- B EDGER (TYP.)
- C SOD (TYP.)

GROUND COVER NOTES

SOD	
SOD:	10,612 SF (0.24 AC)
MULCH	
ROCK MULCH:	2,692 SF (0.06 AC)



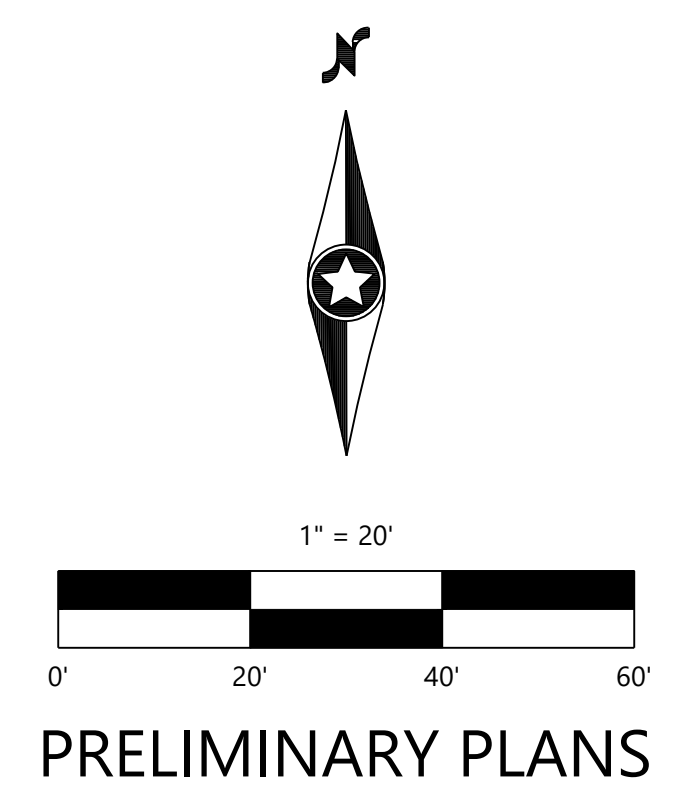
DAKOTA C.S.A.H NO. 50 (202ND STREET WEST)
 (VARIABLE WIDTH RIGHT OF WAY)

PLANT SCHEDULE

CODE	QTY	COMMON / BOTANICAL NAME	SIZE	SPACING	MATURE SIZE
DECIDUOUS TREES 10					
AGG		AUTUMN GOLD GINKGO / GINKGO BILOBA 'AUTUMN GOLD'	2.5" CAL. B&B	AS SHOWN	H 40'-50" W 25'-35'
SKH		SKYLINE® HONEY LOCUST / GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	2.5" CAL. B&B	AS SHOWN	H 40'-50" W 30'-40'
NPO		NORTHERN PIN OAK / QUERCUS ELLIPSOIDALIS	2.5" CAL. B&B	AS SHOWN	H 50'-60" W 40'-50'
CONIFEROUS SHRUBS 43					
ANJ		ANDORRA JUNIPER / JUNIPERUS HORIZONTALIS 'ANDORRA'	#5 CONT.	4'-0" O.C.	H 3'-4" W 3'-4"
BUJ		BUFFALO JUNIPER / JUNIPERUS SABINA 'BUFFALO'	#5 CONT.	5'-0" O.C.	H 8'-10" W 3'-5"
DECIDUOUS SHRUB 30					
AFD		ARCTIC FIRE® RED TWIG DOGWOOD / CORNUS SERICEA 'FARROW'	#5 CONT.	4'-0" O.C.	H 3'-5" W 3'-5"
DBH		DWARF BUSH HONEYSUCKLE / DIERVILLA LONICERA	#5 CONT.	3'-0" O.C.	H 3'-4" W 3'-4"

PERENNIALS 17		GRASSES 103	
SDO	STELLA DE ORO DAYLILY / HEMEROCALLIS X 'STELLA DE ORO'	#1 CONT.	24" O.C. H 18-20" W 18-24"
PCB	NORTHERN EXPOSURE™ PURPLE CORAL BELL / HEUCHERA X 'TNHEUNEP'	#1 CONT.	18" O.C. H 15-18" W 18-24"
KFG	KARL FOERSTER FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONT.	30" O.C. H 3-4' W 2-3'
BLB	BLAZE LITTLE BLUESTEM / SCHIZACHYRIUM SCOPARIUM 'BLAZE'	#1 CONT.	24" O.C. H 2-3' W 18-24"
PDS	PRAIRIE DROPSEED / SPOROBOLUS HETEROLEPIS	#1 CONT.	24" O.C. H 2-3' W 2-3'

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL. = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER QTY. = QUANTITY CONT. = CONTAINER
 NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.



DESIGNED:	11/19/2025
CHECKED:	11/19/2025
DRAWN:	12/11/2025
DATE:	12/11/2025

PREPARED FOR:
CA COMMERCIAL DEVELOPMENT
 2805 EDWARDS RD. SUITE 390
 CINCINNATI, OH 45209

WESTWOOD PROFESSIONAL SERVICES, INC. IS AN EQUAL OPPORTUNITY EMPLOYER. WE DO NOT DISCRIMINATE ON THE BASIS OF RACE, GENDER, RELIGION, NATIONAL ORIGIN, ANCESTRY, COLOR, SEX, OR AGE. WE ARE AN EQUAL OPPORTUNITY EMPLOYER.
 JOHN WESTENDORF
 DATE: 12/11/2025 LICENSE NO. 44018

CA PANERA LAKEVILLE
 LAKEVILLE, MN

Westwood
 1900 Medical Arts Ave S, Suite 100
 (320) 233-9495
 (320) 358-2001
 (608) 274-9895
 westwoodps.com

LANDSCAPE PLAN

SHEET NUMBER:
L100
 DATE: 12/11/2025

GENERAL NOTES:

- A. ALL GLAZING TO BE G1 UNLESS NOTED OTHERWISE. FOR STOREFRONT / WINDOW ELEVATIONS SEE SHEET A611.
- B. GENERAL CONTRACTOR TO PROVIDE BLOCKING FOR EXTERIOR BUILDING SIGNS
- C. REFER TO SHEET A230 FOR TYPICAL CORNER DETAILS AT THIN BRICK AND NICHHA SYSTEM - SF4.

KEYED NOTES

- 3.01 LOCATION OF INTERNALLY ILLUMINATED FLUSH MOUNTED CHANNEL LETTERS AND/OR TRADEMARK SYMBOL. PROVIDED AND INSTALLED BY TENANT SIGN VENDOR UNDER SEPARATE PERMIT. SHELL GC TO PROVIDE BLOCKING AND POWER IN WALL FOR SIGN AND PROVIDE ACCESS PANEL ON BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED. (UNDER SEPARATE SIGNAGE PERMIT)
- 3.02 PRE-FINISHED METAL 2-PIECE SNAP-ON COMPRESSION COPING BY DUROLAST OR SIMILAR | COLOR: CHARCOAL TO MATCH RAL 7043
- 3.03 WALL MOUNTED LIGHT FIXTURE. FIXTURES SHALL BE PROVIDED AND INSTALLED BY LANDLORD. LANDLORD TO PROVIDE POWER AND J-BOX AT LOCATION PER TENANT DRAWINGS. REFER TO REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
- 3.04 MAIN ENTRANCE/EXIT | REFER TO DOOR ELEVATIONS, SCHEDULES, & DETAILS SHEET FOR FURTHER INFORMATION.
- 3.07 DRIVE-THRU WINDOW | MFR: QUIKSERV | MODEL: FM42E | TO BE INSTALLED IN STOREFRONT SURROUND. COLOR TO MATCH STOREFRONT.
- 3.08 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING. REFER TO SHEET A603 FOR FURTHER INFORMATION.
- 3.10 CONTROL JOINT WHERE INDICATED. PROVIDE SEALANT TO MATCH ADJACENT MATERIAL. REFER TO DETAILS FOR FURTHER INFORMATION.
- 3.11 INSTALL PREMANUFACTURED ALUMINUM CANOPY W/ TIE RODS WITH FINISHED UNDERSIDE. PROVIDED WITH SHELL CONSTRUCTION. | MANF: API, INC. | COLOR: DARK BRONZE, CANOPY TO INCLUDE LIGHTING, DRAINAGE, CANOPY UNDERSIDE TO HAVE FINISH SF3.
- 3.12 HORIZONTAL OR VERTICAL 'V' SCORE JOINT, REFER TO SECTIONS FOR FURTHER INFORMATION.
- 3.13 SECURITY CAMERA INSTALLED BY PANERA IT. GC TO PROVIDE ROUGH-IN LOCATION | COORDINATE ROUGH-IN LOCATION(S) AND HEIGHTS WITH PANERA CONSTRUCTION MANAGER PRIOR TO INSTALLATION.
- 3.14 4" DIA. CONCRETE BOLLARD BY LANDLORD | FINISH: PAINT SAFETY YELLOW AT DRIVE THRU | REFER TO SHEET A003 FOR FURTHER INFORMATION
- 3.15 6" DIA. CONCRETE BOLLARD BY LANDLORD | FINISH: PAINT SAFETY YELLOW AT DRIVE THRU. EXCEPT AT DRIVE THRU | REFER TO SHEET A003 FOR FURTHER INFORMATION
- 3.16 FIRE DEPARTMENT ACCESS BOX | INSTALLED ADJACENT ENTRY DOOR. COORDINATE LOCATION WITH LOCAL FIRE DEPARTMENT.
- 3.19 HOSE BIBB | STAINLESS STEEL BOX. REFER TO PLUMBING DRAWINGS FOR LOCATION AND 18/A231 FOR ADDITIONAL INFORMATION.
- 3.21 BUILDING ADDRESS SIGN | VERIFY SIZE, LOCATION, AND STYLE WITH LOCAL FIRE DEPARTMENT
- 3.31 DRIVE THRU SIGN AS PART OF TENANT SIGNAGE BY SIGN VENDOR. SHELL GC TO PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS PANEL ON BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED
- 3.36 PREMANUFACTURED RIBBED PANEL ROOF EQUIPMENT SCREENING, MFR: ROOFSCREEN, TYPE: 7.2 RIBBED PANEL COLOR: TO MATCH CHARCOAL OR EQUAL
- 3.37 CONTROL JOINT, PER MANUFACTURER RECOMMENDATIONS, MFR: NICHHA
- 3.38 COMPOSITE PLANK SCREEN WALL | MFR: TREX COMPOSITE PLANK | COLOR: SF2 REFER TO SHEET A021 FOR FURTHER INFORMATION.
- BM ALUMINUM BREAK METAL | COLOR TO MATCH STOREFRONT
- BR1 BRICK MASONRY WALL SYSTEM | MFR: TABS WALL SYSTEM + THIN BRICK, UTILITY STACKED, VERTICAL PATTERN | COLOR: MCNEAR (THIN BRK) + SANTIAGO CREATIVE MATERIALS CUSTOM BLEND (TABS WALL SYSTEM)
- BR2 BRICK MASONRY WALL SYSTEM | MFR: TABS WALL SYSTEM + THIN BRICK, UTILITY STACKED, HORIZONTAL PATTERN | COLOR: MCNEAR (THIN BRK) + SANTIAGO CREATIVE MATERIALS CUSTOM BLEND (TABS WALL SYSTEM)
- BR3 BRICK MASONRY WALL SYSTEM | MFR: TABS WALL SYSTEM + THIN BRICK, UTILITY STACKED, VERTICAL PATTERN | COLOR: ENDICOTT (THIN BRK) + GOLDEN BLUF
- G1 ALUMINUM STOREFRONT | MFR: KAWNEER TRIFAB VERRSAGLAZE 451T | COLOR: DARK BRONZE | 2" x 4 1/2" PROFILE | THERMAL BREAK | 1" CLEAR INSULATED GLAZING: PPG SOLARBAN 70 (OR APPROVED EQUAL) | REFER TO SHEET A602 FOR ADDITIONAL INFORMATION
- PX1 EIFS SYSTEM | PRODUCT: DRYVIT OUTSULATION PLUS MD w/ MOISTURE DRAINAGE SYSTEM | TEXTURE: DRYVIT LYMESTONE | PAINTED COLOR: #105 SUEDE
- SF2 TREX SELECT, EARTH TONES; COLOR: PEBBLE GREY.
- SF3 TONGUE & GROOVE PLANKS; 6" EXTRUDED ALUMINUM SMOOTH PLANK WITH BEECHWOOD (#15BEE) FINISH, MFR: LONGBOARD
- SF4 SPECIALTY FINISH: RIBBED FIBER CEMENT PANEL WITH 3" CORNER PIECE BY MFR. ALL CORNERS | MFR: NICHHA | COLOR: PANERA GREEN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.
 Signature: *Mark S. Salopek*
 Typed or Printed Name: Mark S. Salopek, AIA
 Date: 12/11/25 License Number: 26710

REV.	DATE	DESCRIPTION

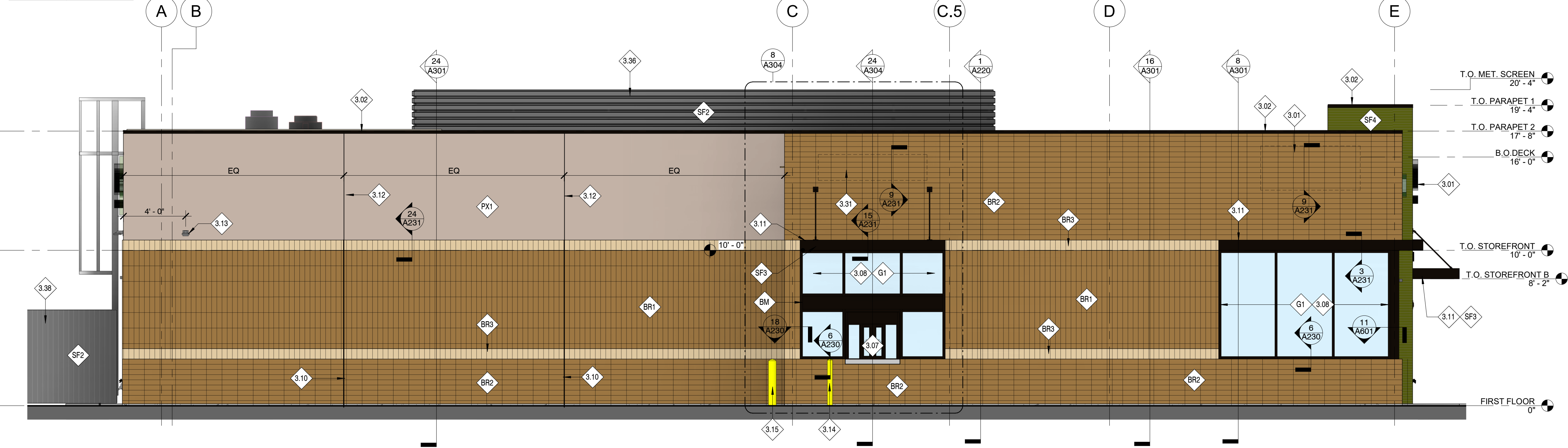
ELEVATION PERCENTAGES	
WINDOWS:	39%
EIFS:	8%
BRICK:	33%
GREEN:	16%
CANOPY:	5%

TOTAL BUILDING	
5,237 SF TOTAL	
65% MIN GRADE A MATERIALS REQUIRED (BRICK + GLASS)	
REQUIRED: 3,404 SF (65%)	
PROVIDED: 3,581 SF (68%)	



22 FRONT ELEVATION - SOUTH
 1/4" = 1'-0"

ELEVATION PERCENTAGES	
WINDOWS:	9%
EIFS:	20%
BRICK:	67%
WOOD:	0%
GREEN:	2%
CANOPY:	2%



24 DT ELEVATION - WEST
 1/4" = 1'-0"

G.C. TO INSTALL AFTER CONSTRUCTION
 BARRIER SIGN REMOVED - WITHOUT DRIVE THRU



- SPECIFICATIONS:**
- ONE SIDED BANNER
 - MATERIAL: WHITE BANNER WITH GROMMETS
 - GRAPHICS: DIGITALLY PRINTED
 - HEIGHT: 3'-11 1/2"
 - WIDTH: 7'-9 1/2"
- INSTALLATION:**
- BANNERS PROVIDED BY PANERA AND TO BE INSTALLED ON EXTERIOR OF BUILDING BY G.C. PER PANERA PROVIDED HANGING INSTRUCTIONS AND PLACEMENT LOCATION(S).

4 NEW CONSTRUCTION BANNER
 1/4" = 1'-0"

Bakery Cafe # : 6492
 20170 Iberia Ave,
 Lakeville, MN 55044

EXTERIOR ELEVATIONS - SHELL

	DATE
PERMIT	11/10/25
BID	-/-/-
CONSTRUCTION	-/-/-
RECORD	-/-/-

PROJECT MANAGER	DESIGNER
Approver	JO

JOB NO.
2025383.08

A200

GENERAL NOTES:

- A. ALL GLAZING TO BE G1 UNLESS NOTED OTHERWISE. FOR STOREFRONT / WINDOW ELEVATIONS SEE SHEET A603.
- B. GENERAL CONTRACTOR TO PROVIDE BLOCKING FOR EXTERIOR BUILDING SIGNS.
- C. REFER TO SHEET A230 FOR TYPICAL CORNER DETAILS AT THIN BRICK AND NICHHA SYSTEM - SF4.

KEYED NOTES

- 3.01 LOCATION OF INTERNALLY ILLUMINATED FLUSH MOUNTED CHANNEL LETTERS AND/OR TRADEMARK SYMBOL; PROVIDED AND INSTALLED BY TENANT SIGN VENDOR UNDER SEPARATE PERMIT. SHELL GC TO PROVIDE BLOCKING AND POWER IN WALL FOR SIGN AND PROVIDE ACCESS PANEL ON BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED. (UNDER SEPARATE SIGNAGE PERMIT)
- 3.02 PRE-FINISHED METAL 2-PIECE SNAP-ON COMPRESSION COPING BY DURALAST OR SIMILAR | COLOR: CHARCOAL TO MATCH RAL 7043 WALL MOUNTED LIGHT FIXTURE. FIXTURES SHALL BE PROVIDED AND INSTALLED BY LANDLORD. LANDLORD TO PROVIDE POWER AND J-BOX AT LOCATION PER TENANT DRAWINGS. REFER TO REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
- 3.03 HOLLOW METAL SERVICE DOOR. EXTERIOR PAINT FINISH TO MATCH ADJACENT MATERIAL PX1. REFER TO A603 FOR ADDITIONAL INFORMATION.
- 3.06 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING. REFER TO SHEET A603 FOR FURTHER INFORMATION.
- 3.10 CONTROL JOINT WHERE INDICATED. PROVIDE SEALANT TO MATCH ADJACENT MATERIAL. REFER TO DETAILS FOR FURTHER INFORMATION.
- 3.11 INSTALL PRE-MANUFACTURED ALUMINUM CANOPY W/ TIE RODS WITH FINISHED UNDERSIDE. PROVIDED WITH SHELL CONSTRUCTION | MANF: AFI, INC. | COLOR: DARK BRONZE. CANOPY TO INCLUDE LIGHTING, DRAINAGE, CANOPY UNDERSIDE TO HAVE FINISH SF3.
- 3.12 HORIZONTAL OR VERTICAL "V" SCORE JOINT. REFER TO SECTIONS FOR FURTHER INFORMATION.
- 3.13 SECURITY CAMERA INSTALLED BY PANERA IT. GC TO PROVIDE ROUGH-IN LOCATION | COORDINATE ROUGH-IN LOCATION(S) AND HEIGHTS WITH PANERA CONSTRUCTION MANAGER PRIOR TO INSTALLATION.
- 3.15 6" DIA. CONCRETE BOLLARD BY LANDLORD | FINISH: PAINT SAFETY YELLOW AT DRIVE THRU, EXCEPT AT DRIVE THRU | REFER TO SHEET A003 FOR FURTHER INFORMATION
- 3.18 NICKEL BRONZE NOZZLE RW/OVERFLOW DRAIN THRU ROOF. MIN. 12" ABOVE GRADE. SEE DETAIL 23/A231
- 3.19 HOSE BIBS STAINLESS STEEL BOX. REFER TO PLUMBING DRAWINGS FOR LOCATION AND 18/A231 FOR ADDITIONAL INFORMATION.
- 3.29 GAS METER AND PIPING. PAINT PIPING TO MATCH BUILDING FACADE. REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION.
- 3.31 "DRIVE THRU" SIGN AS PART OF TENANT SIGNAGE BY SIGN VENDOR. SHELL GC TO PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS PANEL ON BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED
- 3.34 EXTERIOR ROOF ACCESS LADDER TO INCLUDE CAGE, PROVIDED BY LANDLORD.
- 3.35 GC TO PROVIDE NEW CONSTRUCTION BANNER. REFER TO 4/A200. VERIFY PLACEMENT ON ELEVATION WITH CPM.
- 3.36 PREMANUFACTURED RIBBED PANEL ROOF EQUIPMENT SCREENING. MFR: ROOFSCREEN. TYPE: 7.2 RIBBED PANEL COLOR: TO MATCH CHARCOAL OR EQUAL.
- BR1 BRICK MASONRY WALL SYSTEM | MFR: TABS WALL SYSTEM + THIN BRICK, UTILITY STACKED, VERTICAL PATTERN | COLOR: MCNEAR (THIN BRK.) + SANTIAGO CREATIVE MATERIALS CUSTOM BLEND (TABS WALL SYSTEM)
- BR2 BRICK MASONRY WALL SYSTEM | MFR: TABS WALL SYSTEM + THIN BRICK, UTILITY STACKED, HORIZONTAL PATTERN | COLOR: MCNEAR (THIN BRK.) + SANTIAGO CREATIVE MATERIALS CUSTOM BLEND (TABS WALL SYSTEM)
- BR3 BRICK MASONRY WALL SYSTEM | MFR: TABS WALL SYSTEM + THIN BRICK, UTILITY STACKED, VERTICAL PATTERN | COLOR: ENDICOTT (THIN BRK.) GOLDEN BUFF
- G1 ALUMINUM STOREFRONT | MFR: KAWNEER TRIFAB VERRSAGLAZE 451T | COLOR: DARK BRONZE | 2" x 4 1/2" PROFILE | THERMAL BREAK | 1" CLEAR INSULATED GLAZING: PPG SOLARBAN 70 (OR APPROVED EQUAL) | REFER TO SHEET A602 FOR ADDITIONAL INFORMATION
- PX1 EIFS SYSTEM | PRODUCT: DRYVIT OUTSULATION PLUS MD w/ MOISTURE DRAINAGE SYSTEM | TEXTURE: DRYVIT LYMESTONE | PAINTED COLOR: #105 SUEDE
- SF2 TREX SELECT, EARTH TONES; COLOR: PEBBLE GREY.
- SF3 TONGUE & GROOVE PLANKS; 6" EXTRUDED ALUMINUM SMOOTH PLANK WITH BEECHWOOD (#15BEE) FINISH, MFR: LONGBOARD

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.
 Signature: *Mark S. Salopek*
 Typed or Printed Name: Mark S. Salopek, AIA
 Date: 12/11/25 License Number: 26710

REV.	DATE	DESCRIPTION

Bakery Cafe # : 6492
 20170 Iberia Ave,
 Lakeville, MN 55044

EXTERIOR ELEVATIONS - SHELL

	DATE
PERMIT	11/10/25
BID	-/-/-
CONSTRUCTION	-/-/-
RECORD	-/-/-

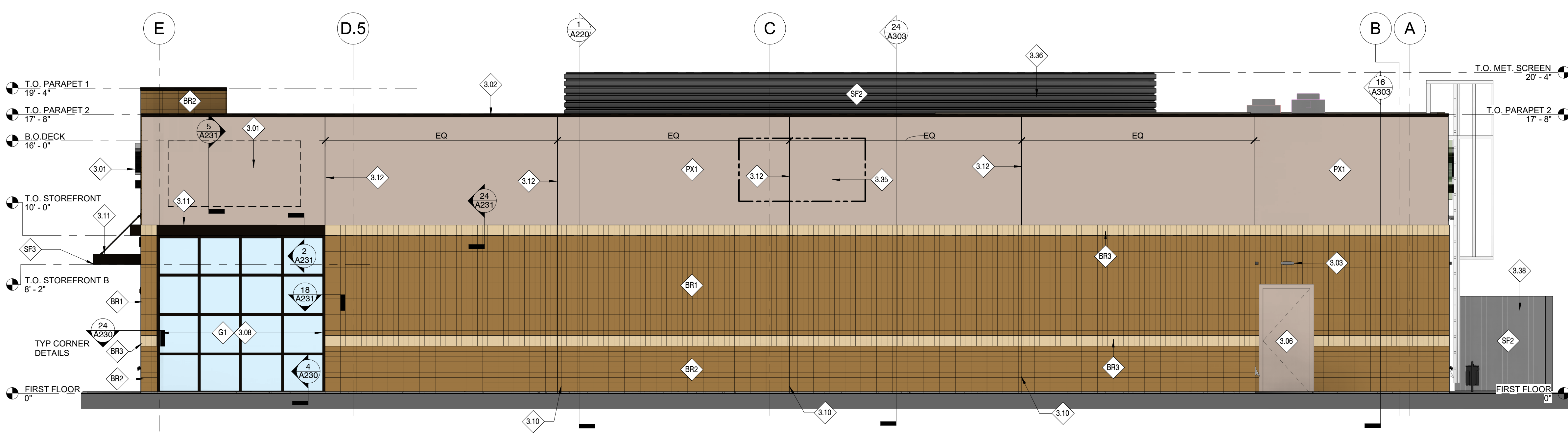
PROJECT MANAGER	DESIGNER
HB	JO

JOB NO.
2025383.08

A201

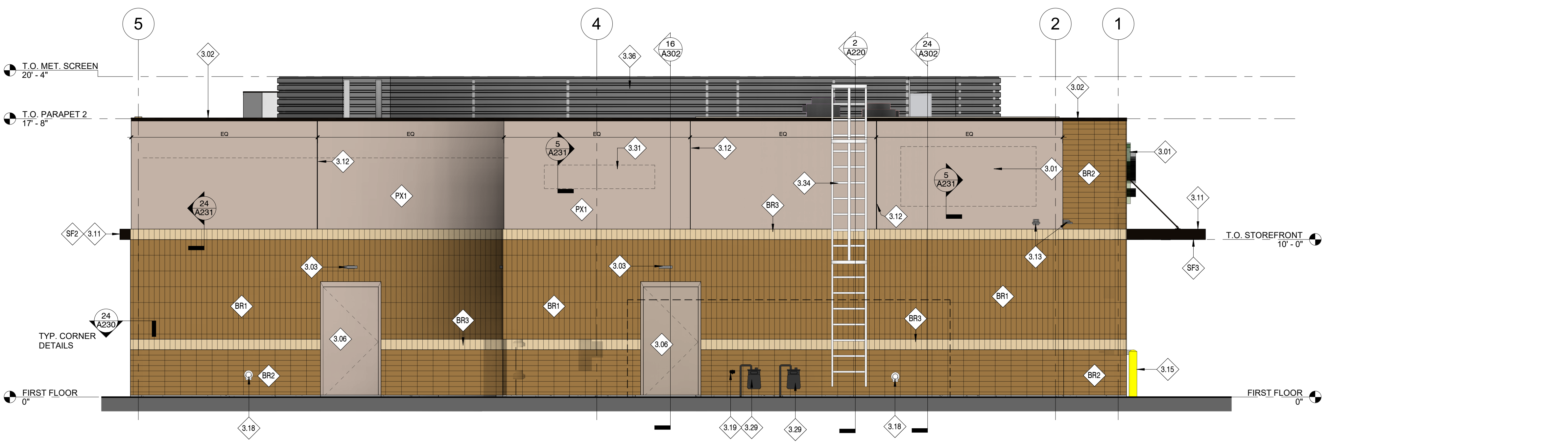
ELEVATION PERCENTAGES	
WINDOWS:	7%
EIFS:	39%
BRICK:	52%
GREEN:	0%
CANOPY:	1%
DOORS:	1%

TOTAL BUILDING	
5,237 SF TOTAL	
65% MIN GRADE A MATERIALS REQUIRED (BRICK + GLASS)	
REQUIRED: 3,404 SF (65%)	
PROVIDED: 3,581 SF (68%)	



22 SIDE ELEVATION - EAST
 1/4" = 1'-0"

ELEVATION PERCENTAGES	
DOORS:	5%
EIFS:	37%
BRICK:	58%
WOOD:	0%
GREEN:	0%
CANOPY:	0%



24 REAR ELEVATION - NORTH
 1/4" = 1'-0"



Memorandum

To: Heather Botten, Senior Planner
From: Alanna Sobottka, Civil Engineer
McKenzie L. Cafferty, Environmental Resources Manager
Copy: Tina Goodroad, Community Development Director
Julie Stahl, Finance Director
Zach Johnson, City Engineer
David Mathews, Building Official
Date: December 4th, 2025
Subject: CUP for a convenience restaurant with a drive-through

BACKGROUND

CA, Commercial Development has submitted a conditional use permit named CA Panera Lakeville. The parent parcel (PID No. 223203200010) consists of Outlot A, Heritage Commons 9th Addition. It is zoned PUD, Planned Unit Development. The proposed development is located east of Dodd Boulevard, north of and adjacent to 202nd Street (CSAH 50), and south of and adjacent to Heritage Drive.

The proposed development will be completed by:

Developer:
CA Commercial Development

Engineer: Westwood

SITE CONDITIONS

The site consists of undeveloped land. Two existing driveways are located on the north and northeast sides of the parcel. The northeast driveway is a shared access driveway with the parcel to the east. There are no existing wetlands or trees located in or near the parcel. The site is located within the South Creek Stormwater District with the site generally draining southwest to northeast.

EASEMENTS

Prior to issuance of the conditional use permit:

- A shared access easement shall be placed over the private parking lot.

STREET AND SUBDIVISION LAYOUT

202nd Street (CSAH 50)

Heritage Commons 9th Addition is located north of and adjacent to 202nd Street (CSAH 50), a minor arterial County roadway as identified in the City’s Transportation Plan. The Developer is responsible for any requirements stipulated by Dakota County.

Heritage Drive

Heritage Commons 9^h Addition is located south of and adjacent to Heritage Drive, a minor collector roadway as identified in the City’s Transportation Plan. The right-of-way for Heritage Drive was dedicated with the Heritage Commons final plat; no additional right-of-way is required with the final plat. No construction improvements are proposed with the CUP request.

Idealic Avenue

Heritage Commons 9th Addition is located east of and adjacent to Idealic Avenue, a private street as identified in the City’s Transportation Plan.

CONSTRUCTION ACCESS

Construction traffic access and egress for grading, utility and street construction shall be determined with the final construction plans approved with the final plat.

PARKS, TRAILS AND SIDEWALKS

The park land dedication was satisfied on the parent parcel as part of the phase one PUD for Heritage Commons in 2000 and will not be required with this final plat. Development of the site does not include the construction of public trails or sidewalks. Existing sidewalks are located along Idealic Avenue, Heritage Drive, and 202nd Street adjacent to the plat.

UTILITIES

SANITARY SEWER

The site is located within subdistrict ML-70050 of the Lake Marion sanitary sewer district as identified in the City’s Comprehensive Sanitary Sewer Plan. Wastewater will be conveyed to the MCES Farmington Interceptor monitored by meter M649 and continue to the Empire Wastewater Treatment Facility. Existing 8-inch sanitary sewer extends into the parcel from Heritage Drive on the northeast portion of the parcel. Development of the site includes the

construction of privately owned and maintained 6-inch sanitary sewer to provide service to the development. The construction of utility services shall not be permitted prior to recording of the final plat and approval of construction plans by City Engineering.

The Sanitary Sewer Availability Charge will be collected with subsequent phases of the Heritage Commons preliminary plat at the time they are final platted into lots and blocks, at the rate in effect at the time of final plat approval.

WATERMAIN

Existing 8-inch watermain extends into the parcel from Heritage Drive on the north portion of the parcel. Development of the site will include the construction of 2-inch privately owned and maintained watermain to provide services to the development. The construction of utility service shall not be permitted prior to recording of the final plat and approval of construction plans by City Engineering.

DRAINAGE AND GRADING

The property is located within subdistricts SC-52 of the South Creek Drainage District, as identified in the City's Water Resources Management Plan.

The site contains less than one acre of site disturbance, however is identified as part of a common plan of development of greater than one acre. A National Pollution Discharge Elimination System General Stormwater Permit for construction activity is required from the Minnesota Pollution Control Agency for areas exceeding one acre being disturbed by grading. A copy of the Notice of Stormwater Permit Coverage must be submitted to the City upon receipt from the MPCA.

The applicant shall enter into a Stormwater Maintenance Agreement over the stormwater management areas prior to issuance of a Conditional Use Permit. A grading permit is required to be obtained from the City Engineering Department prior to construction commencing on the site. To issue a grading permit, the applicant must submit a revised planset that conforms to all city stormwater ordinances.

STORM SEWER

The applicant shall submit a planset that conforms to all city stormwater ordinances prior to issuance of a CUP. The construction of utility service shall not be permitted prior to recording of the final plat and approval of construction plans by City Engineering.

The Trunk Storm Sewer Area Charge has not been collected on the parent parcel and will be collected with subsequent phases of the Heritage Commons preliminary plat at the time they are final platted into lots and blocks, at the rate in effect at the time of final plat approval.

FEMA FLOODPLAIN ANALYSIS

The property is shown on the Flood Insurance Rate Map (Map Nos. 27037C0211E; Eff. Date 12/2/2011) as Zone X by the Federal Emergency Management Agency (FEMA). Based on this designation, there are no areas in the plat located within a Special Flood Hazard Area (SFHA), as determined by FEMA.

WETLANDS

There are no wetlands on the site.

TREE PRESERVATION

There are no trees within the parent parcel.

EROSION CONTROL

The plans include a detailed erosion and sediment control plan. The Developer is responsible for meeting all the requirements of the MPCA Construction Permit. The permit requires that all erosion and sediment best management practices (BMPs) be clearly outlined in a site's SWPPP. Additional erosion control measures may be required during construction as deemed necessary by City staff. Any additional measures required shall be installed and maintained by the Developer. Changes made throughout construction must be documented in the SWPPP. An on-site preconstruction meeting shall be held with the City prior to work commencing on the site. No grading can take place until the City has reviewed and approved the SWPPP for the site.

The MS4 Administration Fee has not been collected on the parent parcel and shall be paid with the final plat, calculated at the rate in effect at that time.

RECOMMENDATION

Engineering recommends approval of the CUP subject to the stipulations outlined in this report. Applicable securities and cash requirements will be due with the final plat application.

CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA

CA COMMERCIAL DEVELOPMENT CONDITIONAL USE PERMIT
FINDINGS OF FACT AND RECOMMENDATION

On December 18, 2025, the Lakeville Planning Commission met at its regularly scheduled meeting to consider the application of CA Commercial Development for a conditional use permit to allow the construction of a convenience restaurant with a drive-through service window. The Planning Commission conducted a public hearing on the conditional use permit application preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The subject property is located in Comprehensive Planning District 4, which guides the property for Commercial.
2. The subject site is zoned PUD, Planned Unit Development.
3. Legal description of the property is:

Outlot A, Heritage Commons 9th Addition, Dakota County, Minnesota

4. Chapter 4 of the City of Lakeville Zoning Ordinance provides that a conditional use permit may not be issued unless certain criteria are satisfied. The criteria and our findings regarding them are:
 - a. **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.**

Finding: The proposed convenience restaurant use is consistent with the guided commercial use of the property.

- b. **The proposed use is or will be compatible with present and future land uses of the area.**

Finding: The proposed convenience restaurants will be compatible with the existing and future land uses in the area.

- c. **The proposed use conforms to all performance standards contained in the Zoning Ordinance and the City Code.**

Finding: Provided compliance with the stipulations of the conditional use permit and PUD ordinance, the proposed use will conform to all other performance standards contained in the Zoning Ordinance and the City Code.

- d. **The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.**

Finding: The proposed uses can be accommodated with existing public services and will not over burden the City's service capacity.

- e. **Traffic generated by the proposed use is within capabilities of streets serving the property.**

Finding: The streets serving this site are adequate to accommodate traffic from the proposed use.

- 5. The report dated December 4, 2025, prepared by Heather Botten, Senior Planner is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the conditional use permit conditioned upon compliance with the planning report prepared by Senior Planner, Heather Botten dated December 4, 2025.

DATED: December 18, 2025

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair



Memorandum

To: Planning Commission
From: Kris Jenson, Planning Manager
Heather Botten, Senior Planner
Date: December 10, 2025
Subject: Packet Material for the December 18, 2025 Planning Commission Meeting
Agenda Item: Veridian Credit Union Conditional Use Permit
Application Action Deadline: January 17, 2026

INTRODUCTION

Andrea Rand, ISG, on behalf of Veridian Credit Union, has submitted an application for a conditional use permit to allow a drive-through service window accessory to an allowed use (credit union) in the M-2, Mixed Use Cedar Corridor District. The credit union is proposed on Lot 1, Block 1, Marketplace at Cedar, which is east of Cedar Avenue (CSAH 23) and south of 179th Street (CSAH 9). The City Council recently approved the Marketplace at Cedar final plat.

The site development plans have been reviewed by the Community Development and Engineering Division staff. Given that there are no public street, stormwater, or utility improvements proposed to be done by the applicant, the Engineering Division has not prepared a staff memo for the proposed development.

EXHIBITS

- A. Location Map
- B. Zoning Map
- C. Site Plan
- D. Grading Plan
- E. Site Restoration and Planting Plan
- F. Building Elevations

PLANNING ANALYSIS

Surrounding Land Uses. The proposed property is zoned M-2, Mixed Use Cedar Corridor District and is guided CMU, Corridor Mixed Use. The site abuts the following existing or planned land uses:

Direction	Existing Use	Land Use Plan	Zoning
North	179 th Street (CSAH 9), McDonalds (Crossroads)	C, Commercial	PUD
South	Vacant Commercial Parcel	CMU, Corridor Mixed Use	M-2, Mixed Use CCD
East	Vacant Commercial Parcel	CMU, Corridor Mixed Use	M-2, Mixed Use CCD
West	Cedar Avenue (CSAH 23), Central Maintenance Facility	Public and Quasi-Public	P/OS, Public and Open Space

Setbacks. The M-2 District requires a 30-foot structure setback when abutting a major collector or arterial street, with 10-foot setbacks to all other property lines. Parking stalls must be setback 15 feet from public rights-of-way and five feet from all other property lines. The proposed building and parking area complies with the required setbacks of the M-2 District.

Grading, Drainage and Erosion Control. The conditional use permit plans include grading, drainage and erosion control, and private utilities construction associated with the proposed site plan. Stormwater design and installation is proposed with the Marketplace at Cedar plat. Jon Nelson, Assistant City Engineer, has reviewed the grading, drainage and erosion control, and utility plans and provides no additional comment.

CONDITIONAL USE PERMIT

Section 11-66-7.F of the Zoning Ordinance allows drive-through service windows accessory to an allowed use, other than convenience food in the M-2, Mixed Use District subject to meeting the following four criteria:

1. Drive Through Lane: A segregated automobile stacking lane sufficient for the traffic generated by the use shall be provided for the service window.

The onsite parking does not interfere with the traffic circulation patterns. The stacking areas to enter the drive-through windows are separated from the site circulation for vehicles that are entering or existing the site.

2. Traffic Control: The stacking lane and its access shall be designed to control traffic in a manner to protect the pedestrians, buildings and green area on the site.

The stacking lane is on the east side of the building and is separated from pedestrian access, parking, and green areas on the property are located on the north, west, and south side of the building.

3. Use Of Street: No part of the public street or boulevard shall be used for stacking of automobiles.

Access to this site is provided by a private drive, thus no part of a public street or boulevard will be used for the stacking of automobiles.

4. The drive through service window and drive through lane shall be screened from view of adjacent properties and public rights-of-way in accordance with section 11-21-9 of this title.

Provided compliance with required landscaping revisions noted below, the site will provide screening from the right-of-way.

GENERAL PERFORMANCE STANDARDS

In addition to the criteria listed above, Section 11-4-7 lists the following performance standards for conditional use permits:

- A. The use and the site in question shall be served by a street of sufficient capacity to accommodate the type and volume of traffic which would be generated and adequate right of way shall be provided.

Access to the overall site is provided by Glanshaw Avenue, a local commercial street, which connects with Glacier Way to the east and 181st Street to the south. In 2027, a traffic signal will be added at the intersection of Glacier Way and 179th Street (CSAH 9), which will improve access to the Marketplace At Cedar site. There is also a private road that will allow right-in/right-out access to northbound Cedar Avenue (CSAH 23). The credit union site is served by a private roadway which provides access to most of the Marketplace At Cedar parcels. These public streets and private roads are and will be of sufficient capacity to serve the site.

- B. The site design for access and parking shall minimize internal as well as external traffic conflicts and shall be in compliance with chapter 19 of the Zoning Ordinance.

Access to the overall development was discussed in depth with Marketplace At Cedar developer and Dakota County transportation staff to balance appropriate access to the site given the constraints of direct access from county roadways. The driveway to the site will be shared with the parcel to the east.

- C. If applicable, a pedestrian circulation system shall be clearly defined and appropriate provisions made to protect such areas from encroachment by parked or moving vehicles.

A sidewalk proposed to be located just south of the property line will provide a connection to the existing bituminous trail along the east side of Cedar Avenue. The sidewalk runs along the north side of the private drive, giving pedestrians a separated access through the site.

D. Adequate off street parking and off street loading shall be provided in compliance with chapters 19 and 20 of the Zoning Ordinance.

Because the building is less than 10,000 square feet in size, the site requires one parking space per 200 square feet of net floor area. Parking is calculated on the floor area of the building (3,029 square feet) after a 10% reduction, which in this case is 2,726 square feet. The site requires a minimum of 14 parking spaces. The Zoning Ordinance allows a maximum of 125% of the minimum spaces before a conditional use permit is required. The site plan shows 17 parking spaces, complying with code requirements. The off-street parking spaces and drive aisles meet the Zoning Ordinance requirements for size and dimensions.

E. Loading areas and drive-up facilities shall be positioned so as to minimize internal site access problems and maneuvering conflicts, to avoid visual or noise impacts on any "adjacent" residential use or district, and provided in compliance with chapter 20 of this title.

Not applicable

F. Whenever a nonresidential use "is adjacent to" a residential use or district, a buffer area with screening and landscaping shall be provided in compliance with chapter 21 of this title.

Not applicable

G. General site screening and landscaping shall be provided in compliance with chapter 21 of this title.

The City Forester reviewed the landscape plan, which provides for foundation plantings around the building. Prior to City Council consideration, it must be revised to incorporate overstory trees along the north, west, and south sides of the parcel at a spacing not to exceed 40 feet, as per Section 11-21-9 of the Zoning Ordinance. Screening landscaping must also be provided near the mechanical equipment in the southwest portion of the site as well as around the trash enclosure. Plantings on the site must adhere to the plan and provide a as-built landscape plan prior to inspection of the installed landscaping. An escrow for the landscape materials and installation amount will be collected with the building permit.

H. All exterior lighting shall be directed so as not to cast glare toward or onto the public right of way or neighboring residential uses or districts, and shall be in compliance with section 11-16-17 of the Zoning Ordinance.

A photometric lighting plan was submitted, which shows the proposed light levels for the entire site as well as the location of the light poles, which are proposed to be 28 feet in height. The Zoning Ordinance limits exterior lighting to not more than one foot-candle at property lines using fixtures with downcast lighting and horizontal shielding and not to exceed a total height of 35 feet. The proposed lighting plan complies with Sections 11-16-17.B of the Zoning Ordinance.

I. Potential exterior noise generated by the use shall be identified and mitigation measures as may be necessary shall be imposed to ensure compliance with section 11-16-25 of the Zoning Ordinance.

Any noise that may come from the drive-through lanes would be consistent with similar commercial uses allowed in the M-2 zoning district.

J. The site drainage system shall be subject to the review and approval of the city engineer.

The Engineering Division has reviewed and approved the site drainage and utility plans.

K. The architectural appearance and functional design of the building and site shall not be so dissimilar to the existing or potential buildings and area so as to cause a blighting influence. All sides of the principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment.

The applicant has provided colored renderings of each building elevation illustrating a variety of materials and color pallet as required by Section 11-17-9 of the Zoning Ordinance. All sides have 75 – 87% Grade A materials, exceeding the minimum requirements of Section 11-17-9.D.1 of the Zoning Ordinance. The exterior finish for the proposed building complies with the requirements of the Zoning Ordinance.

The proposed building is a nearly 26-foot tall, one-story structure that complies with the Zoning Ordinance requirements for height in the M-2 District.

L. Provisions shall be made for daily litter control, an interior location for recycling, and trash handling and storage or an outdoor, enclosed receptacle area shall be provided in compliance with section 11-18-11 of the Zoning Ordinance.

Plans indicate that the trash enclosure will have a stone veneer which is consistent with the principal building as well as a maintenance-free gate, which complies with Zoning Ordinance requirements. The proposed location of the enclosure is adjacent to 179th Street, which is considered one of the front yards for this parcel. Waste enclosures are normally placed in the side or rear yards of a site so as to not be prominently visible on a site. On this site, the grade north of drive aisle slopes up to a retaining wall, the top of which will be approximately the same height as the top of the trash enclosure. The Developer will revise the landscape plan to provide additional plantings between the enclosure and the retaining wall for screening. The trash enclosure will be far less visible in this location than if it were to be moved to the south side of the site.

M. All signs and informational or visual communication devices shall be in compliance with chapter 23 of the Zoning Ordinance.

All proposed wall signs are subject to the allowances established for the M-2 District by Section 11-23-19.D of the Zoning Ordinance. Wall signs shown on the elevations are illustrative only; no approval for signs is granted as a part of the conditional use permit review. The Zoning Ordinance allows a corner lot to have wall signs not to exceed a total of 200 gross square feet. A freestanding sign is not permitted for the property per the M-2 District standards. Sign permits are required to be issued prior to the installation of any signs on the building.

N. The use and site shall be in compliance with any federal, state or county law or regulation that is applicable and any related permits shall be obtained and documented to the city.

The property owner is required to obtain any permits from Metropolitan Council or other agencies, if applicable.

O. Any applicable business licenses mandated by this code are approved and obtained.

Not applicable

P. The hours of operation may be restricted when there is judged to be an incompatibility with a residential use or district.

The hours of operation are not expected to be incompatible with the surrounding commercial area.

Q. The use complies with all applicable performance standards of the zoning district in which it is located and where applicable, any nonconformities shall be eliminated.

Not applicable

R. All additional conditions pertaining to a specific site are subject to change when the council, upon investigation in relation to a formal request, finds that the general welfare and public betterment can be served as well or better by modifying or expanding the conditions set forth herein.

Not applicable

RECOMMENDATION

The Veridian Credit Union conditional use permit is consistent with the requirements of the Zoning Ordinance. Community Development staff recommends approval subject to the following conditions:

1. The site shall be developed in accordance with the plans approved by the City Council.
2. The recording of the Marketplace At Cedar final plat.
3. Signs shall comply with Zoning Ordinance requirements and receive sign permit approval prior to installation.
4. A security for landscaping must be submitted with the building permit and an as-built plan of the landscaping submitted prior to inspection.
5. Prior to consideration by the City Council, the landscape plan must be revised to show the following:
 - Perimeter overstory trees not more than 40 feet apart.
 - Screening of the mechanical equipment/transformer
 - Screening on the north side of the trash enclosure.

Findings of Fact for approval of the conditional use permit request are attached for consideration.



CEDAR AVENUE (CSAH 23)

GLASGOW AVE

179TH ST (CSAH 9)

**Veridian CU -
Approximate
location**

GLACIERWAY

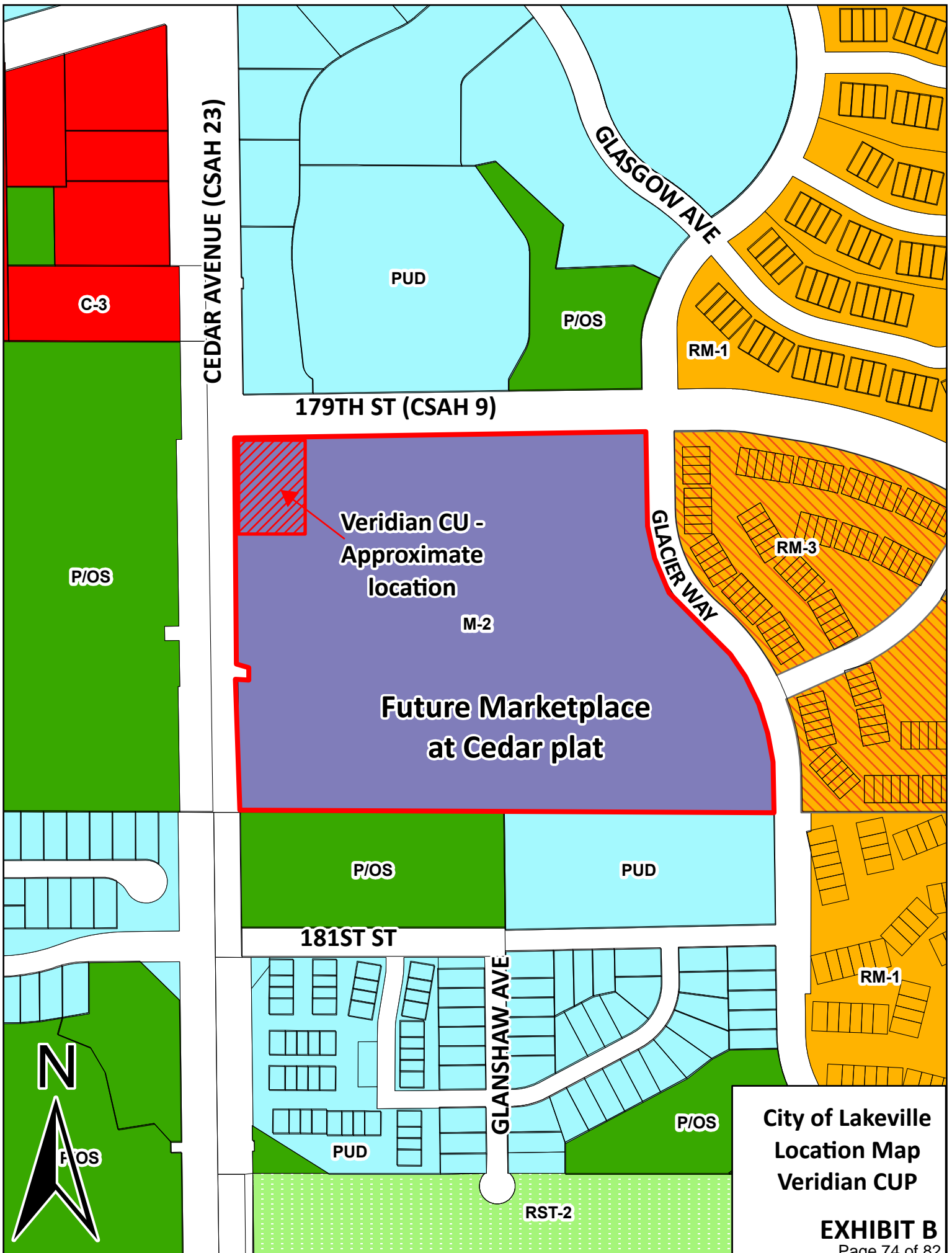
**Future Marketplace
at Cedar plat**

181ST ST

GLANSHAW AVE

**City of Lakeville
Location Map
Veridian CUP**

EXHIBIT A



City of Lakeville
 Location Map
 Veridian CUP

EXHIBIT B
 Page 74 of 82



PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	CONCRETE PAVEMENT
	ISLAND CONCRETE PAVEMENT
	CONCRETE WALK
	TURN DOWN CONCRETE WALK
	REVERSE PITCH CONCRETE CURB AND GUTTER

PARKING DATA	
LAND USE CLASSIFICATION	RETAIL SALES AND SERVICE USES OTHER THAN SPECIFICALLY DEFINED BY THIS SECTION
PARKING SPACES REQUIRED (CODE)	1 STALL PER 200 SF
GOVERNING INFORMATION	CITY CODE SECTION 11-19-13
MIN PARKING SPACES REQUIRED	14
MAX PARKING SPACES REQUIRED	17
PARKING STALLS PROVIDED	
STANDARD	15
ACCESSIBLE	2
TOTAL	17

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PROJECT
VERIDIAN CREDIT UNION

LAKEVILLE MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
10/10/25	CITY SUBMITTAL #1	MJE
11/18/25	CITY SUBMITTAL #2	MJE

PROJECT NO.	25-32406
FILE NAME	32406 C3-SITE
DRAWN BY	JS, SAK
DESIGNED BY	JS
REVIEWED BY	MJE
ORIGINAL ISSUE DATE	-/-/-
CLIENT PROJECT NO.	-

TITLE
SITE PLAN

SHEET
C3-10

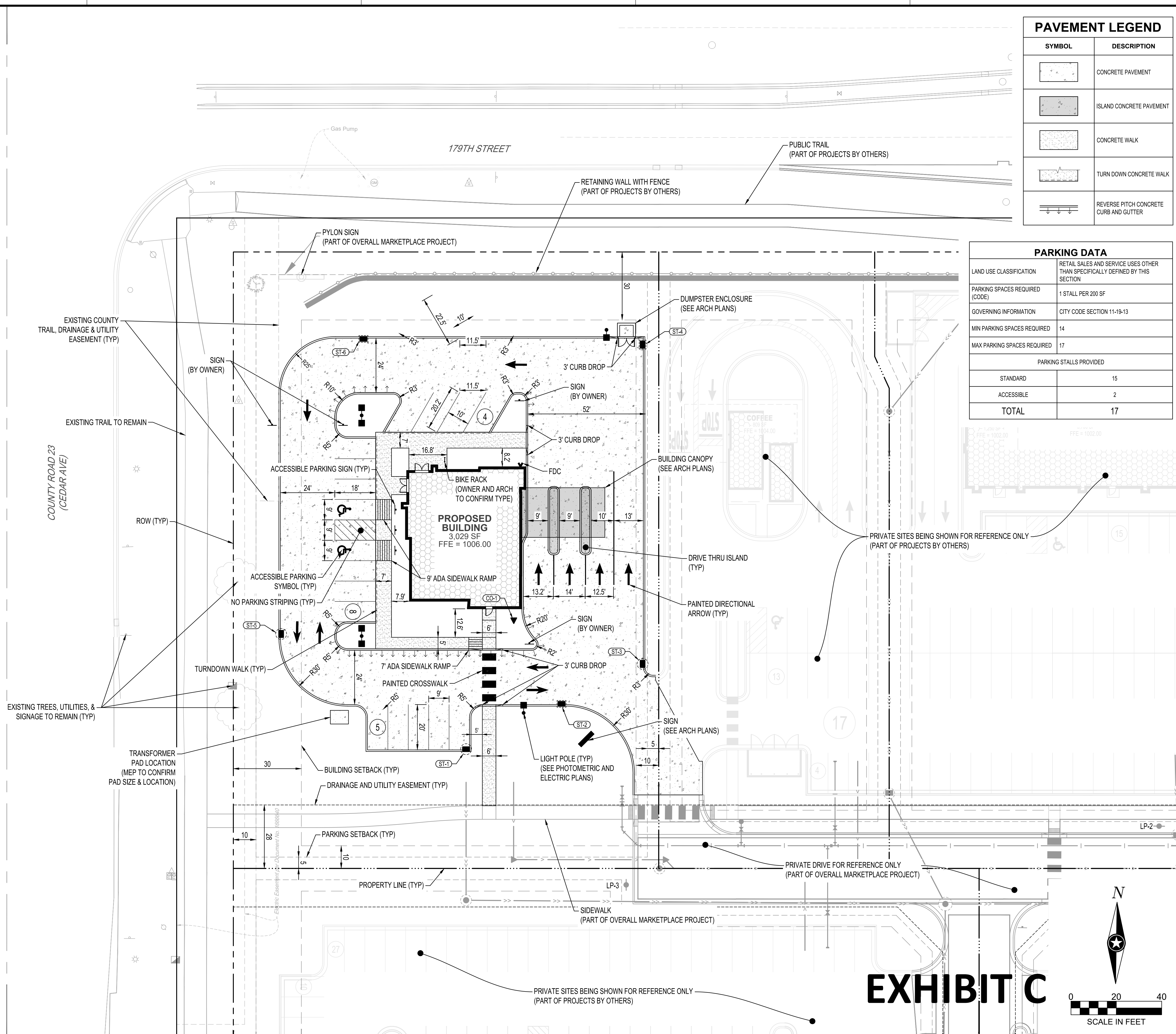
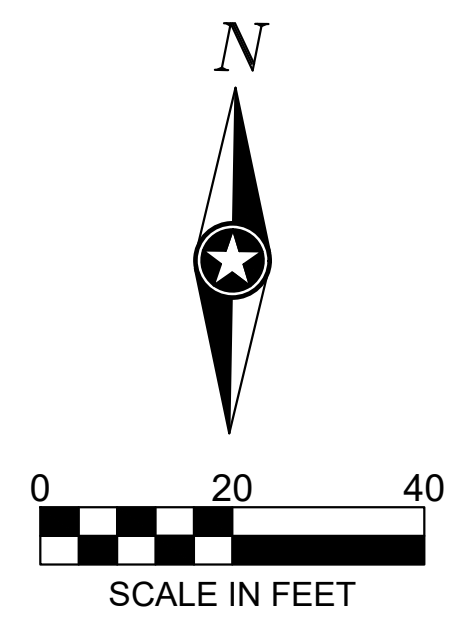


EXHIBIT C

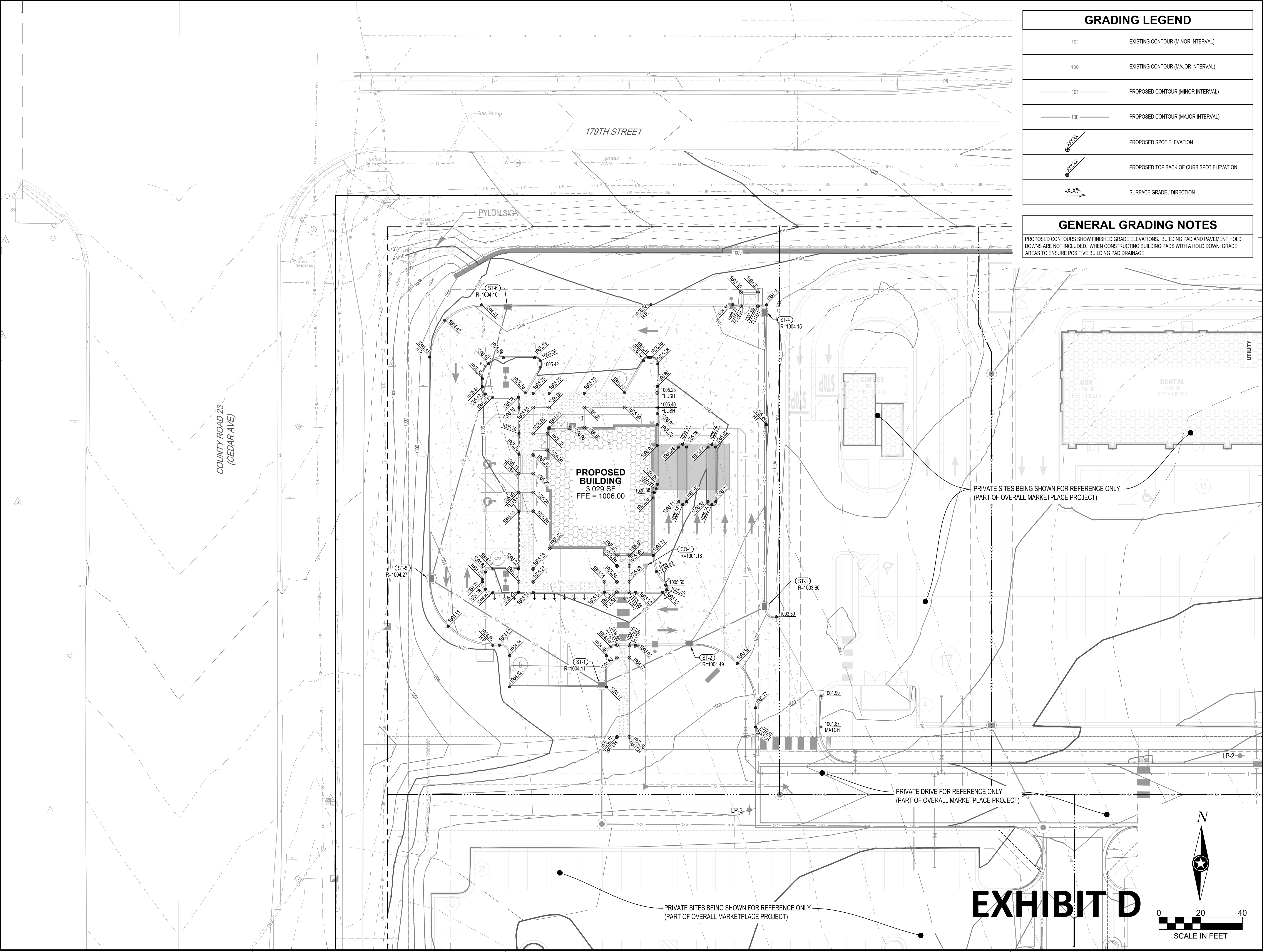


PRELIMINARY NOT FOR CONSTRUCTION



GRADING LEGEND	
	EXISTING CONTOUR (MINOR INTERVAL)
	EXISTING CONTOUR (MAJOR INTERVAL)
	PROPOSED CONTOUR (MINOR INTERVAL)
	PROPOSED CONTOUR (MAJOR INTERVAL)
	PROPOSED SPOT ELEVATION
	PROPOSED TOP BACK OF CURB SPOT ELEVATION
	SURFACE GRADE / DIRECTION

GENERAL GRADING NOTES
 PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNS ARE NOT INCLUDED. WHEN CONSTRUCTING BUILDING PADS WITH A HOLD DOWN, GRADE AREAS TO ENSURE POSITIVE BUILDING PAD DRAINAGE.



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PROJECT
VERIDIAN CREDIT UNION

LAKEVILLE MINNESOTA

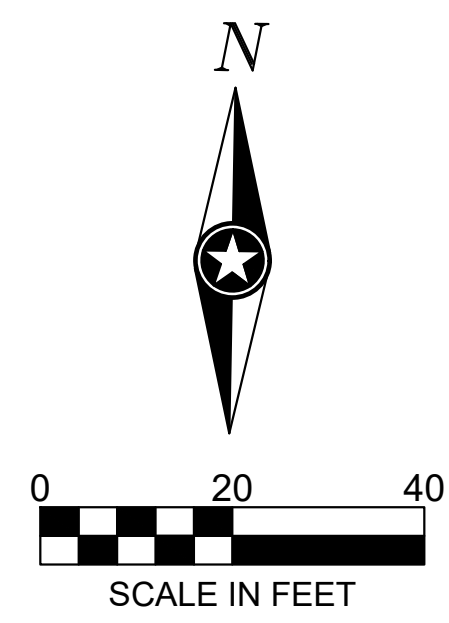
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DATE	DESCRIPTION	BY
10/10/25	CITY SUBMITTAL #1	MJE
11/18/25	CITY SUBMITTAL #2	MJE

PROJECT NO. 25-32406
 FILE NAME 32406 C4-GRADE
 DRAWN BY JS, SAK
 DESIGNED BY JS
 REVIEWED BY MJE
 ORIGINAL ISSUE DATE -/-/-
 CLIENT PROJECT NO. -

TITLE
GRADING PLAN

SHEET
C4-10

EXHIBIT D



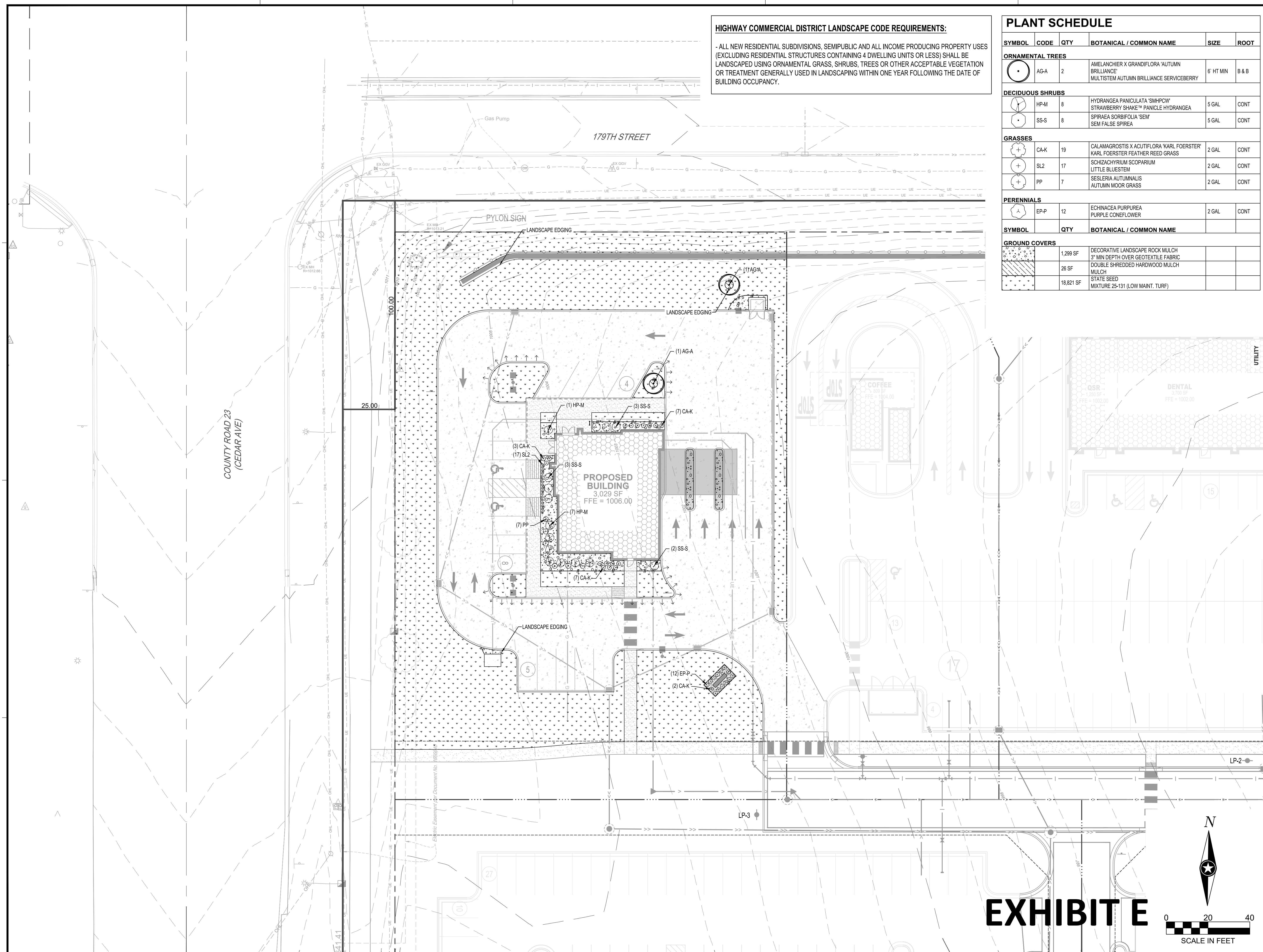
PRELIMINARY NOT FOR CONSTRUCTION

HIGHWAY COMMERCIAL DISTRICT LANDSCAPE CODE REQUIREMENTS:

- ALL NEW RESIDENTIAL SUBDIVISIONS, SEMIPUBLIC AND ALL INCOME PRODUCING PROPERTY USES (EXCLUDING RESIDENTIAL STRUCTURES CONTAINING 4 DWELLING UNITS OR LESS) SHALL BE LANDSCAPED USING ORNAMENTAL GRASS, SHRUBS, TREES OR OTHER ACCEPTABLE VEGETATION OR TREATMENT GENERALLY USED IN LANDSCAPING WITHIN ONE YEAR FOLLOWING THE DATE OF BUILDING OCCUPANCY.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
ORNAMENTAL TREES					
(Symbol)	AG-A	2	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' MULTISTEM AUTUMN BRILLIANCE SERVICEBERRY	6' HT MIN	B & B
DECIDUOUS SHRUBS					
(Symbol)	HP-M	8	HYDRANGEA PANICULATA 'SMHPCW' STRAWBERRY SHAKE™ PANICLE HYDRANGEA	5 GAL	CONT
(Symbol)	SS-S	8	SPIRAEA SORBIFOLIA 'SEM' SEM FALSE SPIREA	5 GAL	CONT
GRASSES					
(Symbol)	CA-K	19	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	2 GAL	CONT
(Symbol)	SL2	17	SCHIZACHYRIUM SCOPARIUM LITTLE BLUESTEM	2 GAL	CONT
(Symbol)	PP	7	SESLERIA AUTUMNALIS AUTUMN MOOR GRASS	2 GAL	CONT
PERENNIALS					
(Symbol)	EP-P	12	ECHINACEA PURPUREA PURPLE CONEFLOWER	2 GAL	CONT
GROUND COVERS					
(Symbol)		1,299 SF	DECORATIVE LANDSCAPE ROCK MULCH 3" MIN DEPTH OVER GEOTEXTILE FABRIC		
(Symbol)		26 SF	DOUBLE SHREDDED HARDWOOD MULCH MULCH		
(Symbol)		18,821 SF	STATE SEED MIXTURE 25-131 (LOW MAINT. TURF)		



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PROJECT
VERIDIAN CREDIT UNION
LAKEVILLE MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
10/10/25	CITY SUBMITTAL #1	MJE
11/18/25	CITY SUBMITTAL #2	MJE

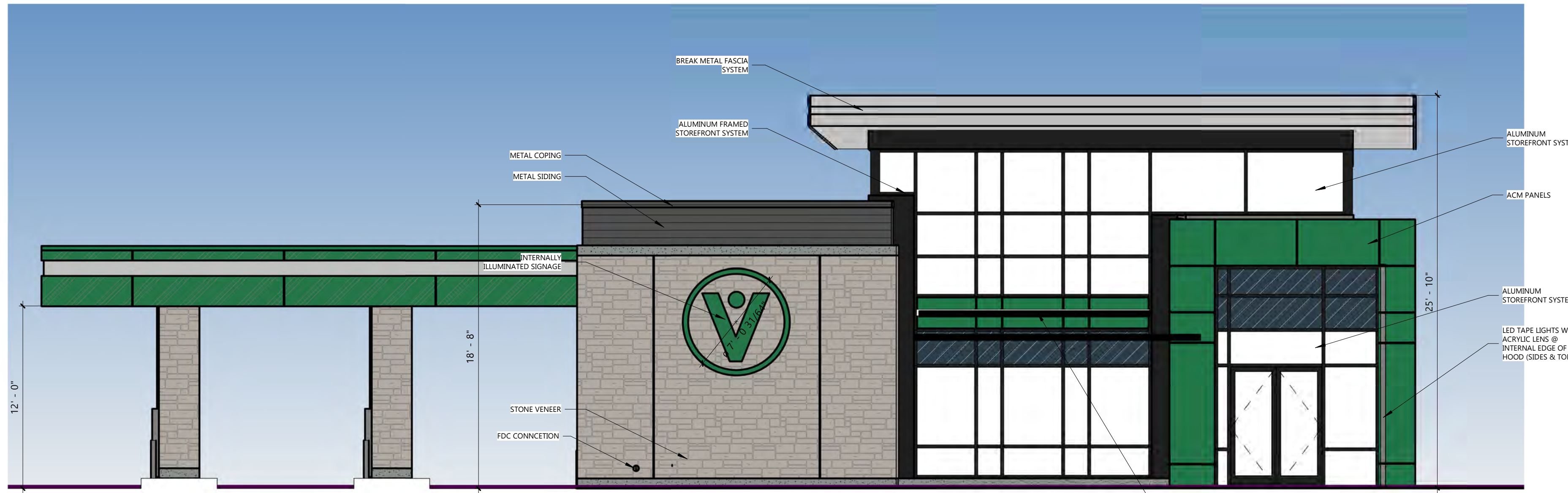
PROJECT NO. 25-32406
FILE NAME 32406 CS-LAND
DRAWN BY JS, SAK
DESIGNED BY JS
REVIEWED BY MJE
ORIGINAL ISSUE DATE --/--
CLIENT PROJECT NO. -

TITLE
SITE RESTORATION AND PLANTING PLAN

SHEET
C5-10

EXHIBIT E

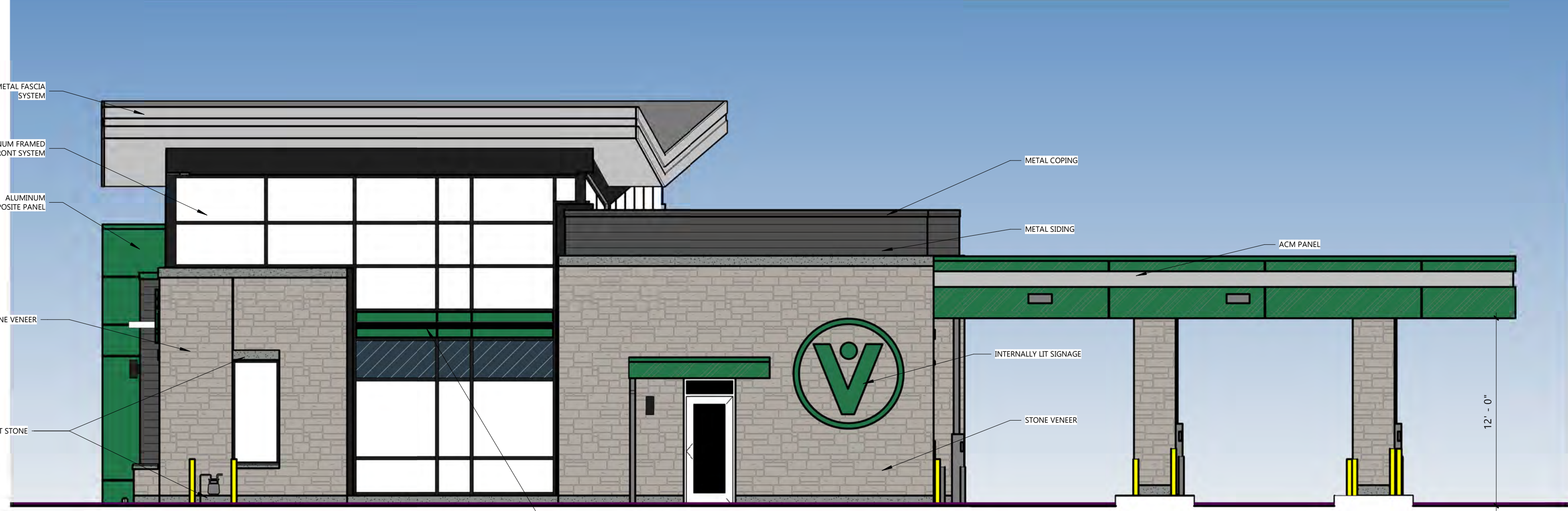
PRELIMINARY NOT FOR CONSTRUCTION



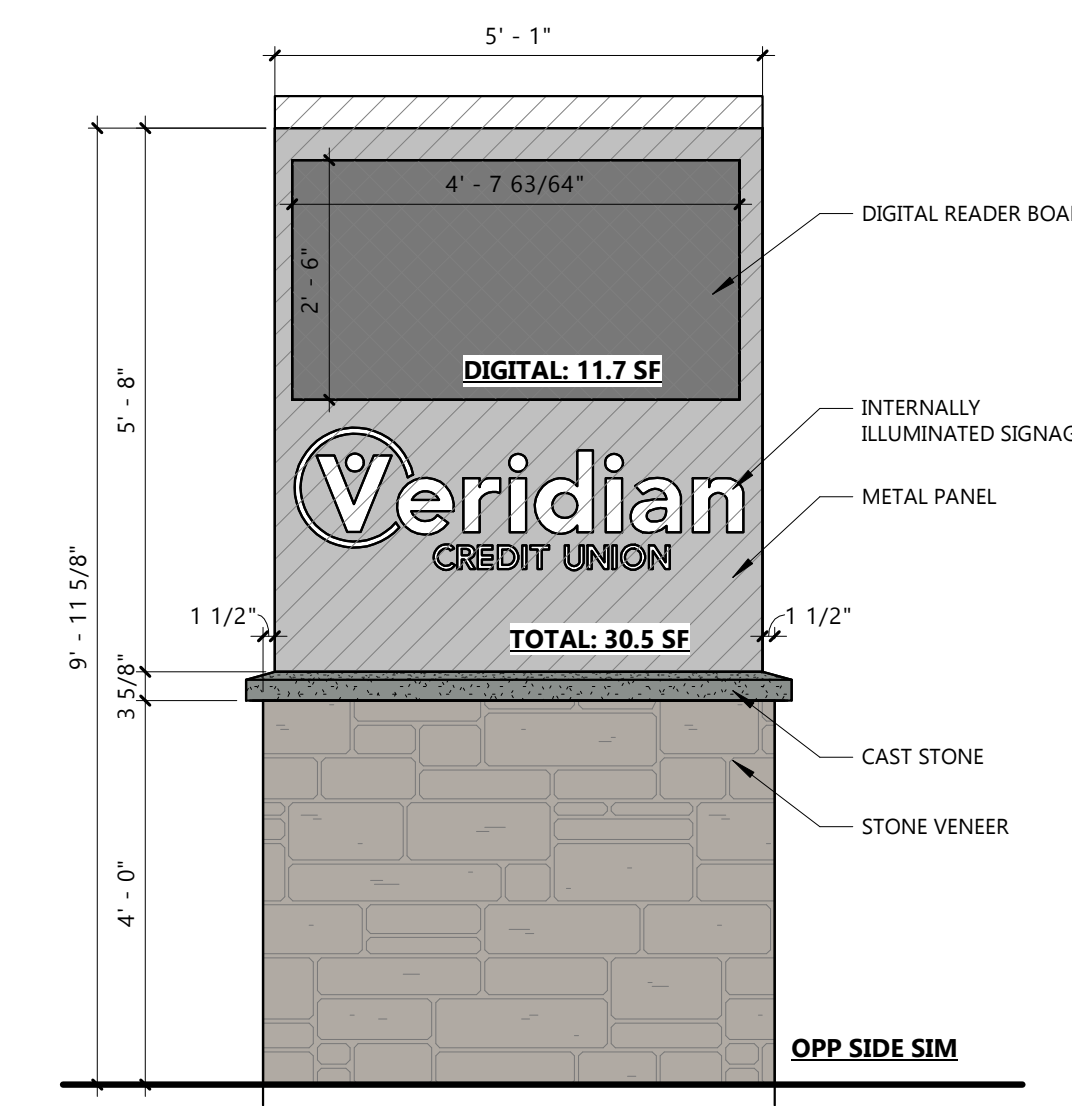
A1 NORTH ELEVATION PRESENTATION
3/16" = 1'-0"

EXTERIOR MATERIAL AREAS			
NORTH: 1158 SF	EAST: 1541 SF	SOUTH: 1162 SF	WEST: 1664 SF
<p>STONE VENEER: CLASS 1 AREA: 563 SF PERCENTAGE: 48%</p> <p>ACM PANEL: CLASS 2 AREA: 57 SF PERCENTAGE: 5%</p> <p>ACM PANEL: CLASS 2 AREA: 70 SF PERCENTAGE: 6%</p> <p>METAL SIDING: CLASS 2 AREA: 24 SF PERCENTAGE: 2%</p> <p>CAST STONE: CLASS 1 AREA: 30 SF PERCENTAGE: 3%</p> <p>WINDOW ASSEMBLY (CURTAIN WALL / STOREFRONT): CLASS 1 AREA: 416 SF PERCENTAGE: 36%</p> <p>CLASS 1: 87% CLASS 2: 13%</p>	<p>STONE VENEER: CLASS 1 AREA: 300 SF PERCENTAGE: 20%</p> <p>ACM PANEL: CLASS 2 AREA: 124 SF PERCENTAGE: 8%</p> <p>ACM PANEL: CLASS 2 AREA: 120 SF PERCENTAGE: 7%</p> <p>METAL SIDING: CLASS 2 AREA: 138 SF PERCENTAGE: 9%</p> <p>CAST STONE: CLASS 1 AREA: 85 SF PERCENTAGE: 6%</p> <p>WINDOW ASSEMBLY (CURTAIN WALL / STOREFRONT): CLASS 1 AREA: 765 SF PERCENTAGE: 50%</p> <p>CLASS 1: 75% CLASS 2: 25%</p>	<p>STONE VENEER: CLASS 1 AREA: 275 SF PERCENTAGE: 24%</p> <p>ACM PANEL: CLASS 2 AREA: 82 SF PERCENTAGE: 7%</p> <p>ACM PANEL: CLASS 2 AREA: 77 SF PERCENTAGE: 7%</p> <p>METAL SIDING: CLASS 2 AREA: 50 SF PERCENTAGE: 4%</p> <p>CAST STONE: CLASS 1 AREA: 40 SF PERCENTAGE: 3%</p> <p>WINDOW ASSEMBLY (CURTAIN WALL / STOREFRONT): CLASS 1 AREA: 638 SF PERCENTAGE: 55%</p> <p>CLASS 1: 82% CLASS 2: 18%</p>	<p>STONE VENEER: CLASS 1 AREA: 911 SF PERCENTAGE: 55%</p> <p>ACM PANEL: CLASS 2 AREA: 90 SF PERCENTAGE: 5%</p> <p>ACM PANEL: CLASS 2 AREA: 155 SF PERCENTAGE: 9%</p> <p>METAL SIDING: CLASS 2 AREA: 160 SF PERCENTAGE: 10%</p> <p>CAST STONE: CLASS 1 AREA: 85 SF PERCENTAGE: 5%</p> <p>WINDOW ASSEMBLY (CURTAIN WALL / STOREFRONT): CLASS 1 AREA: 263 SF PERCENTAGE: 16%</p> <p>CLASS 1: 76% CLASS 2: 24%</p>

EXTERIOR MATERIAL CALCS
1/8" = 1'-0"



A3 SOUTH ELEVATION PRESENTATION
3/16" = 1'-0"



B2 MONUMENT SIGN ELEVATION
1/2" = 1'-0"

EXTERIOR MATERIAL LEGEND			
	STONE VENEER: EDWARDS STONE 'SUNSET BLEND'	MORTAR: UM3410 - 'CALAMUS'	METAL SIDING: LUX ARCHITECTURAL PRODUCTS 'BRUSHED CARBON' 6" LAP PATTERN (HORIZONTAL)
	ACM PANEL (DRIVE-UP CANOPY & ENTRY): ALPOLIC 'BGN GREEN'		CAST STONE: CUSTOM CAST STONE 'SANDSTONE'
	ACM PANEL (ACCENT): ALPOLIC 'AGT ALUMINUM GREY'		METAL COPING / BREAK METAL: PAC CLAD OR EQUAL 'MIDNIGHT BRONZE'
GENERAL NOTES:			
1. PROVIDE SUNSHADES EQUIVALENT TO THE WINDOW ASSEMBLY CHOSEN. REFER TO ELEVATIONS FOR SUNSHADE LOCATION. COLOR SHALL MATCH WINDOW FRAMES.			
2. LIGHT FIXTURES ARE TO BE SIMILAR IN SIZE, SHAPE AND FUNCTION AS INDICATED IN THE DRAWINGS.			
WINDOW ASSEMBLY (CURTAINWALL / STOREFRONT): KAWNEER OR EQUAL 'BLACK ANODIZED' ALUMINUM GLAZING: VITRO GLASS; CLEAR			



B1 EAST ELEVATION PRESENTATION
3/16" = 1'-0"



C1 WEST ELEVATION PRESENTATION
3/16" = 1'-0"



Building Entrance (Day): Green Alpolc metal panels frame the aluminum glass system. Carbon colored aluminum siding breaks up overall facade. A stone blend anchors the corner of the building as well as provides an area for signage.



Southwest Elevation: The carbon colored aluminum siding frames a natural stone blend that is used across the elevation, broken by clearstory windows that provide natural light to the Teller Work Area. Back-lit signage is also used on the west elevation. Green LED tape light is placed at the top of the stone band which provides additional branding and visual interest to the building at night.



Drive-Up Canopy: Green Alpolc metal panels continue to pull the Veridian marketing colors onto the north elevation. The canopy will contain the pneumatic tubes as well as can light fixtures as well as green tape lights along the interior edge for nighttime lighting.

**CITY OF LAKEVILLE
DAKOTA COUNTY, MINNESOTA**

**CONDITIONAL USE PERMIT
VERIDIAN CREDIT UNION
FINDINGS OF FACT AND RECOMMENDATION**

On December 18, 2025, the Lakeville Planning Commission met at its regularly scheduled meeting to consider the application of Veridian Credit Union for a conditional use permit to allow a drive through service window accessory to an allowed use (credit union) within the M-2, Mixed Use Cedar Corridor District, south of 179th Street (CSAH 9) and east of Cedar Avenue (CSAH 23). The Planning Commission conducted a public hearing on the conditional use permit application preceded by published and mailed notice. The applicant was present and the Planning Commission heard testimony from all interested persons wishing to speak.

FINDINGS OF FACT

1. The subject property is located in Comprehensive Planning District 5, which guides the property for Corridor Mixed Use.
2. The subject site is zoned M-2, Mixed Use Cedar Corridor District.
3. Legal description of the property will be, upon the recording of the Marketplace at Cedar final plat:

Lot 1, Block 1, Marketplace at Cedar

4. Chapter 4 of the City of Lakeville Zoning Ordinance provides that a conditional use permit may not be issued unless certain criteria are satisfied. The criteria and our findings regarding them are:
 - a. **The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.**

Finding: The proposed drive-through service window for an allowed use is consistent with the guided mixed use of the property.
 - b. **The proposed use is or will be compatible with present and future land uses of the area.**

Finding: The proposed *drive-through service window for an allowed use* will be compatible with the existing and future land uses in the area.
 - c. **The proposed use conforms to all performance standards contained in the Zoning Ordinance and the City Code.**

Finding: Provided compliance with the stipulations of the conditional use permit, the proposed drive-through service window for an allowed use will conform to all performance standards contained in the Zoning Ordinance and the City Code.
 - d. **The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.**

Finding: The proposed drive-through service window for an allowed use can be accommodated with existing public services and will not overburden the City's service capacity.

e. Traffic generated by the proposed use is within capabilities of streets serving the property.

Finding: The streets serving the subject property are adequate to accommodate traffic from the proposed drive-through service window for an allowed use.

5. The report dated December 10, 2025 and prepared by Kris Jenson, Planning Manager and Heather Botten, Senior Planner is incorporated herein.

RECOMMENDATION

The Planning Commission recommends that the City Council approve the conditional use permit conditioned upon compliance with the planning report prepared by Kris Jenson, Planning Manager and Heather Botten, Senior Planner, dated December 10, 2025.

DATED: December 18, 2025

LAKEVILLE PLANNING COMMISSION

BY: _____
Christine Zimmer, Chair



Memorandum

FYI

To: Planning Commission
From: Kris Jenson, Planning Manager
Date: December 11, 2025
Subject: Future and Continued Planning Commission Agenda Items
Summary of City Council Actions on Planning Commission Items

The following is a list of possible agenda items to be considered at upcoming Planning Commission meetings:

- Berean property – rezoning and comp plan amendment

The following items were approved by the City Council at the December 1, 2025 City Council meeting.

- Final Order for the Southwest Study Area Alternative Urban Areawide Review (AUAR)
- Kyla Crossing Second Addition Preliminary Plat and Comp Plan Amendment